

**CITY OF CEDARBURG
PLAN COMMISSION
October 7, 2024**

A regular meeting of the Plan Commission, City of Cedarburg, Wisconsin, will be held at 7:00 p.m. on Monday, October 7, 2024. Attendees have the option of joining the meeting in person at City Hall, W63N645 Washington Avenue, upper level, Council Chambers, or online via the following Zoom link: <https://us02web.zoom.us/j/87850538052>

AGENDA

1. CALL TO ORDER - Mayor Patricia Thome
2. ROLL CALL: Present - Mayor Patricia Thome, Jack Arnett, Adam Voltz, Sig Strautmanis, Sherry Bubnitz, Jon Scholz, Common Council Member Jim Fitzpatrick

Also Present - City Planner Mary Censky, City Administrator Mikko Hilvo, Administrative Assistant Theresa Hanaman
3. STATEMENT OF PUBLIC NOTICE
4. APPROVAL OF MINUTES – September 4, 2024 and September 19, 2024
5. COMMENTS AND SUGGESTIONS FROM CITIZENS
Comments from citizens on a listed agenda item will be taken when the item is addressed by the Plan Commission. Under this item, individuals can speak on any topic *not* on the agenda for up to 2 minutes, with possible time extensions at the discretion of the Mayor. No action will be taken on items not listed on this agenda except as a possible referral to committees, individuals, or a future Plan Commission agenda item.
6. REGULAR BUSINESS; AND ACTION THEREON
A.* The applicant Sierzant LLC in c/o Seth Dehne requests favorable recommendation to the Common Council to amend the City Code by adding Outdoor Seating as a use that can be considered for approval in the B-2 Community Business District.
Previous Discussion Dates: None
Address: N/A
Ward/Ald. District: N/A
Tax Key No. N/A
Zoning District: B-2 Community Business District

B.* The applicant Katie Dunfee d/b/a The K9 Club, requests favorable recommendation to the Common Council to amend the City Code by adding indoor dog park (including swimming, dock diving, training, enrichment and socialization) as a use that can be considered for approval in the M-2 General Manufacturing District.
Previous Discussion Dates: None
Ward/Ald. District: N/A
Tax Key No. N/A
Zoning District: M-2 General Manufacturing District

C.* The applicant, Paul Rushing, as a member and on behalf of the Advent Lutheran Church Property Committee, requests approval of Certificate of Appropriateness for their plans to enclose the existing entryway structure on the south wall of their church building/site, and to add an elevator shaft behind this entryway.

Previous Discussion Dates: Plan Commission None. Landmarks Commission 9/26/2024

Address: W63 N642 Washington Ave.

Ward/Ald. District: 6

Tax Key No. 13-107-03-02-000

Zoning District: I-1 Institutional and Public Service District with Historic Preservation Overlay District (HPD)

D.* The applicant, Larry Zilske of Ware Design Build, on behalf of clients/property owners John and Coral Kaczynski, requests architectural plan review and approval for new construction of a single family dwelling on an infill lot.

Previous Discussion Dates: None

Address: N50 W7106 Western Road

Ward/Ald. District: 2

Tax Key No. 13-027-12-002.00

Zoning District: Rs-3 Single-Family Residential District

E.* The applicants/property owners Jeanie and Danny Crawford/Birdhouse Rentals LLC, request concept review, consideration, and feedback about their compilation of existing uses, site plan, and the prospective addition of a new flex-type space/use theyd like to add within their existing principal building.

Previous Discussion Dates: None

Address: N39 W6181-6191 Jackson Street

Ward/Ald. District: 5

Tax Key No. 13-050-20-02-002

Zoning District: B-1 Neighborhood Business District with Planned Unit Development (PUD) Overlay

F.* Review and discussion on matters related to the Comprehensive Plan Update including:

- Chapter 8 – The Land Use Element
 - o Smart Growth Areas 1 -20

7. COMMENTS AND ANNOUNCEMENTS BY PLAN COMMISSIONERS**

8. MAYOR'S ANNOUNCEMENTS**

9. ADJOURNMENT

* *Information attached for Commission Members; available through City Clerk's office.*

** *This topic is to be limited to such items as establishing the next meeting date, items for the next agenda, reminders of scheduled community events, and similar.*

City of Cedarburg is an affirmative action and equal opportunity employer. All qualified applicants will receive consideration for employment without regard to race, color, religion, sex, disability, age, sexual orientation, gender identity, national origin, veteran status, or genetic information. City of Cedarburg is committed to providing access, equal opportunity, and reasonable accommodation for individuals with disabilities in

employment, its services, programs, and activities. To request reasonable accommodation, contact the Clerk's Office at (262) 375-7606 or email: cityhall@ci.cedarburg.wi.us.

MEMBERS – PLEASE NOTIFY CITY CLERK'S
OFFICE IN ADVANCE IF UNABLE TO ATTEND MEETING

It is possible that a quorum of members of the Common Council may attend Plan Commission meetings held the first Monday of each month at 7:00 p.m. No business will be conducted by the Common Council and no action will be taken. Attendance is for the purpose of information gathering and exchange.

10-4-2024

**CITY OF CEDARBURG
PLAN COMMISSION**

September 4, 2024

A regular meeting of the Plan Commission of the City of Cedarburg was held on Wednesday, September 4, 2024, at Cedarburg City Hall, W63N645 Washington Avenue, upper level, Council Chambers and online via the zoom app. The meeting was called to order at 7:00 p.m. by Mayor Patricia Thome.

Roll Call - Mayor Patricia Thome, Council Member James Fitzpatrick, Adam Voltz, Jack Arnett, Sig Strautmanis, Sherry Bublit, and Jon Scholz

Also Present - City Planner Mary Censky, City Administrator Mikko Hilvo, City Clerk Tracie Sette

STATEMENT OF PUBLIC NOTICE

City Clerk Sette confirmed that the agenda for the meeting had been posted and distributed in compliance with the Wisconsin Open Meetings Law.

APPROVAL OF MINUTES

A motion was made by Commissioner Bublit, seconded by Commissioner Arnett, to approve the minutes from August 5, 2024. Motion carried without a negative vote.

COMMENTS AND SUGGESTIONS FROM CITIZENS - None

REVIEW, DISCUSSION AND POSSIBLE APPROVAL OF A TEMPORARY USE PERMIT FOR APPLICANT/BUSINESS OWNER GORDON GOGGIN TO INSTALL A TENT IN THE OUTDOOR SEATING AREA FROM 11/4/2024 THROUGH 1/13/2025 FOR THE STILT HOUSE RESTAURANT LOCATED AT W62 N630 WASHINGTON AVENUE. THE OWNER OF THIS PROPERTY IS NICK SCHUH TAVERN, INC. IT IS ZONED B-3 CENTRAL BUSINESS DISTRICT W/ (HPO) HISTORIC PRESERVATION DISTRICT OVERLAY.

A motion was made by Commissioner Voltz, seconded by Commissioner Bublit, to move item 7.B. up to the first order of business. Motion carried without a negative vote.

Commissioner Arnett was inclined to approve the tent for two (2) years for the Stilt House since this is an annual occurrence.

A motion was made by Commissioner Arnett, seconded by Commissioner Fitzpatrick, to approve the temporary use permit to install a tent in the outdoor seating area for the Stilt House for (2) consecutive years subject to the yearly inspections done by the City, stated in the Planners' recommendations. Motion carried without a negative vote.

PUBLIC HEARINGS

A motion was made by Commissioner Bubnitz, seconded by Commissioner Scholz, to open the three (3) Public Hearings at 7:05 p.m.

TO CONSIDER AND POSSIBLY APPROVE THE REQUEST OF HIMMAT DHILLON AND BRENT BENJAMIN, D/B/A STATION CEDARBURG LLC, TO HAVE THE EXISTING CONDITIONAL USE GRANT PERMIT AND RELATED LAND COVENANT TRANSFERRED INTO THEIR NAME(S) AS THE PROSPECTIVE NEW OWNERS OF THE GAS STATION, CONVENIENCE STORE, AND CAR WASH USE AND SITE LOCATED AT W62 N174 WASHINGTON AVENUE. THE APPLICANT DOES NOT PLAN TO MAKE ANY CHANGES TO THE STRUCTURES, SITE OR OPERATING PLAN FROM WHAT IS CURRENTLY PERMITTED. THIS PROPERTY IS ZONED B 2 COMMUNITY BUSINESS DISTRICT.

The Planner recommends the following conditions be attached to any approval the Plan Commission may be inclined toward granting in this matter:

- Review and Approval by the City Building Inspector, Police Department, and Fire Inspector of a new occupancy permit.
- Execution and recording of a new Land Covenant and any other related documents as may be required by the City Attorney to attach the existing permissions and conditions to the new owners.

There were no comments from the public.

A motion was made by Commissioner Strautmanis, seconded by Council Member Fitzpatrick, to transfer the Conditional Use permit as noted on the agenda, including the Planners' conditions. Motion carried without a negative vote.

TO CONSIDER AND POSSIBLY APPROVE A CONDITIONAL USE PERMIT FOR APPLICANT/PROPERTY OWNER IS MOFRO LLC IN C/O SETH DEHNE AND D/B/A SIERZANT, FOR BAR USE, INCLUDING OUTDOOR SEATING/CONSUMPTION AREA, AND OUTDOOR RECREATION AND OUTDOOR ENTERTAINMENT, AT N49 W5471 PORTLAND ROAD. THIS PROPERTY IS ZONED B-2 COMMUNITY BUSINESS DISTRICT.

The use *Outdoor dining and non-alcohol beverage service* is listed as an accessory use that may be allowed in the B-3 Central Business District with the following note: Outdoor alcohol beverage services require a premises license approved by the Common Council. The use *Outdoor dining and non-alcohol beverage service* is not listed as a permitted, accessory or conditional use in any other business zoning districts in the City.

If the Plan Commission and Common Council desire to consider permitting a new or expanded area for outdoor seating at this site, the Code must first be amended to list that use as either a permitted, accessory or conditional use in the B-2 District. Once the Code is amended, then the applicant could return with his request for new or expanded outdoor seating space at this site. (Note: In 2023 the Plan Commission worked on reviewing the entire Zoning Code and preparing a comprehensive set of recommended changes. Adding the use “Outdoor beer gardens and food service areas” as a prospective conditional use that could be allowed in the B-2 District, is among them).

Limited information is provided at this time to define the precise physical limits of the proposed alcohol consumption areas on a scaled site plan. There does not appear to be a clear plan for the installation of a perimeter containment boundary – typically fencing of some sort, around the consumption area. Detailed information about the proposed outdoor recreation uses, outdoor lighting, fencing, parking plan, dumpster enclosure plan, hours of operation as to the indoor and outdoor uses, complete descriptions of the outdoor entertainment, is lacking in the applicant’s submittal. The actual distance to the lot lines for certain of the proposed new outdoor features on the site are not clear. No landscaping plan has been provided.

The Planner recommends the following conditions be considered for attachment to any approval the Planning Commission may be inclined to grant in this matter:

1) Use of the indoor spaces for bar and non-ground level apartment are approved subject to issuance of an occupancy permit by the Building Inspector and a liquor license from the Clerk. Note: If the non-ground level apartment is short-term rental, the applicant is reminded that room tax payments to the City are required.

2) Use of the outdoor spaces are not permitted until full site plan details as specified in Section 13-1-124 of the Code are submitted, on deadline, for review and approval by the Plan Commission at a future meeting.

The following public comments were made expressing concerns with decibel levels, lighting, parking, additional traffic on Portland Rd., and behavior concerns from potentially intoxicated patrons outside:

- Michael Kashou and Jacqueline Janz – N47W5450 Spring Ct
- Jerry Anderson – N46W5363 Spring Ct
- John Nelson – W55N470 Spring Ct
- Kevin Curley – N56W5439 Sunnyside Ln
- Jesse Scott – N49W5237 Portland Rd

- Ron Sella – W55N503 Highland Dr
- Lesley Coulter – W55N463 Spring Ct
- Daniel Heyen – N49W5347 Portland Rd
- Harold Wendt – W55N511 Highland Dr
- Jennifer Carlson – N34W7440 Lincoln Blvd
- Kayla Stoflet – W56N487 Highland Dr

The following public comment was made in full support of the outdoor application:

- John Fleming – N39W5578 Burr Lane

A motion was made by Commissioner Bublitz, seconded by Commissioner Arnett, to approve the Conditional Use Permit for Sierzant LLC as an exact replica of the prior Ernie's Wine Bar with fencing approved by Planner Censky and Building Inspector Thoma. Motion carried without a negative vote.

TO CONSIDER AND POSSIBLY RECOMMEND APPROVAL TO THE COMMON COUNCIL OF A DRAFT ORDINANCE CONTAINING UPDATES TO SECTION 13-1-226 OF THE CITY CODE REGARDING 'CONDITIONAL USE PERMIT'.

In previous cases, when there is a change in the business or property ownership attendant to an existing Conditional Use Permit (CUP), the new owner(s) file a request/application to the Plan Commission for transfer of the CUP into the new business or ownership name. This process requires the same procedures as for a new CUP. The same is true when an existing CUP holder requests to amend their CUP in some way – the process requires the same procedures as for a new CUP. The City Code doesn't currently articulate these requirements clearly. The proposed amendments as seen in the attached draft Ordinance would correct that.

There were no comments from the public.

A motion was made by Commissioner Strautmanis, seconded by Commissioner Scholz, to approve the recommended updates to City Code Section 13-1-226 as presented. Motion carried without a negative vote.

A motion was made by Commissioner Fitzpatrick, seconded by Commissioner Voltz, to close the Public Hearing at 8:45 p.m. Motion carried on a roll call vote with Commissioners Arnett, Voltz, Strautmanis, Bublitz, Scholz, Fitzpatrick and Mayor Thome voting aye.

REGULAR BUSINESS

REVIEW, DISCUSSION AND POSSIBLE ACTION/RECOMMENDATION TO THE COMMON COUNCIL IN FAVOR OF ACQUIRING A ~.66-ACRE PARCEL OF LAND

LOCATED AT W63 N530 HANOVER AVENUE FOR FUTURE PUBLIC PARK PURPOSES.

The City is proposing to acquire a 0.66-acre parcel of land with existing driveway and structural improvements located at W63 N530 Hanover Avenue. The future plans are to use this site for public park purposes.

A motion was made by Council Member Fitzpatrick, seconded by Commissioner Voltz, to approve of the City acquiring a 0.66-acre parcel of land located at W63 N530 Hanover Avenue for future public park purposes. Motion carried without a negative vote.

REVIEW DISCUSSION AND POSSIBLE ACTION/RECOMMENDATION TO THE COMMON COUNCIL ON THE OUTDOOR ALCOHOL BEVERAGE LICENSE APPLICATION SUBMITTED TO THE CITY CLERK'S OFFICE FOR THE PREMISES LOCATED AT N49 W5471 PORTLAND ROAD. THE APPLICANT IS SIERZANT LLC IN C/O SETH DEHNE. THIS PROPERTY IS ZONED B-2 COMMUNITY BUSINESS DISTRICT.

In connection with his request for an outdoor seating, outdoor recreation and outdoor entertainment conditional use permit (CUP), the applicant has also submitted a request to permit outdoor alcohol consumption throughout the seating, recreation, entertainment and yard areas. The use *Outdoor dining and non-alcohol beverage service* is listed as an accessory use that may be allowed in the B-3 Central Business District with the following note: outdoor alcohol beverage services require a premises license approved by the common council. The use *Outdoor dining and non-alcohol beverage service* is not listed as a permitted, accessory or conditional use in any other business zoning district in the City.

A motion was made by Commissioner Bublitz, seconded by Council Member Fitzpatrick, to approve the outdoor alcohol beverage license application submitted by Sierzant LLC, for the following location N49 W5471 Portland Road, subject to staying within the footprint of the prior Ernie's Wine Bar. Motion carried without a negative vote.

The Plan Commission may consider amending the Code for the current B2 district, changing the outdoor component, at a future meeting.

REVIEW, DISCUSSION AND POSSIBLE ACTION ON THE REQUEST OF APPLICANTS/PROPERTY OWNERS PETER AND LAURIE WEGNER TO ADD A THIRD DETACHED ACCESSORY STRUCTURE TO THEIR RESIDENTIAL ZONED PROPERTY BRINGING THEIR TOTAL DETACHED ACCESSORY STRUCTURE SQUARE FOOTAGE TO ~1,340 SQUARE FEET WHERE SECTION 13-1-101(G) OF THE CITY CODE PROVIDES THAT THE MAXIMUM TOTAL SQUARE FOOTAGE OF

DETACHED ACCESSORY STRUCTURES ON A LOT MAY NOT EXCEED 720. THE CODE GOES ON TO SAY THAT APPEALS FOR A WAIVER TO THE RESTRICTION ON THE SIZE OF ACCESSORY STRUCTURES SHALL BE MADE TO THE CEDARBURG PLAN COMMISSION. THIS .96-ACRE (41,817 SQ. FT.) PROPERTY, LOCATED AT W71 N1046 WASHINGTON AVENUE, IS ZONED RS-4 SINGLE-FAMILY RESIDENTIAL.

The applicants currently have approximately 1,200 sq. ft. of accessory structures located on this site. They are requesting to add one additional structure, 10' x 14', adding 140 sq. ft. to their existing overage. The new total square footage in detached accessory structures would be 1,340. The applicant provided a very detailed narrative explaining how they use the current square footage and why additional space is needed. Letters from neighbors lending support to the proposal were also submitted with the request. In the Rs-4 District, the minimum required lot size is 10,000 square feet. The applicant's lot is 41,817 sq. ft. in area. Even with the additional 140 square feet of detached accessory storage building space, the site would be well within the maximum limits of 30% total lot coverage and 36% total floor area.

The Planner recommends the following conditions be attached to any approval the Plan Commission may be inclined toward granting in this matter:

- Applicant to receive a variance approval from the City Board of Appeals as to adding a third detached accessory storage structure to this site where a maximum quantity of two is permitted by Code.
- Issuance of a building permit if/as may be required from the City Building Inspector prior to placement of the structure at this site.
- The structure, if ultimately permitted, must comply in all other respects, such as building height, setbacks, and separations as set forth in Section 13-1-101(g) of the City Zoning Code.

A motion was made by Council Member Fitzpatrick, seconded by Commissioner Voltz, to approve the additional square footage for the current accessory structure which would place the maximum allowable square footage to exceed 720 square feet to include the Planners' recommendations (listed above). Motion carried without a negative vote.

REVIEW, DISCUSSION AND POSSIBLE ACTION ON THE SIGN CODE WAIVER REQUEST OF APPLICANT JEFFREY STOEGER (D/B/A COLD COUNTY VINES AND WINES LLC AT W61 N517 WASHINGTON AVENUE), TO CLEAN-UP AND PLACE CONTENT ON A PRE-EXISTING, CONTENT-FREE, PYLON SIGN LOCATED AT W61 N513 WASHINGTON AVENUE.

An existing, albeit ‘abandoned’, pylon sign is located on W61 N513 Washington Avenue, the site where the off-street parking is located in support of not only the Cold Country Vines & Wines business but also for Real Fitness.

According to [Section 15-5-10 of the City Code](#), it appears that this sign meets the definition of an abandoned sign and could have been ordered removed some time ago. The City has never pursued enforcement to that effect. In its current condition, this sign is legal nonconforming as to type because [Section 15-5-14 of the Code](#) does not list pylon signs as a permitted sign-type in the B-3 Community Business District. Section 15-5-15 of the Code states that ‘legal nonconforming signs may continue unless among other things possibly] a building or place of business is occupied by a new tenant or owner of the business’

On August 22, 2024, the Landmarks Commission recommended that this request to continue use of this sign as an off-premises, parking lot directional sign be approved by the Plan Commission subject to the following provisions/conditions:

- 1) The Commission recommends approval of the sign and considers it to be legal nonconforming at this time.
- 2) Applicant to provide confirmation that this sign is indeed located on the property located at W61 N513 Washington Avenue, prior to issuance of a sign permit.
- 3) This sign shall not be internally illuminated. If the sign is to be externally illuminated, the details of this proposed lighting solution shall be presented to the Landmarks Commission for review and approval prior to lighting the sign.
- 4) Applicant to secure his Sign Permit from the Building Inspector prior to any work toward adding content to his sign.

A motion was made by Commissioner Bubnitz, seconded by Council Member Fitzpatrick, to approve continued usage of the pylon sign at W61 N517 Washington Avenue, to be a directional sign primarily with graphics to be approved by the Planner, also subject to Landmarks and Plan Commission recommendation. Motion carried without a negative vote.

REVIEW AND DISCUSSION ON MATTERS RELATED TO THE COMPREHENSIVE PLAN UPDATE

A discussion ensued regarding potential updates to the City’s Comprehensive Plan as it relates to Housing and Land Use. The Land Use Element divided the Smart Growth areas into those north and south of Bridge Rd. Also included in the packet was a tentative schedule. The areas discussed were Smart Growth areas 1-9. Any contaminated areas will need to have DNR involvement as

development takes place. The Plan Commission suggested having additional meetings per month as necessary to discuss the Comprehensive Plan; and requested more staff recommendations.

COMMENTS AND ANNOUNCEMENTS BY PLAN COMMISSIONERS - None

MAYOR'S ANNOUNCEMENTS - None

ADJOURNMENT

A motion was made by Commissioner Arnett, seconded by Council Member Fitzpatrick to adjourn the meeting at 9:45 p.m. The motion carried without a negative vote.

Tracie Sette
City Clerk

**CITY OF CEDARBURG
PLAN COMMISSION**

**PLN202400919-1
UNAPPROVED MINUTES**

September 19, 2024

A special meeting of the Plan Commission of the City of Cedarburg was held on Thursday, September 19, 2024, at Cedarburg City Hall, W63N645 Washington Avenue, upper level, Council Chambers and online via the Zoom app. The meeting was called to order at 5:00 p.m. by Mayor Patrica Thome.

Roll Call Present - Mayor Patricia Thome, Council Member Jim Fitzpatrick,
 Adam Voltz, Jack Arnett, Sig Strautmanis, Jon Scholz

 Excused - Sherry Bublitz

 Also Present - City Planner Mary Censky, City Administrator Mikko
 Hilvo, Administrative Secretary Theresa Hanaman

STATEMENT OF PUBLIC NOTICE

Administrative Secretary Hanaman confirmed that the agenda for the meeting had been posted and distributed in compliance with the Wisconsin Open Meetings Law.

APPROVAL OF MINUTES - NONE

COMMENTS AND SUGGESTIONS FROM CITIZENS

**REVIEW AND DISCUSSION ON MATTERS RELATED TO THE
COMPREHENSIVE PLAN UPDATE.**

Planner Censky reviewed the outline and updated the tentative schedule with Plan Commission. Plan Commission reviewed and discussed Chapter 2, The Housing Element and Chapter 8, The Land Use Element along with the Smart Growth Area maps.

Developments should be in accordance with the Housing and Residential Development Goals, Objectives and Policies as set forth in Chapter 2 of this Comprehensive Plan (i.e., Housing).

Smart Growth Area 1

The Norstar parcel is currently zoned M-1 Limited Manufacturing District and contains an operating business use. The Mercury parcel is vacant and zoned I-1 Institutional and Public Service District. These parcels are considered ‘contaminated’ sites and redevelopment will have to account for those limitations. Plan Commission is asked to consider changing this parcel to High Density Residential (10.9 to 16.1 units per acre) or High- Medium Density Residential (5.2 to 10.8 units per acre) to incentivize redevelopment of contaminated lands.

This parcel was discussed and will be categorized as High Density on the north side of the property and High-Medium Density on the south side of the property. Development style should reflect Arabelle type, traditional architecture, and gable rooflines, stylism to reflect character of the surrounding neighborhood. The existing, surrounding land uses include single family residential to the north (approximately 8,000 to 9,000 sq ft) and south (approximately 9,000 to 11,000 sq ft), and institutional uses to the east and west.

Smart Growth Area 2

SGA 2 is a 12+/- acre site that is now the Fox Run Multi-Family Development.

Plan Commission recommends deleting this original Smart Growth Area 2.

Smart Growth Area 3

The existing

Land Use Category is 'Mixed Use Office and/or High-Medium Density Residential' to be 'Mixed Use Office, Neighborhood Commercial, and/or High-Medium Density Residential'.

These site/buildings have been partly updated and the main building now has multiple occupancies including two residential living units, a first-floor yoga studio space and a first-floor physical therapy business. The site is currently zoned B-1 w/ Planned Unit Development (PUD) Overlay. The current owner is in the process of preparing plans for some additional changes and the addition of some proposed new uses in the main building. Their plans at this time call for continued cold storage use of the south building.

Plan Commission agrees this location should be mixed use, office, neighborhood commercial, and/or High- Medium Density Residential.

Smart Growth Area 4

The south site (4.32-acres) was approved for a Planned Unit Development (PUD) development of 90 multi-family residential units (i.e., 20.8 units per acre) back in May, 2023. That approval was never used and has since expired. If there is still an appetite for that type of previously approved project, this site should be reclassified to High Density Residential (10.9 to 16.1 units per acre). The north site (4.28 acres) is currently classified as High-Medium Density Residential (5.2 to 10.8 units per acre). That classification is somewhat denser than the adjacent existing residential use to the east but that may be necessary to incentivize redevelopment of a contaminated site.

Plan Commission agrees this location should be classified as High-Density Residential and probably will be developed using PUD and TIF. The EPA needs to clean up this site first including Burr lane and additional areas.

Smart Growth Area 5

Plan Commission recommends deleting the original SGA 5 and replacing it with:

SGA -5 New “The Wirth/Stroebe Property”.

This site is currently zoned Rs-1 Temporary from when it was annexed into the City.

A permanent zoning has never been followed-up with. It currently has two Land Use Classifications on it. Approximately the west 13 acres are classified as Commercial. In the southeast corner there are approximately 4 acres which are classified as High Density Residential (Elderly Housing) (10.9 – 20 units per acre).

Considering the Commercial nature of the existing use across the street to the west, and the Commercial LUP designation of the lands across Sheboygan Road to the west, this site may be best reconsidered for High-Medium Density Residential (5.2 to 10.8 units per acre), or High Density Residential (10.9 to 16.1 units per acre) instead of being mostly commercial. *For reference, there are 197 apartment units on the 14 acres in the Cedar Place Apartment development (14+/- units per acre).* As to character-type of the housing, ‘townhome style units’ could be a specific reference that would distinguish this development area from the built high/medium density residential located directly south.

Plan Commission talked about the classification as High or Medium High Density at but would like the aid of the Housing Report/Study to better inform before they recommend the final classification. Planner Censky should have a preliminary report from Vierbicher in October.

Smart Growth Area 6

Plan Commission recommends deleting this Original Smart Growth Area 6 and simply leaving the land use classification of Medium Density Residential over the property for now.

Smart Growth Area 7

SGA 7 is a 7+/- acre site that has recently been approved for the Cedarway Condominium Development. Plan Commission recommends deleting this Original SGA 7.

Smart Growth Area 8

Plan Commission recommends deleting this Original SGA 8 and simply leaving the Commercial Classification over these lands for now.

Smart Growth Area 9

Current Zoning of this property is Rs-3 Single-Family, Residential (maximum permitted density is 3.6 units/net acre, and 12,000 sq. ft. minimum lot size. Plan Commission agrees to continue the Medium-Density Residential as the classification for this site.

Smart Growth Area 10

Staff recommends deleting this Original SGA 10 and simply leaving the Medium Density Residential classification over these lands for now.

Smart Growth Area 11

SGA 11 is currently classified as Governmental and Institutional Development. This 3+/- acre site is now the Arrabelle multi-family residential development. Plan Commission recommends deleting this Smart Growth Area.

Smart Growth Area 12

Staff recommends that it be reclassified to Medium Low Density Residential to be consistent with lot sizes and development style of Prairie View Subdivision to the south.

Smart Growth Area 13

This site is recommended to be reclassified to Medium -Low Density Residential to be consistent with lot sizes and development style of other sewered subdivisions located west of Wauwatosa Road. This area is currently located entirely within the Town of Cedarburg; however, it is inside of the “City Growth Area” as set forth in the 7-7-21 City/Town Boundary Agreement.

Smart Growth Area 14

Staff recommends this site be reclassified from Ag/Open Space to Medium Low Density Residential to be consistent with lot sizes and development style of Cedar Pointe Subdivision to the north.

Smart Growth Area 15

Plan Commission recommends that original SGA 15 be modified to:

SGA 15 - NEW

Plan Commission generally supports staff recommendation that this area be classified to all residential use, possibly some Mixed Residential Single Family/Two Family classification for zero lot line duplex style condominium uses and some Medium Density Residential.

Smart Growth Area 16

Plan Commission recommends that original SGA 16 be modified to:

Smart Growth Area 16 - NEW

This property is currently located in the Town of Cedarburg. It is located on the City side of the City/Town Boundary Agreement. The north 300 feet of this SGA, along Hwy 60, is presently occupied by a bowling alley and related outdoor recreation use. The property is currently listed for sale.

There is a filled quarry along the south side of the SGA. The filled quarry area of this site is considered undevelopable and possibly dedicated as a park. The current area that is classified as Industrial and Manufacturing may no longer be a feasible use. Plan Commission recommends reclassifying the entire site as Commercial. If SGA 16 is classified as Commercial, Plan Commission would not classify SGA 5 as Commercial.

Smart Growth Area 17

Plan Commission recommends that original SGA 17 be modified to:

Smart Growth Area 17-NEW

The southwest 10-acre parcel, within this SGA is already in the City limits. The remainder is currently located in the Town of Cedarburg. It is located on the City side of the City/Town Boundary Agreement.

Plan Commission would like to reclassify SGA 17 from part High-Medium Density Residential (5.2 to 10.8 units per acre) and part Medium Density Residential (12,000 to 12,000 sq. ft. per lot) to part Medium-Low Density Residential (12,000 to 20,000 sq. ft. per lot) to be consistent with the development to the east and part Recreational and Parkland (i.e. over the quarry area that is being filled at this time)

Smart Growth Area 18

This site is now the City's Business Park. Plan Commission and staff recommend deleting this Original SGA 18 and replacing it with:

Smart Growth Area 18 - NEW.

Staff recommends classifying this area for Medium Density Residential to be consistent with the existing City lot sizes in the Sarangela Subdivision located adjacent to the north of this site.

Smart Growth Area 19 – NEW

Staff and Plan Commission recommend Medium Density Residential classification and expect this site to develop in a manner consistent with the existing neighborhoods adjoining on the north and south.

Original Smart Growth Area 19 (Now Known as SGA 20 for purposes of this preliminary new SGA list)

Staff recommends possible reclassifying this SGA to Commercial and possibly expanding its boundaries.

ACTION - This was a Discussion and Feedback item only. No action was taken.

PUBLIC COMMENT

Rick Patek N116 W5575 Lucas Court, Cedarburg, WI 53012

COMMENTS AND ANNOUNCEMENTS BY PLAN COMMISSIONERS

Scheduling of a special Plan Commission meeting to be held on October 16th at 5:00 p.m.

MAYOR'S ANNOUNCEMENTS

Mayor Thome had no comments or announcements.

ADJOURNMENT

A motion was made by Commissioner Arnett , seconded by Commissioner Fitzpatrick to adjourn the meeting at 7:45 p.m. The motion was carried without a negative vote with Commissioner Bublitz excused.

Theresa Hanaman
Administrative Secretary

PLANNERS REPORT

To: City of Cedarburg Plan Commission

By: Mary Censky

Date: October 7, 2024

General Information:

Agenda Item: 6.A.

Applicant:

Sierzant LLC in c/o Seth Dehne

Property Owner:

N/A

Requested Action:

Consideration and possible action/recommendation to the Common Council to add the use Outdoor Seating Area as a use that can be considered for approval in the B-2 Community Business District.

Current Zoning:

N/A

Current Master Plan Classification:

N/A

Surrounding Zoning/Land Use:

N/A

Lot Size:

N/A

Location:

N/A

Discussion:

The use “Outdoor dining and non-alcohol beverage service.”, is listed as an accessory use that may be allowed in the [B-3 Central Business District](#) with the following “(Note: Outdoor alcohol beverage services require a premises license approved by the common council)”. The use “Outdoor dining and non-alcohol beverage service.” is not listed as a permitted, accessory or conditional use in any other business zoning district in the City.

The applicant’s request that this use be added to the [B-2 Community Business District](#). A map of the B-2 zoned properties in the City is included in the packet materials. As a use that may be considered to have potential adverse impacts upon its surrounding

neighborhood, particularly if the property owner or business operator follows-up to request Common Council approval for outdoor alcohol beverage service and/or amplified music within the outdoor dining area, the Planner has taken the approach of suggesting a very limited option for addition of this use as a conditional use in the B-2 District (see draft language below).

Sec. 13-1-54 - B-2 Community Business District.

(d) Conditional uses.

(31) On properties that do not directly abut or touch at the lot corner with properties that are zoned or used for single-family or two-family residential purposes, outdoor dining/seating and non-alcohol beverage service use may be considered for approval of an outdoor dining/seating area subject to the following limitations and requirements:

(a) The square footage of the dining/seating area shall not exceed 100% of the total seating area inside of the building or 1,000 square feet, whichever is less.

(b) The design and location of the outdoor seating area shall be subject to review and approval by the Plan Commission.

(c) Screening of the dining/seating area from surrounding residential uses (i.e., such as multi-family residential) using fencing, landscaping, or some combination thereof, may be required - such screening plan being subject to review and approval of the Plan Commission prior to construction, installation or use of the outdoor seating area. The Plan Commission shall establish a completion deadline for the screening plan.

(d) Any lighting proposed to be used in/on the outdoor dining/seating area shall be subject to review and approval by the Plan Commission.

(e) Outdoor dining/seating areas located in the B-2 Community Business District are not eligible to request outdoor alcohol beverage service or outdoor amplified music permissions through the provisions of Section Sec. 7-2-17 of the City Code unless the Plan Commission has first approved the outdoor dining/seating area and established the days and hours for use of the outdoor dining/seating area and set a maximum decibel reading that will be permitted to carry beyond the lot lines of the property.

(e) Any other uses proposed on the outdoor dining/seating area, such as for instance but not necessarily limited to, acoustic or a cappella music, TV's, radios, sound bars, are considered to be prohibited unless specifically approved by the Plan Commission.

(e) The outdoor dining/seating area design and location plans, approved days/hours of use, lighting permissions, decibel limits at the lot lines, and all other specific conditions of approval shall be recited/exhibited in the Conditional Use Permit document.

Alternate language solutions can be considered depending on the Plan Commissions preference. Ideas might include allowing the use on residential abutting properties but prohibiting the seating area within X number of feet of any residential use lot line, or ...

Recommendation:

If the Plan Commission feels it can provide a clear version of language to recommend to the Common Council at this time, the Planner will place it into Ordinance format and the matter can be moved on to the Council for ratification.

If the Plan Commission prefers, an alternate draft of language can be brought back at a future meeting for review, further discussion, and possible recommendation to the Common Council.



LAND DEVELOPMENT APPLICATION

PROPERTY LOCATION/ADDRESS: N49W5471 Portland Rd. Cedarburg WI 53012

APPLICANT/BUSINESSNAME: Sierzant LLC

APPLICANT/BUSINESS ADDRESS: 1977 Shasta Ave. Grafton WI 53024

STATUS OF APPLICANT: ☒ OWNER ☒ AGENT ☐ BUYER ☐ OTHER _____

PHONE: 414-213-8407 EMAIL: Sierzantcedarburg@gmail.com
seth@chne@yahoo.com

PROPERTY OWNER (IF DIFFERENT): MOFRO LLC

PROPERTY OWNER MAILING ADDRESS: N69W6171 Bridge Rd. Cedarburg WI 53012

PROPERTY OWNER PHONE: 262-424-9888 PROPERTY OWNER EMAIL: Lance@rwr.mke.com

REQUEST FOR (CHECK ALL THAT APPLY):

- | | |
|---|--|
| ☐ CONCEPT REVIEW | ☒ CONDITIONAL USE ZONING |
| ☐ SITE/ARCHITECTURAL PLAN APPROVAL | ☐ ANNEXATION REQUEST |
| ☐ SUBDIVISION PLAT OR CSM REVIEW | ☐ VARIANCE/BOARD OF APPEALS |
| ☐ ZONING DISTRICT CHANGE | ☒ OTHER <u>Code Text Amend</u> |

DESCRIBE REQUEST: Expand outdoor seating, add outdoor recreation of 2 basketball courts, add outdoor entertainment amplified music of 4 speakers playing ambient music the same as inside.
Other -> Code text amendment to add outdoor seating area as a use in B-2 zoning

PLEASE SUBMIT: FIVE (5) COPIES OF WRITTEN DESCRIPTION OF PROPOSAL OR REQUEST FOR CITY STAFF REVIEW
FIVE (5) FULL SETS OF SUPPORTING DRAWINGS, SKETCHES OR SURVEY MAPS FOR CITY STAFF REVIEW
THIRTEEN (13) SETS OF PLANS (11" x 17" MAX) FOR PLAN COMMISSION REVIEW

The undersigned certifies that he/she has familiarized themselves with the State and Local codes and procedures pertaining to this application. The undersigned further hereby certifies that the information contained in this application is true and correct. This application shall be signed by the property owner(s).

PROPERTY OWNER(S) SIGNATURE: _____

LANCE P. WOOTEN

DATE: 9/10/24

FOR CITY STAFF USE ONLY

TOTAL FEE: \$ 500.00 (SEE FEE SCHEDULE ON REVERSE PAGE) DATE FEE PAID: 9-10-24

APPLICATION AND FEE RECEIVED BY: Theresa Hanaman

PLAN COMMISSION MEETING DATE: _____

ATTACHMENTS (CHECK IF RECEIVED):

- ☐ FIVE DESCRIPTIONS ☐ FIVE FULL-SIZE SETS ☐ THIRTEEN PLAN SETS

PROPERTY TAX KEY NO/PLAN COMMISSION FILE NO: 13-051-01-02-000

ZONING: B-2

ALDERMANIC DISTRICT: 4

PREVIOUS MEETING: 9/4/24

CITY OF CEDARBURG OFFICIAL ZONING MAP

DATE: DRAWN MAY, 1987
REVISONS

DATE	ORDINANCE NO.
3-7-1988	87-1
4-25-1989	88-5, 88-15, 88-20, 88-4, 88-13
1-2-1990	89-45, 89-46
1-16-1991	90-15, 90-24 (REV), 90-25
1-15-1992	91-12, 91-13, 91-14, 91-29
2-22-1993	92-16, 92-25, 92-33
4-1-1994	93-26, 93-30, 93-39, 93-40
5-15-1996	REVISED PER NEW C.S.M.S.
2-14-1997	REVISED PER NEW C.S.M.S.
12-17-1999	REVISED PER NEW C.S.M.S.
3-15-2001	99-12, 99-19, 2000-06, and C.S.M.S.
1-16-2002	2000-15, 20-07, 20-09, 04-11, 11-18, 20-09, 40
8-6-2002	COMPREHENSIVE UPDATE
1-14-2002	2002-01
6-10-2002	2002-13
9-10-2002	2002-19
9-30-2002	2002-25
1-27-2003	2003-01
6-9-2003	2003-12
8-9-2003	2003-13
9-25-2003	2003-20
10-13-2003	2003-24
10-13-2003	2003-25
10-27-2003	2003-26
3-6-2004	2004-07
6-14-2004	2004-16
6-29-2004	2004-17
8-30-2004	2004-21
9-9-2004	2004-22
9-27-2004	2004-30
11-6-2004	2004-38
12-10-2004	2004-40
4-11-2005	2005-14
6-27-2005	2005-22
6-27-2005	2005-23
9-10-2005	2005-27
10-7-2005	2005-30
-	2005-41
1-30-2006	2006-04
3-20-2006	2006-11
5-9-2006	2006-16
7-31-2006	2006-23
10-30-2006	2006-30
3-10-2007	2007-09
4-30-2007	2007-15
4-30-2007	2007-16
5-14-2007	2007-18
6-20-2010	2010-10
9-13-2010	2010-13
10-10-2011	2011-07
11-20-2012	2012-20
2-29-2014	2006-16, 2013-09, -10
1-22-2016	2014-06, -12, -13, -15, 2016-01
1-24-2017	2016-02, -03, -04, -18
2-7-2019	2017-08, -09, -20, 2019-02, -08, -10, -11, -12, -13, -15
10-12-2019	2019-08, -11, -15, -16
2-8-2022	2020-05, -09, -13

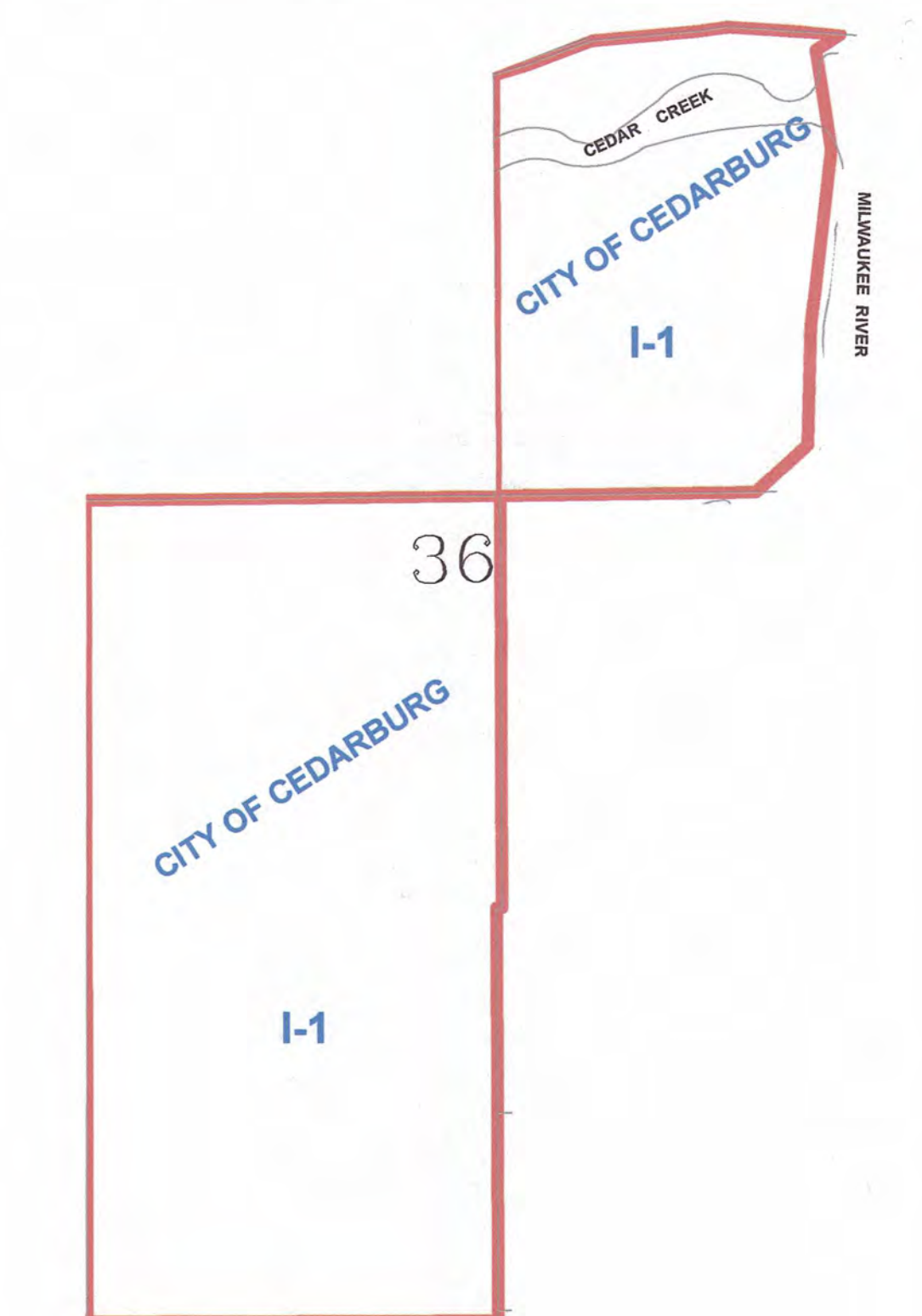
ZONING DISTRICT

- A-1 AGRICULTURAL DISTRICT
- B-1 NEIGHBORHOOD BUSINESS DISTRICT
- B-2 COMMUNITY BUSINESS DISTRICT
- B-3 CENTRAL BUSINESS DISTRICT
- B-4 OFFICE AND SERVICE DISTRICT
- B-5 BUSINESS PARK DISTRICT
- B-6 GENERAL BUSINESS AND WAREHOUSING DISTRICT
- C-1 SHORELAND WETLAND/CONSERVANCY DISTRICT
- C-2 NON-SHORELAND CONSERVANCY DISTRICT
- C-3 SHORELAND CONSERVANCY DISTRICT
- C-4 UPLAND CONSERVANCY OVERLAY DISTRICT
- CEG COMMUNITY EXHIBITION GROUNDS DISTRICT
- FW FW
- I-1 INSTITUTIONAL AND PUBLIC SERVICE DISTRICT
- M-1 LIMITED MANUFACTURING DISTRICT-MIN 20 K.S.F. AREA
- M-2 GENERAL MANUFACTURING DISTRICT-MIN 40 K.S.F. AREA
- M-3 BUSINESS PARK DISTRICT-MIN 40 K.S.F. AREA
- MUJ MIXED USE INFILL DISTRICT
- OSLM OFFICE, SERVICE, LIMITED MFG DISTRICT-MIN 20 K.S.F. AREA
- P-1 PARK AND RECREATION DISTRICT
- PLD PUBLIC LIBRARY DISTRICT
- Rd-1 TWO FAMILY RES-MIN 12 K.S.F. AREA
- Rm-1 MULTIPLE FAMILY RESIDENTIAL DISTRICT
- Rm-2 MULTIPLE FAMILY RESIDENTIAL DISTRICT
- Rd-1 SINGLE FAMILY RES.-MIN 20 K.S.F. AREA
- Rd-2 SINGLE FAMILY RES.-MIN 15 K.S.F. AREA
- Rd-3 SINGLE FAMILY RES.-MIN 12 K.S.F. AREA
- Rd-4 SINGLE FAMILY RES.-MIN 10 K.S.F. AREA
- Rd-5 SINGLE FAMILY RES.-MIN 8 K.S.F. AREA
- Rd-6 SINGLE FAMILY/TWO FAMILY RES-MIN 4.2-8 K.S.F. AREA
- Rd-7 SINGLE FAMILY RES.-MIN 20 K.S.F. AREA
- Rd-8 LOW DENSITY SINGLE FAMILY RES-MIN 40 K.S.F. AREA

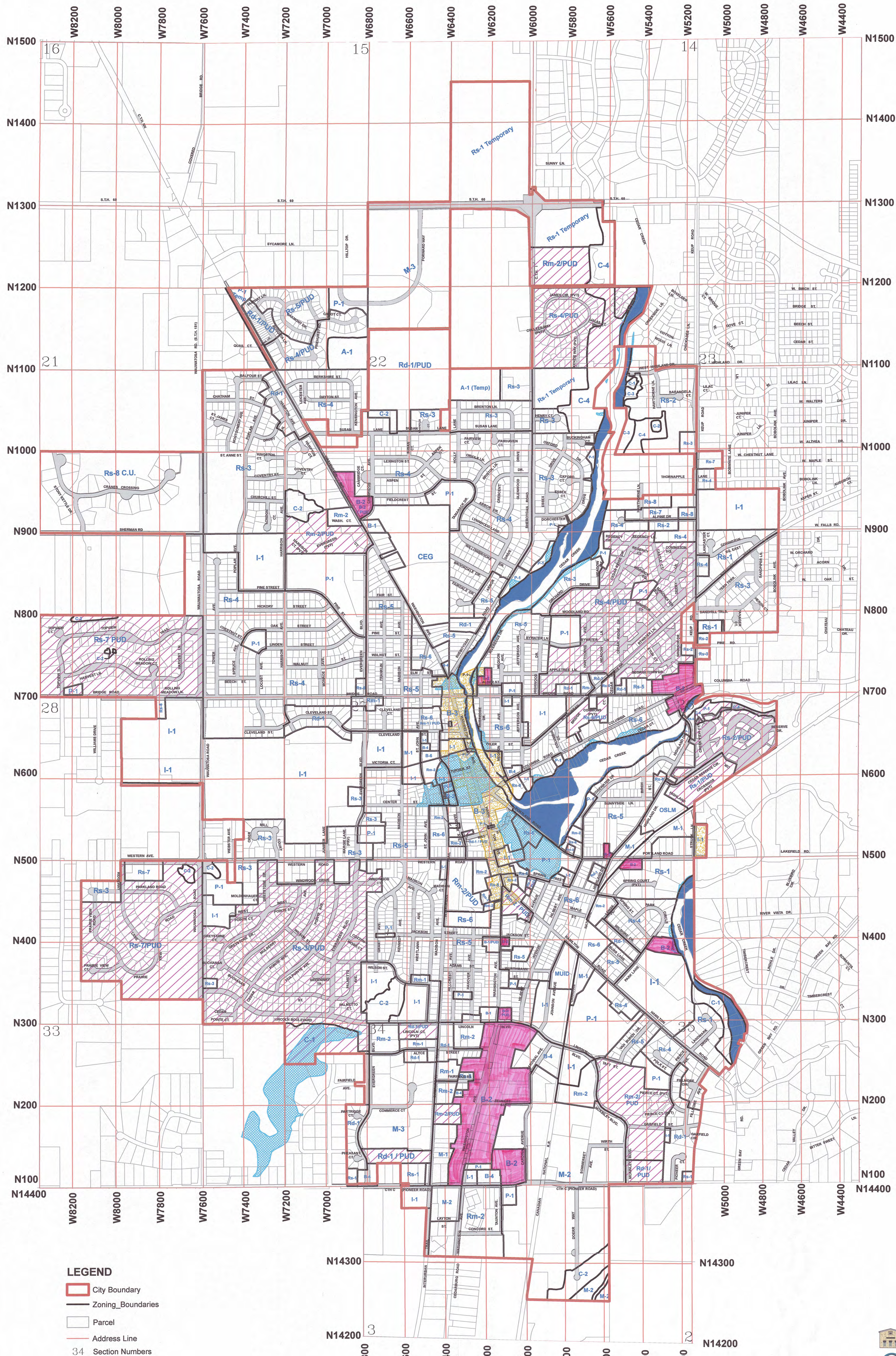
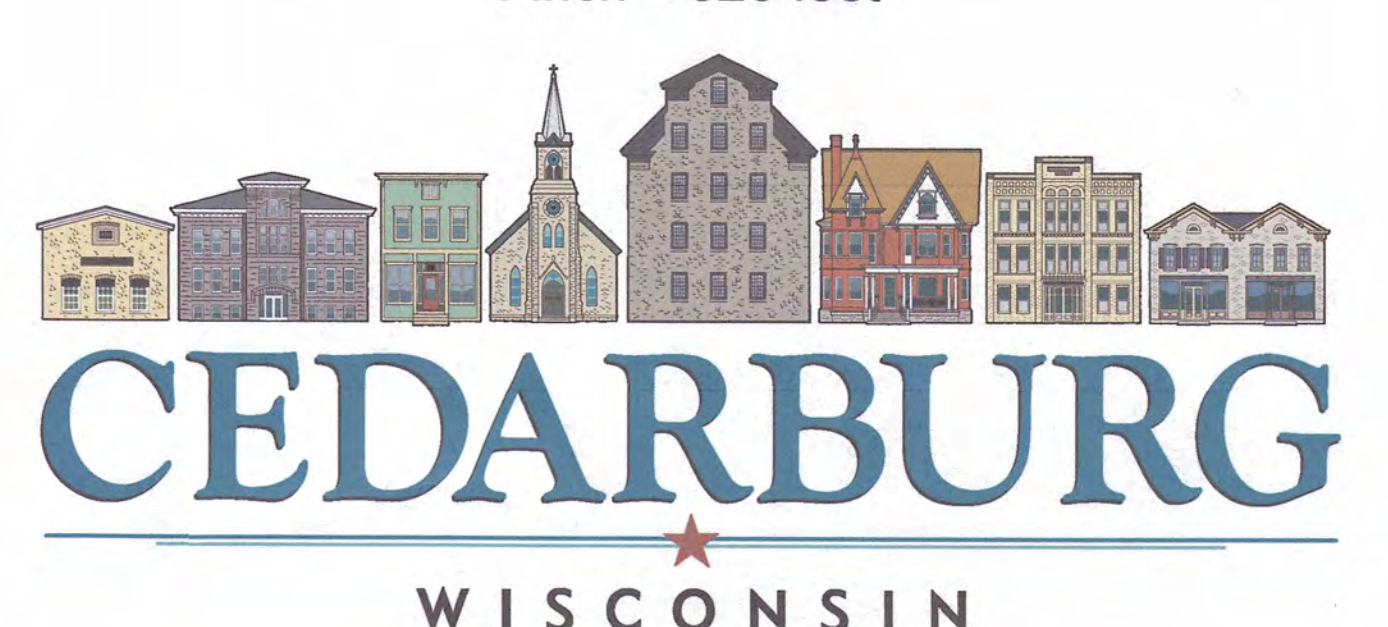
ZONING OVERLAYS

- FFO FLOODPLAIN FRINGE OVERLAY DISTRICT
- HPD HISTORIC PRESERVATION OVERLAY DISTRICT
- PUD PLANNED UNIT DEVELOPMENT OVERLAY DISTRICT

NOTE NO. 1
IN THE Rm-2 DISTRICT, MULTI-FAMILY BUILDINGS
CONTAINING MORE THAN 8 UNITS WHICH EXISTED
PRIOR TO JULY 27, 1992 SHALL BE CONSIDERED AS
"CONDITIONAL USES" IN ACCORD WITH ORD. 92-23.
SUCH BUILDING MAY CONTAIN A MAXIMUM OF 36
UNITS IF CONVENTIONAL HOUSING, OR MAY
CONTAIN A MAXIMUM OF 48 UNITS IF ELDERLY
HOUSING. SEE ORD. 92-23



N
1 inch = 525 feet



- LEGEND
- City Boundary
 - Zoning Boundaries
 - Parcel
 - Address Line
 - Section Numbers

PLANNERS REPORT

To: City of Cedarburg Plan Commission

By: Mary Censky

Date: October 7, 2024

General Information:

Agenda Item: 6.B.

Applicant: Katie Dunfee d/b/a The K9 Club

Property Owner: N/A

Requested Action: Recommendation to the Common Council to add the use “Indoor dog park (including swimming, dock diving, training, enrichment and socialization)” as a use that can be considered for approval in the M-2 General Manufacturing District.

Current Zoning: N/A

Current Master Plan Classification: N/A

Surrounding Zoning/Land Use: N/A

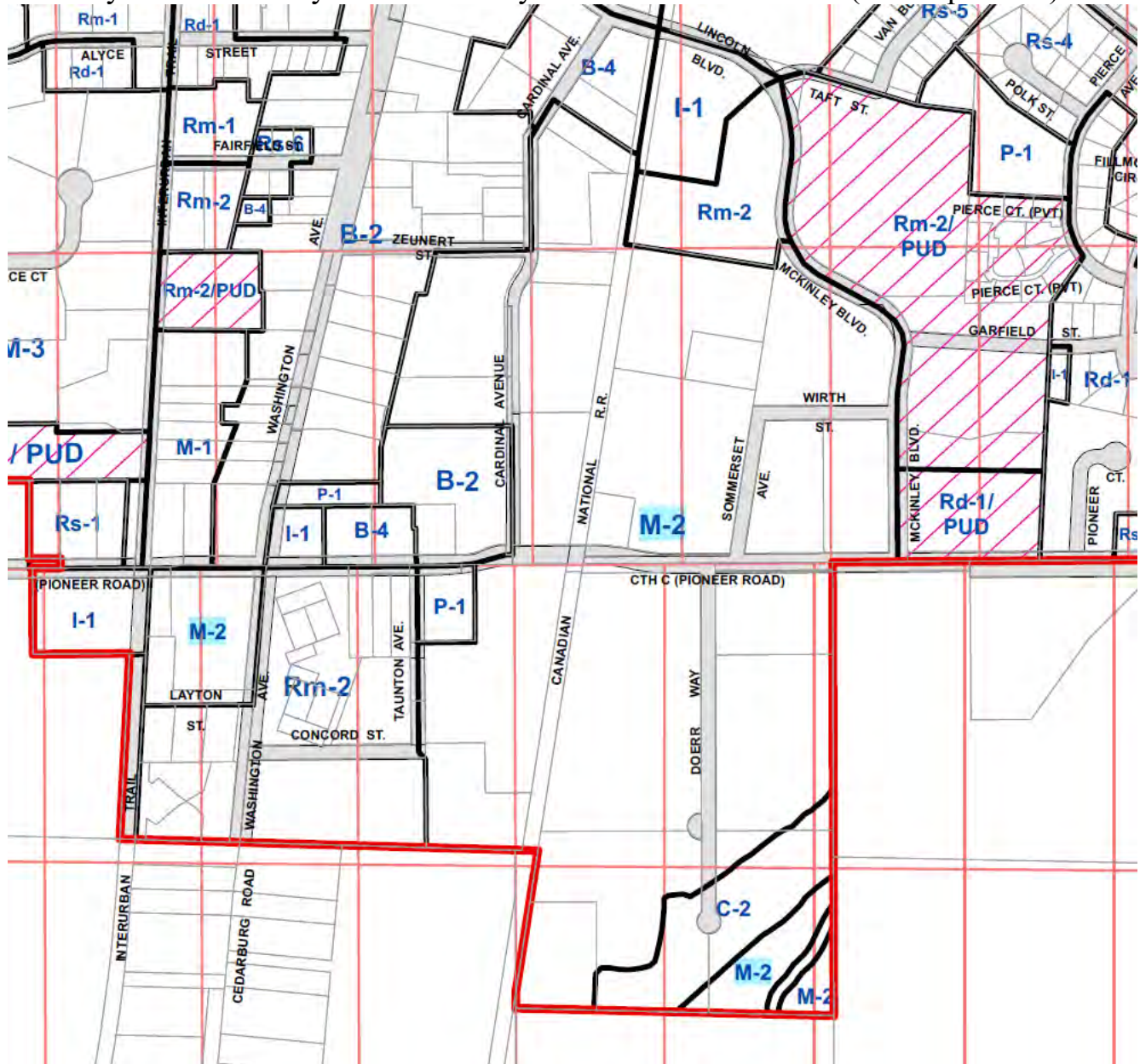
Lot Size: N/A

Location: N/A

Discussion:

The proposed use has become somewhat common within business parks and light industrial districts throughout southeast Wisconsin.

The only area of the City that is currently zoned M-2 is located at (see map below).



Veterinary Clinics are listed as a conditional use in the [M-2 General Manufacturing District](#). Animal hospitals, pet daycare facilities and kennels, provided all principal structures and uses are not less than 100 feet from a residential use if kennels are provided, is listed as a conditional use in the [B-2 Community Commercial District](#). Kennels (Commercial) is listed as a conditional use in the [B-4 Office and Service District](#).

Recommendation:

If the Plan Commission supports the addition of this use in the M-2 District, the Planner will put the language in Ordinance format, and it can be considered for ratification by the Common Council at an upcoming meeting.

CEDARBURG

LAND DEVELOPMENT APPLICATION

PROPERTY LOCATION ADDRESS: W57 N14371 Doerr Way, Cedarburg
APPLICANT BUSINESS NAME: Katie Dunfee, The K9 Club
APPLICANT BUSINESS ADDRESS: 769 River Bend Rd. Grafton 53024
STATUS OF APPLICANT: ☐ OWNER ☐ AGENT ☐ BUYER ☒ OTHER Lessee
PHONE: 414-559-0778 EMAIL: kdunfee@att.net

PROPERTY OWNER (IF DIFFERENT): Joe Kassander
PROPERTY OWNER MAILING ADDRESS: N143W6049 Pioneer Road, Cedarburg, WI 53012
PROPERTY OWNER PHONE: 414-788-2502 PROPERTY OWNER EMAIL: joe@birchwoodsnow.com

REQUEST FOR (CHECK ALL THAT APPLY):

- | | |
|---|--|
| ☐ CONCEPT REVIEW | ☒ CONDITIONAL USE ZONING |
| ☐ SITE/ARCHITECTURAL PLAN APPROVAL | ☐ ANNEXATION REQUEST |
| ☐ SUBDIVISION PLAT OR CSM REVIEW | ☐ VARIANCE/BOARD OF APPEALS |
| ☐ ZONING DISTRICT CHANGE | ☐ OTHER _____ |

DESCRIBE REQUEST: Usage/ business services to include:
Indoor dog park - membership only, 24/7 access w/ key fob.
Dock diving and indoor swimming.
Private dog training.

PLEASE SUBMIT: FIVE (5) COPIES OF WRITTEN DESCRIPTION OF PROPOSAL OR REQUEST FOR CITY STAFF REVIEW
FIVE (5) FULL SETS OF SUPPORTING DRAWINGS, SKETCHES OR SURVEY MAPS FOR CITY STAFF REVIEW
THIRTEEN (13) SETS OF PLANS (11" x 17" MAX) FOR PLAN COMMISSION REVIEW

The undersigned certifies that he/she has familiarized themselves with the State and Local codes and procedures pertaining to this application. The undersigned further hereby certifies that the information contained in this application is true and correct. This application shall be signed by the property owner(s).

PROPERTY OWNER(S) SIGNATURE: Joe Kassander DATE: 9/19/2024

FOR CITY STAFF USE ONLY

TOTAL FEE: \$ 200 (SEE FEE SCHEDULE ON REVERSE PAGE) DATE FEE PAID: 9-20-2024
APPLICATION AND FEE RECEIVED BY: Theresa Hanaman COMMISSION MEETING DATE: 10-7-2024
ATTACHMENTS (CHECK IF RECEIVED): ☐ FIVE DESCRIPTIONS ☐ FIVE FULL SIZE SETS ☐ THIRTEEN PLAN SETS
PROPERTY TAX KEY NO./PLAN COMMISSION FILE NO.: _____
ZONING: _____ ALDERMANIC DISTRICT: _____ PREVIOUS MEETING: _____

PLANNERS REPORT

To: City of Cedarburg Plan Commission

By: Mary Censky

Date: October 7, 2024

General Information:

Agenda Item: 6.C.

Applicant:

Paul Rushing, as a member and on behalf of, the Advent Lutheran Church Property Committee

Property Owner:

Advent Lutheran Church

Requested Action:

Approval of Certificate of Appropriateness for their plans to enclose the existing entryway structure on the south wall of their church building/site, and to add an elevator shaft behind this entryway.

Current Zoning:

I-1 Institutional and Public Service District with Historic Preservation Overlay District (HPD)

Current Master Plan Classification:

Commercial

Surrounding Zoning/Land Use:

North: B-3 Central Business District with Historic Preservation Overlay District (HPD)

South: P-1 Park and Recreation District

East: Cedar Creek

West: Washington Avenue

Lot Size:

.41-ac (17,860 sq. ft.)

Location:

W63 N642 Washington Avenue

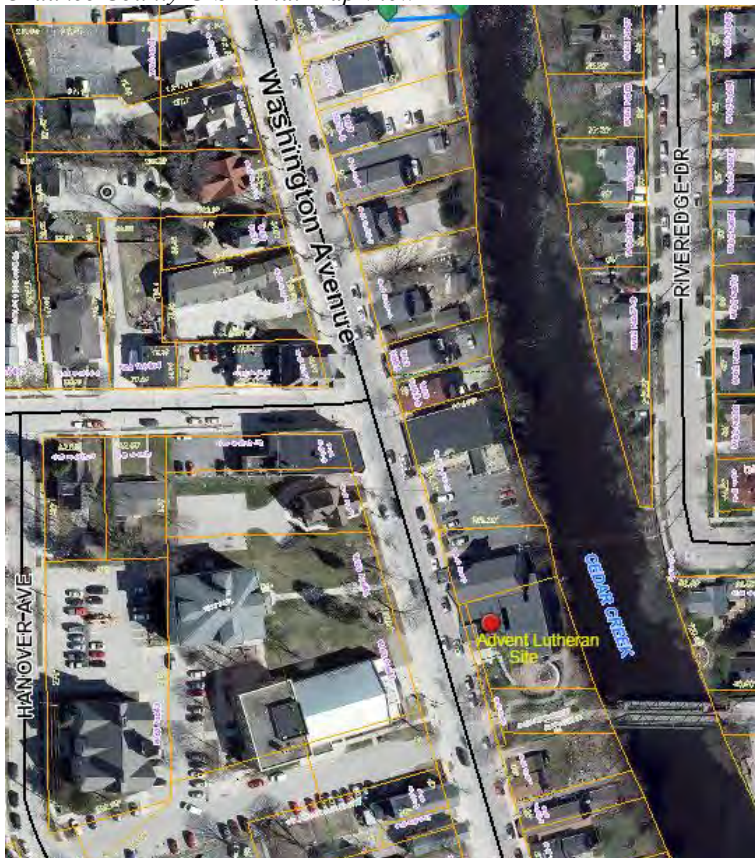
Discussion:

The applicant requests approval to place window glass in the west/street facing arch and the easternmost of the two south facing arches in the existing open-air, portico entryway to the church.

The westernmost arch of the south facing arches would be enclosed using a double-door glass entry door unit. The east facing arch would be closed by virtue of a new elevator shaft proposed to be constructed on the east side of this main entryway. The purpose of enclosing this entryway is to make it an enclosed space within which a proposed new Limited Use Limited Application (LULA) elevator may be loaded/unloaded. The LULA will provide accessibility to all floors/levels of the church. The proposed new window/door glass will be clear view.

The elevator shaft is proposed to be located behind the enclosed entryway. It appears that this shaft will extend to nearly the same height as the peak of the gabled roof of the existing entryway and the tops of the windows on the south wall of the church. The architectural materials and design of this shaft appear to emulate the style and characteristics of the existing building.

Ozaukee County GIS Aerial Map View



The Landmarks Commission has reviewed, and on September 26, 2024, recommended in favor of the applicant's request as presented (see detailed plans Landmarks Commission DRAFT meeting minutes attached).

Recommendation:

If the Plan Commission is inclined toward an approval in this matter, the Planner recommends the following conditions be considered for attachment:

- 1) Issuance of a building permit prior to the start of construction on this project.



LANDMARKS COMMISSION APPLICATION

PROPERTY LOCATION/ADDRESS: W63N642 WASHINGTON AV, CITY

NAME OF EXISTING/PROPOSED BUSINESS (IF APPLICABLE): ADVENT LUTH. CHURCH

APPLICANT INFORMATION

APPLICANT NAME PAUL RUSHING BUSINESS NAME: MEMBER PROPERTY COMMITTEE

APPLICANT/BUSINESS ADDRESS: _____

STATUS OF APPLICANT: ☐ OWNER ☒ AGENT ☐ BUYER ☐ TENANT ☐ OTHER _____

PHONE: 262-617-6180 EMAIL: paul.rushing@adventchurch.org

PROPERTY OWNER INFORMATION

PROPERTY OWNER NAME (IF DIFFERENT): BILL OAKES - CHAIR PROPERTY COMMITTEE
ADVENT LUTHERAN CHURCH

PROPERTY OWNER MAILING ADDRESS: W63N642 WASH AV CEDARBURG

PROPERTY OWNER PHONE: (2) 377-2341 PROPERTY OWNER EMAIL: bill.oakes@adventchurch.org

DESCRIBE REQUEST: THE REQUEST IS FOR APPROVAL OF CONSTRUCTION OF A LIMITED USE LIMITED APPLICATION (LULA) ELEVATOR ON THE EXTERIOR OF ADVENT LUTHERAN CHURCH

PLEASE SUBMIT: TEN (10) COPIES OF WRITTEN DESCRIPTION OF PROPOSAL OR REQUEST * PLUS ELECTRONIC COPY
TEN (10) COPIES OF DRAWINGS, SKETCHES, PICTURES OR SURVEY MAPS (11" x 17" MAX)

*PLUS ELECTRONIC COPY

MATERIAL AND COLOR SAMPLES (WILL BE RETAINED BY THE CITY)

SUBMITTAL DEADLINE: Plans must be received no later than 16 days prior to Landmarks Commission meeting.

*ELECTRONIC COPIES MAY BE SENT TO THANAMAN@CITYOFCEDARBURG.WI.GOV OR PROVIDE A THUMB DRIVE

The undersigned certifies that he/she has familiarized themselves with the State and Local codes and procedures pertaining to this application. The undersigned further hereby certifies that the information contained in this application is true and correct. This application shall be signed by the property owner(s).

APPLICANT SIGNATURE: [Signature] DATE: 9/11/24

PROPERTY OWNER(S) SIGNATURE: William Oakes - CHAIR DATE: 9/11/24

FOR CITY STAFF USE ONLY

LANDMARKS COMMISSION MEETING DATE: 09/26/2024

PLAN COMMISSION REVIEW NEEDED? ☐ YES ☐ NO

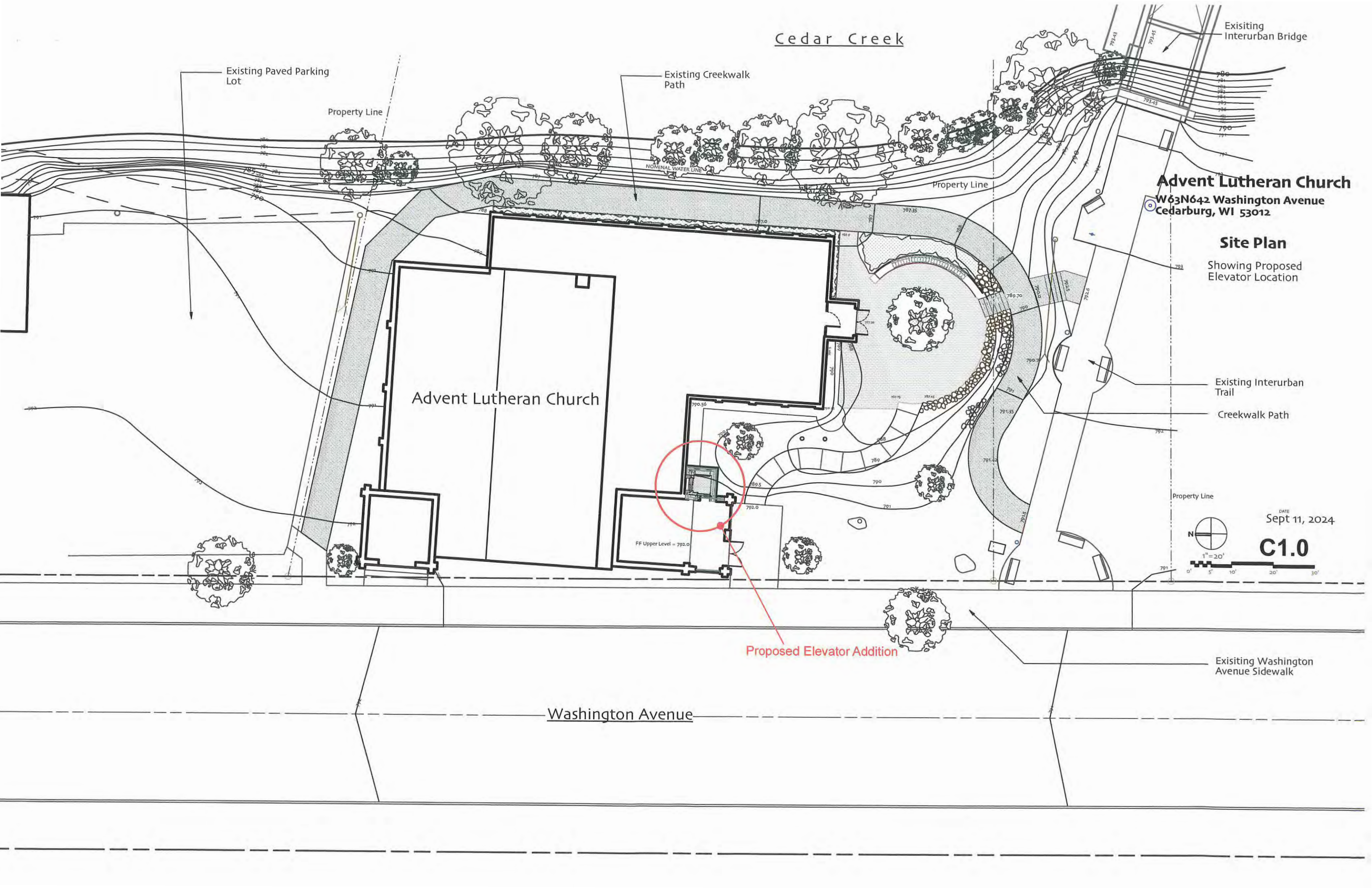
ATTACHMENTS (CHECK IF RECEIVED):

☒ TEN WRITTEN DESCRIPTIONS

☒ TEN DRAWINGS, SKETCHES OR MAPS

☐ MATERIAL/COLOR SAMPLES (IF APPLICABLE)

PROPERTY TAX KEY NO: 13-107-03-01-000



Cedar Creek

Existing Interurban Bridge

Existing Paved Parking Lot

Property Line

Existing Creekwalk Path

NOMINAL WATER LINE

Property Line

Advent Lutheran Church
W63N642 Washington Avenue
Cedarburg, WI 53012

Site Plan

Showing Proposed Elevator Location

Existing Interurban Trail

Creekwalk Path

Property Line

DATE
Sept 11, 2024

C1.0



1" = 20'
0' 5' 10' 20' 30'

Advent Lutheran Church

FF Upper Level = 792.0

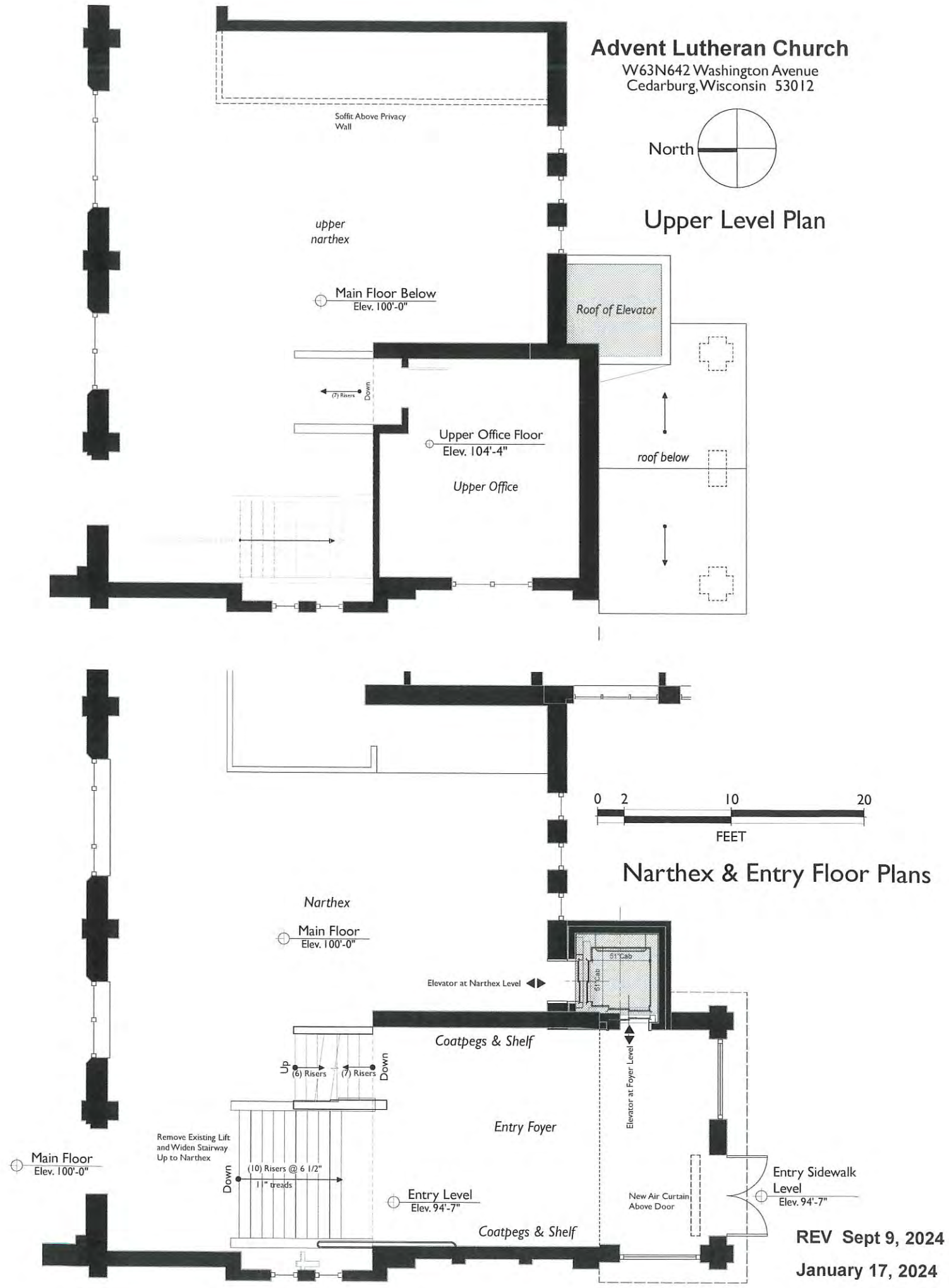
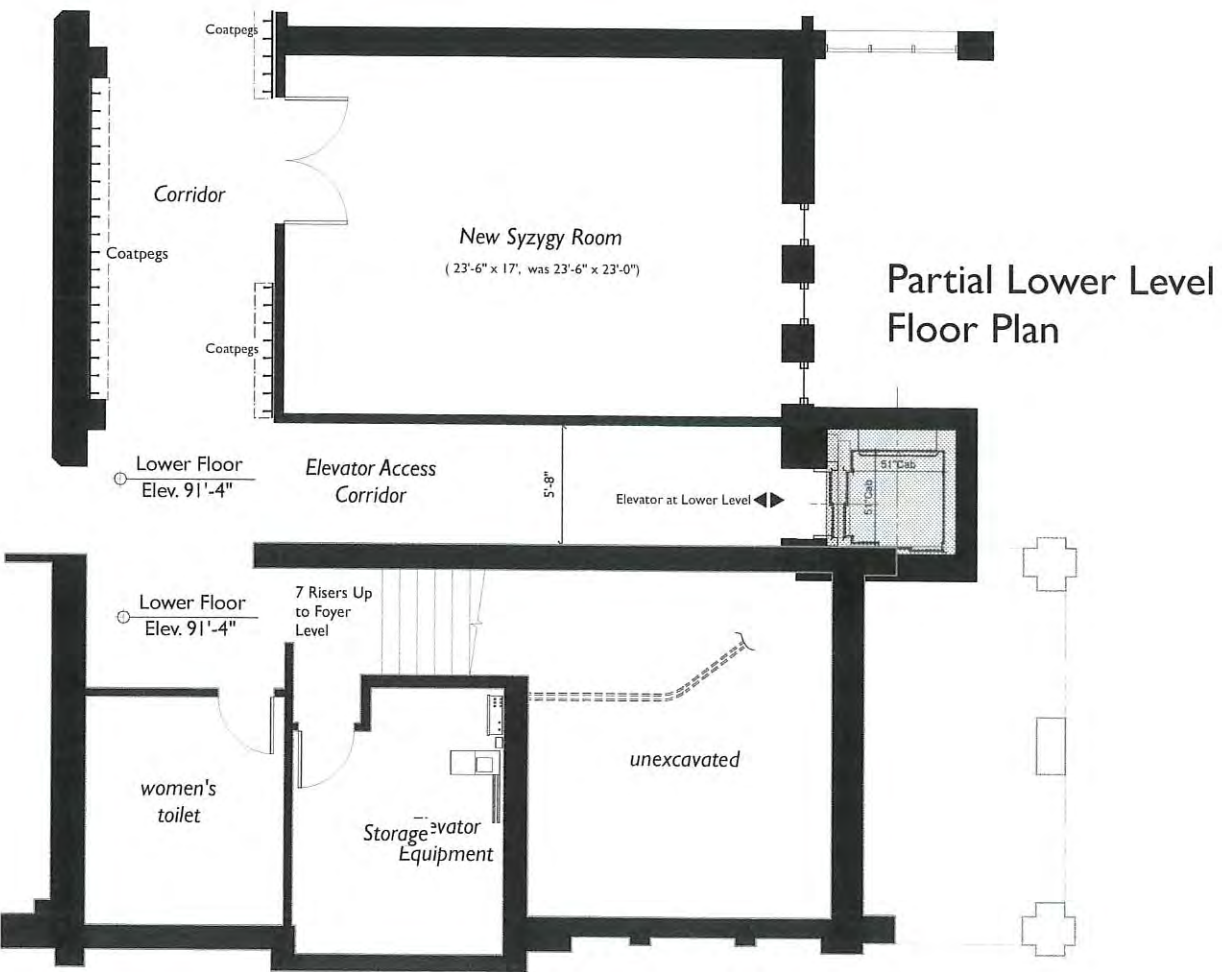
Proposed Elevator Addition

Washington Avenue

Existing Washington Avenue Sidewalk

STUDY: Alternate B - 'Elevator Outside'

3-Stop Limited Use Limited Application (LULA) 90° Left turn configuration Elevator Located 'Outside', Tight to the South Wall of the Existing Narthex, Masonry Arch of the East Wall of the Portico Altered, Open Portico Enclosed, Airlock Doors Removed, Access Corridor Created on Lower Level



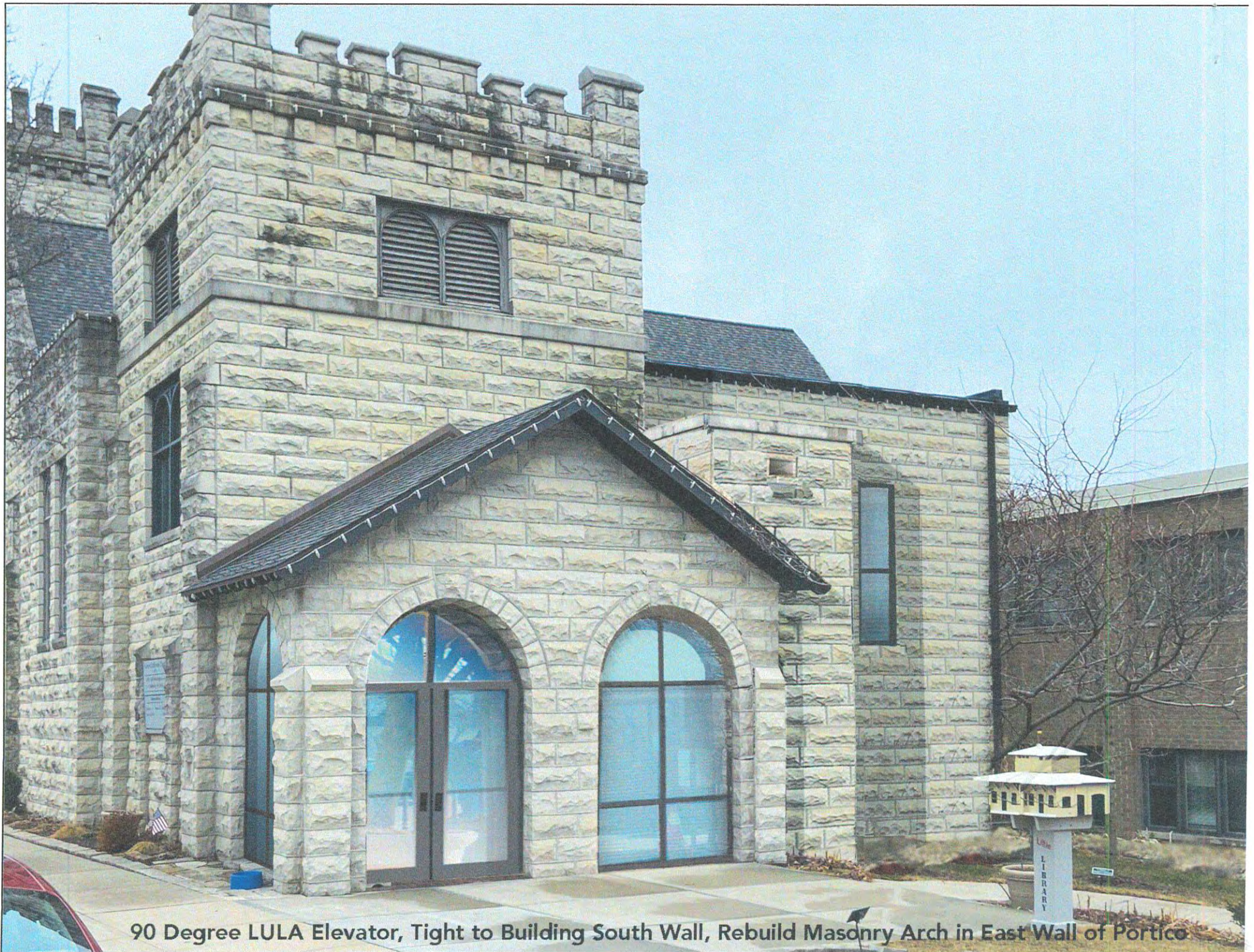
REV Sept 9, 2024
January 17, 2024

STUDY: Alternate B - 'Elevator Outside'

VIEW OF NEW ENLARGED ENTRY FOYER LOOKING SOUTH FROM INSIDE TOWARD ENCLOSED PORCH & ELEVATOR

3-Stop Limited Use Limited Application (LULA) 90° Left turn configuration Elevator Located 'Outside', Tight to the South Wall of the Existing Narthex, Masonry Arch of the East Wall of the Portico Altered, Open Portico Enclosed, Airlock Doors Removed, Access Corridor Created on Lower Level





90 Degree LULA Elevator, Tight to Building South Wall, Rebuild Masonry Arch in East Wall of Portico



620 Degree LULA Elevator, Tight to Building South Wall, Rebuild Masonry Arch in East Wall of Portico

Motion made by Commissioner Pape to approve the signs subject to the conditions in the Planner Report requiring the projecting sign to be tethered and the size area of the cut vinyl display in window #4 shall be reduced to an extent that the total area of the window coverage does not exceed 25%, seconded by Commissioner Yip. Motion carried without a negative vote. Commissioner Forbes and Council member Burkart excused.

LAROSA LANDSCAPE COMPANY, INC. REQUESTS APPROVAL TO INSTALL A 4-FOOT-TALL SCREENING FENCE/GATE AT THE BACK OF THE SIDEWALK BETWEEN THE BUILDINGS AT N58 W6208 AND N58 W6194 COLUMBIA ROAD AT THE REQUEST OF CEDARBURG LANDMARK PRESERVATION SOCIETY

Commissioner Kubala asked Mr. LaRosa if the gate would be stained or painted. Mr. LaRosa specified the plan is to allow the cedar wood to weather/gray-out naturally. The proposed fence with gate will stand flush with the front facades of these buildings and directly at the back of the sidewalk. It will serve to screen the private space between these buildings and conceal the trash containers.

Motion made by Commissioner Krimmel to approve the screening fence/gate as presented and seconded by Commissioner Pape. Motion carried without a negative vote. Commissioner Forbes and Council member Burkart excused.

PAUL RUSHING ON BEHALF OF THE ADVENT LUTHERAN CHURCH PROPERTY COMMITTEE REQUESTS APPROVAL OF PLANS TO ENCLOSE THE EXISTING ENTRYWAY STRUCTURE ON THE SOUTH WALL OF THEIR CHURCH BUILDING AT W63 N642 WASHINGTON AVENUE AND ADD AN ELEVATOR SHAFT BEHIND THIS ENTRYWAY

The Advent Church is requesting approval to place window glass in the west/street facing arch and the easternmost of the two south facing arches in the existing open-air, portico entryway to the church. The westernmost arch of the south facing arches would be enclosed using a double-door glass entry door unit. The east facing arch would be closed by virtue of a new elevator shaft proposed to be constructed on the east side of this portico entryway. The purpose of enclosing this entryway is to make an enclosed space within which a proposed new Limited Use Limited Application (LULA) elevator may be loaded/unloaded.

The proposed new window/door glass will be clear view. The elevator shaft is proposed to be located behind the enclosed entryway. It appears that this shaft will extend to nearly the same height as the peak of the gabled roof of the existing entryway and the tops of the existing windows on the south wall of the church. The architectural materials and design of this shaft appear to emulate the style, materials, color, and other design characteristics of the existing building. The portion of the church building that the elevator would be added to is an addition constructed in 1984. The LULA elevator would allow accessibility to every level of the church.

Motion to approve as presented by Commissioner Krimmel, seconded by Commissioner Pape. Motion carried without a negative vote. Commissioner Forbes and Council member Burkart excused.

KAREN AND BRIAN YANK REQUEST APPROVAL TO REPLACE THE FORMER ASPHALT SHINGLE ROOF WITH A METAL ROOF ON THE “STABLES” BUILDING LOCATED AT W62 N718-30 RIVEREDGE DRIVE

Karen and Brian Yank are requesting approval to replace the former asphalt shingled roof with a metal roof of the same color and style as the metal roof that was approved and installed on the outdoor seating and music structure located at W61 N518-20 Washington Avenue.

Motion made by Commissioner Krimmel to approve as presented, seconded by Commissioner Yip. Motion carried without a negative vote. Commissioner Forbes and Council member Burkart excused.

REVIEW, DISCUSSION, AND POSSIBLE RECOMMENDATION TO THE PLAN COMMISSION TO AMEND THE CITY CODES AS NEEDED TO ENSURE THE CITY’S CONTINUED STATUS AS A ‘CERTIFIED LOCAL GOVERNMENT’, THE CRITERIA FOR WHICH ARE SET FORTH BY THE DEPARTMENT OF THE INTERIOR AND THE WISCONSIN STATE HISTORIC PRESERVATION OFFICER.

The City’s Codes do not currently comport with the requirements of the Department of the Interior and the State of Wisconsin Historic Preservation Office as is required in order to maintain designation as a Certified Local Government. Planner Censky explained why this Certification is important and the ways the code would need to change in order to remain certified. Jason Tish from the Wisconsin Historical Society visited the Landmarks Commission on July 11, 2024 and went through the Landmarks applicable codes and zoning regulations. Mr. Tish concludes, Landmarks Commission does not have the full quasi-judicial authority that is required to maintain in good standing as a Certified Local Government in the eyes of The Wisconsin Historical Society and the Department of Interior. If the City were to be decertified, the current historic districts and structures will not become decertified -none of the historical landmarks would become unregistered or invalid. However, with new designations, the City will lose the ability to speak with import on questions of designation. With respect to the state and federal tax credit programs for residential and state, all residents will still be eligible. The City will lose the relationship with the state for consultative purposes on all matters related to historic preservation. Access to the State’s no-match grant money, available for such things as a community-wide historic surveys, Code updates, education, would be lost. The City can still continue to enforce our local historic preservation ordinances. Chapter 2 of the City Code says Landmarks Commission has the power to designate but later in the code it contradicts this statement and says it would have to go to Plan Commission to be approved.

Motion made by Commissioner Pape to take the steps necessary to pursue the continued certification as a local government, seconded by Commissioner Krimmel. Motion carried without a negative vote. Commissioner Forbes and Council member Burkart excused.

PLANNERS REPORT

To: City of Cedarburg Plan Commission

By: Mary Censky

Date Prepared: October 7, 2024

General Information:

Agenda Item: 6.D.

Applicant/Property Owner:

Larry Zilske of Ware Design Build,
on behalf of client/property owner
John and Coral Kaczynski

Requested Action:

Architectural review and approval
for new construction single family
dwelling on an infill lot.

Current Zoning:

Rs-3 Single-Family Residential
(12,100 sq. ft. required minimum
lot size)

Current Master Plan Classification:

Medium Density Residential

Surrounding Zoning/Land Use:

North: I-1 Institutional & Public
Service District

South: Rs-3 Single-Family
Residential

East: Rs-3 Single-
Family Residential

West: Rs-3 Single-
Family Residential

Lot Size:

.875-acres (38,115 sq. ft.)

Location:

N50 W7106 Western Avenue

Discussion:

Section 13-1-122(g) of the Code defines and provides for infill lots as follows: An infill lot is a single vacant lot located in a predominately built-up area, which is bounded on two or more sides by existing development. In addition any lot which contains an existing building, which will be removed and replaced with a new building, shall also be considered an infill lot. The infill status of a lot shall continue until building plans have been approved by the plan commission, a building permit acquired and the building constructed in accordance with the approved plans and an occupancy permit issued. Once the

occupancy permit is issued, the status of the lot shall change to non-infill and any additions or modifications thereafter shall be processed under normal procedures in accordance with article F.

Subsection (h)(2) goes on to provide that On infill lots, architectural plans and data in accord with [section 13-1-124](#) shall be submitted to the plan commission. The plan commission shall apply the above principles and either approve, approve conditionally or reject the architectural plans.

The principals are outlined as follows:

Architectural review and standards are required for all new principal buildings proposed for construction on all new lots created by a subdivision plat, by Certified Survey Map and on all infill lots. Architectural style is not restricted; however, structures must be compatible with the surrounding area. To provide criteria for the implementation of the purposes set forth in [section 13-1-120](#), the following architectural review principles, criteria, and procedures are established:

(a) Building scale and mass. The relative proportion of a building to its neighboring existing buildings, to pedestrians or observers, or to other existing buildings shall be maintained or enhanced when new buildings are built or when existing buildings are remodeled or altered. New buildings and additions to existing buildings shall harmonize and correspond to the existing character of the immediate neighborhood. In approving infill projects, the FAR standard for the zoning district in which the building is located shall not govern the building size, but rather, building size will be established, on a case-by-case basis, to reflect the existing character of the neighborhood.

(b) Building rooflines and roof shapes. The visual continuity of roofs and their contributing elements (parapet walls, coping, cornices, etc.) shall be maintained in building development or redevelopment.

(c) Materials. Material selection for architectural design shall be based upon the prevailing material already used on existing buildings in the area. No building shall be permitted where any exposed facade is constructed or faced with a finished material which is aesthetically incompatible with other building facades in the area and which presents an unattractive appearance to the public and surrounding properties.

(d) Colors. Since the selection of building colors has a significant aesthetic and visual impact upon the public and neighboring properties, color shall be selected in general harmony with the existing neighborhood buildings.

(e) Building location. No building shall be permitted to be sited in a manner which would unnecessarily destroy or substantially damage the beauty of the area, particularly insofar as it would adversely affect values incident to ownership of land in the area or which would unnecessarily have an adverse effect on the beauty and general enjoyment of existing structures on adjoining properties.

Additional information on Site and Architectural Review Purpose, Principals and Standards, refer to [Section 13-1-120](#) of the Code.

Detailed building and site plan materials are attached for your consideration.

Google Maps Street View Images-From east



Google Maps Street View Images-From west



Google Maps Street View Images-From Center



The Planner has reviewed this plan and raises no specific objections to the site or building plans as presented. It does comply with the basic bulk and spatial standards of the Rs-3 Single-Family Residential Zoning District. The consensus remarks of the Plan Commissioners, architect members in particular, should form the basis of any changes you may want to attach as conditions of approval to your final action in this matter.



LAND DEVELOPMENT APPLICATION

PROPERTY LOCATION/ADDRESS: N50W7106 Western Road Cedarburg, WI 53012

APPLICANT/BUSINESSNAME: Ware Design Build

APPLICANT/BUSINESS ADDRESS: 17500 W. Liberty Lane New Berlin, WI 53146

STATUS OF APPLICANT: ☐ OWNER ☒ **X AGENT** ☐ BUYER ☐ OTHER

PHONE: 262-208-9939

EMAIL: larry@waredesignbuild.com

PROPERTY OWNER (IF DIFFERENT): John & Coral Kaczynski

PROPERTY OWNER MAILING ADDRESS: 2075 S Parkside Dr New Berlin, WI 53151

PROPERTY OWNER PHONE: 262-853-0235

PROPERTY OWNER EMAIL:

clkaz@wi.rr.com

REQUEST FOR (CHECK ALL THAT APPLY):

☐ CONCEPT REVIEW

☐ CONDITIONAL USE ZONING

☒ **X SITE/ARCHITECTURAL PLAN APPROVAL**

☐ ANNEXATION REQUEST

☐ SUBDIVISION PLAT OR CSM REVIEW

☐ VARIANCE/BOARD OF APPEALS

☐ ZONING DISTRICT CHANGE

☐ OTHER

DESCRIBE REQUEST: Ware Design would like to build John & Coral Kaczynski a new single-family ranch style house 3,830 sq ft at N50W7106 Western Road Cedarburg. This will be their retirement forever home.

PLEASE SUBMIT: **FIVE (5) COPIES OF WRITTEN DESCRIPTION OF PROPOSAL OR REQUEST FOR CITY STAFF REVIEW -PLUS ELECTRONIC
FIVE (5) FULL SETS OF SUPPORTING DRAWINGS, SKETCHES OR SURVEY MAPS FOR CITY STAFF REVIEW
PLUS ELECTRONIC
TEN (10) SETS OF PLANS (11" x 17" MAX) FOR PLAN COMMISSION REVIEW -PLUS ELECTRONIC**

ELECTRONIC COPIES MAY BE SENT TO THANAMAN@CITYOFCEDARBURG.WI.GOV

The undersigned certifies that he/she has familiarized themselves with the State and Local codes and procedures pertaining to this application. The undersigned further hereby certifies that the information contained in this application is true and correct. This application shall be signed by the property owner(s).

PROPERTY OWNER(S) SIGNATURE:

Coral Kaczynski

DATE: 9-4-2024



17500 W. Liberty Lane
New Berlin, WI 53146
262.303.4935
waredesignbuild.com

September 6, 2024

City Staff,

Ware Design Build intends to build John & Coral Kaczynski a new single-family ranch style house 3,830 sq ft at N50W7106 Western Road Cedarburg. This will be their retirement forever home. By using impact features (roof), and using design schemes that do not impede on the natural elements of the lot.

Respectfully,

Larry Zilske
Project Manager

LEGAL DESCRIPTION: THAT PART OF THE E 1/2 OF SOUTHWEST 1/4 OF SECTION 27, TOWNSHIP 10 NORTH, RANGE 21 EAST, CITY OF CEDARBURG, OZAUKEE COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS: COMMENCING AT A POINT IN THE SOUTH LINE OF SAID SECTION 27, WHICH IS 165 FEET EAST OF THE SOUTHWEST CORNER OF THE EAST 1/2 OF THE SOUTHWEST 1/4 OF SAID SECTION 27, THENCE NORTH, 284 FEET, THENCE EAST 165 FEET, THENCE SOUTH 284 FEET, THENCE WEST 165 FEET TO THE POINT OF BEGINNING.

- PROPOSED YARD GRADE = 816.75
- PROPOSED TOP OF FOUNDATION WALL ELEV. = 817.42
- PROPOSED FIRST FLOOR ELEV. = 818.77
- PROPOSED GARAGE FLOOR ELEV. = 818.75
- PROPOSED TOP OF FOOTING ELEV. = 808.42 (9' WALL)
- PROPOSED BASEMENT FLOOR ELEV. = 808.67

AS OF THE DATE OF THIS SURVEY; NO TITLE POLICY WAS PROVIDED AND THIS SURVEY WAS DRAFTED BASED UPON CURRENT DEEDS AND ITS RESPECTIVE INFORMATION AND HAS BEEN FIELD VERIFIED AND THEREFORE THIS PLAT OF SURVEY DOES NOT GUARANTEE THE EXISTENCE, SIZE AND LOCATION OF ANY EASEMENTS, ENCUMBRANCES, RESTRICTIONS OR OTHER FACTS THAT COULD OTHERWISE BE DISCLOSED IN A TITLE SEARCH OR CURRENT TITLE POLICY.

STATE OF WISCONSIN }
WAUKESHA COUNTY } SS

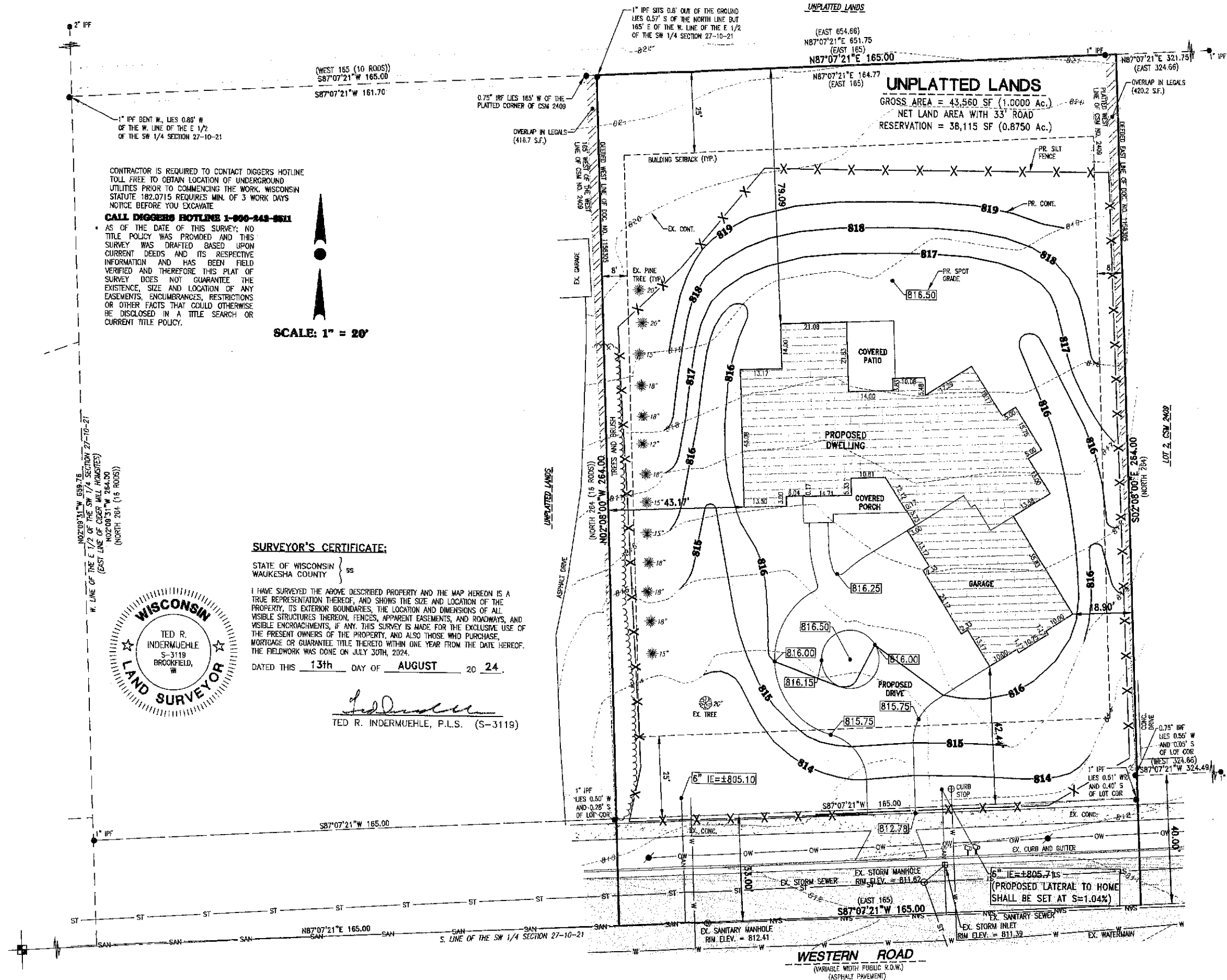
DATED THIS 13th DAY OF AUGUST 20 24.



PROJECT:
KACYNISKI RESIDENCE
CITY OF CEDARBURG, WISCONSIN

PREPARED FOR:
WARE DESIGN BUILD
17500 W. LIBERTY LANE
NEW BERLIN, WI 53146

1 OF 1



LEGAL DESCRIPTION: THAT PART OF THE E 1/2 OF SOUTHWEST 1/4 OF SECTION 27, TOWNSHIP 10 NORTH, RANGE 21 EAST, CITY OF CEDARBURG, OZAUKEE COUNTY, WISCONSIN. DESCRIBED AS FOLLOWS: COMMENCING AT A POINT IN THE SOUTH LINE OF SAID SECTION 27, WHICH IS 165 FEET EAST OF THE SOUTHWEST CORNER OF THE EAST 1/2 OF THE SOUTHWEST 1/4 OF SAID SECTION 27, THENCE NORTH, 264 FEET, THENCE EAST 165 FEET, THENCE SOUTH 264 FEET, THENCE WEST 165 FEET TO THE POINT OF BEGINNING.

- * PROPOSED YARD GRADE = 816.75
- * PROPOSED TOP OF FOUNDATION WALL ELEV. = 817.42
- * PROPOSED FIRST FLOOR ELEV. = 818.77
- * PROPOSED GARAGE FLOOR ELEV. = 816.75
- * PROPOSED TOP OF FOOTING ELEV. = 808.42 (9' WALL)
- * PROPOSED BASEMENT FLOOR ELEV. = 808.67

CALL DIGGERS HOTLINE 1-800-242-3311

SCALE: 1" = 20'

STATE OF WISCONSIN }
WAUKESHA COUNTY } SS

DATED THIS 13th DAY OF AUGUST 20 24

TED R. INDERMUEHLE, P.L.S. (S-3119)

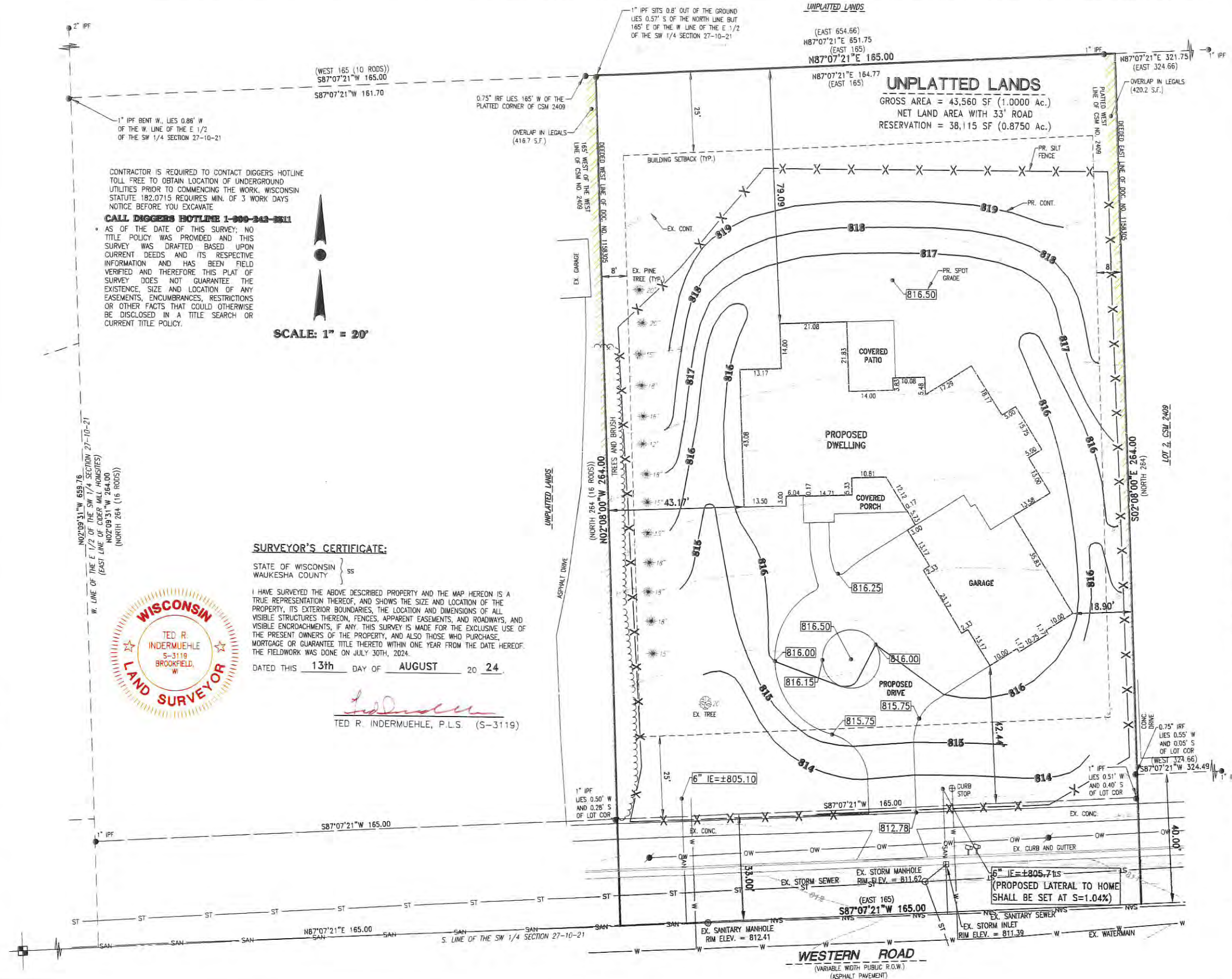
[illegible]

REVISION HISTORY

DATE	DESCRIPTION
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SHEET

1 OF 1



NEW HOME

CONTACTS

N50W7106 WESTERN ROAD
CEDARBURG, WI 53012



SET INFORMATION

NON-LIVING SQUARE FOOTAGES	
NAME	AREA
100025-RES COVER LOT#1	1418.00
UNCOVERED PORCH	720.00
UNCOVERED PATIO	74.00
COURT YARD/FH	1,000.00
COVERED PATIO	224.50
8 CAR GARAGE/DETACHED	1,050.00
TOTAL SF	4,536.50

DESCRIPTION	DATE
INITIAL	6/3/202
REV. 1	6/15/202
REV. 2	7/3/202
REV. 3	7/12/202
REV. 4	7/17/202
PERMIT	8/9/202

Model C-10	R112
Year	6/3/2012
Manufacturer	JL
Supply type	15"x4"

COVERSHEET

Discipline Designator	Sheet Type	Sequence Number
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AD1.1

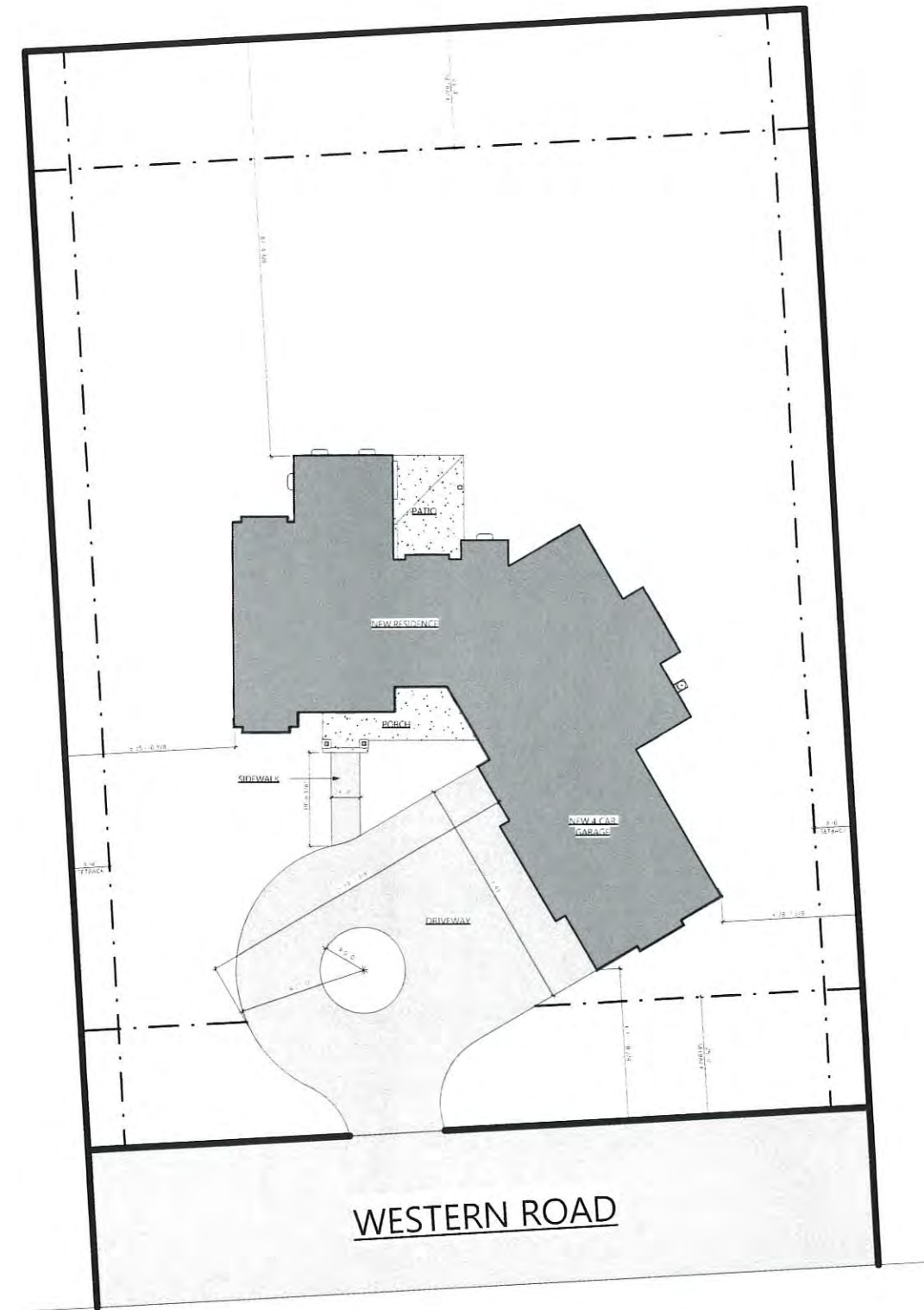
C1.0



2 3D VIEW_FRONT
SCALE



3 3D VIEW_REAR
SCALE



1 SITE PLAN
SCALE 3/32" = 1'-0"

JOHN & CORAL KACZYNSKI
N50W7106 WESTERN ROAD
CEDARBURG, WI 53012

INITIAL	6/3/2024
REV 1	6/19/2024
REV 2	7/3/2024
REV 3	7/13/2024
REV 4	7/17/2024
PERMIT	8/9/2024

PROJECT	R1121
DATE	6/20/24
DESIGNER	JLC
CHECKED BY	WKA
SITE PLAN & 3D VIEWS	

V1.0

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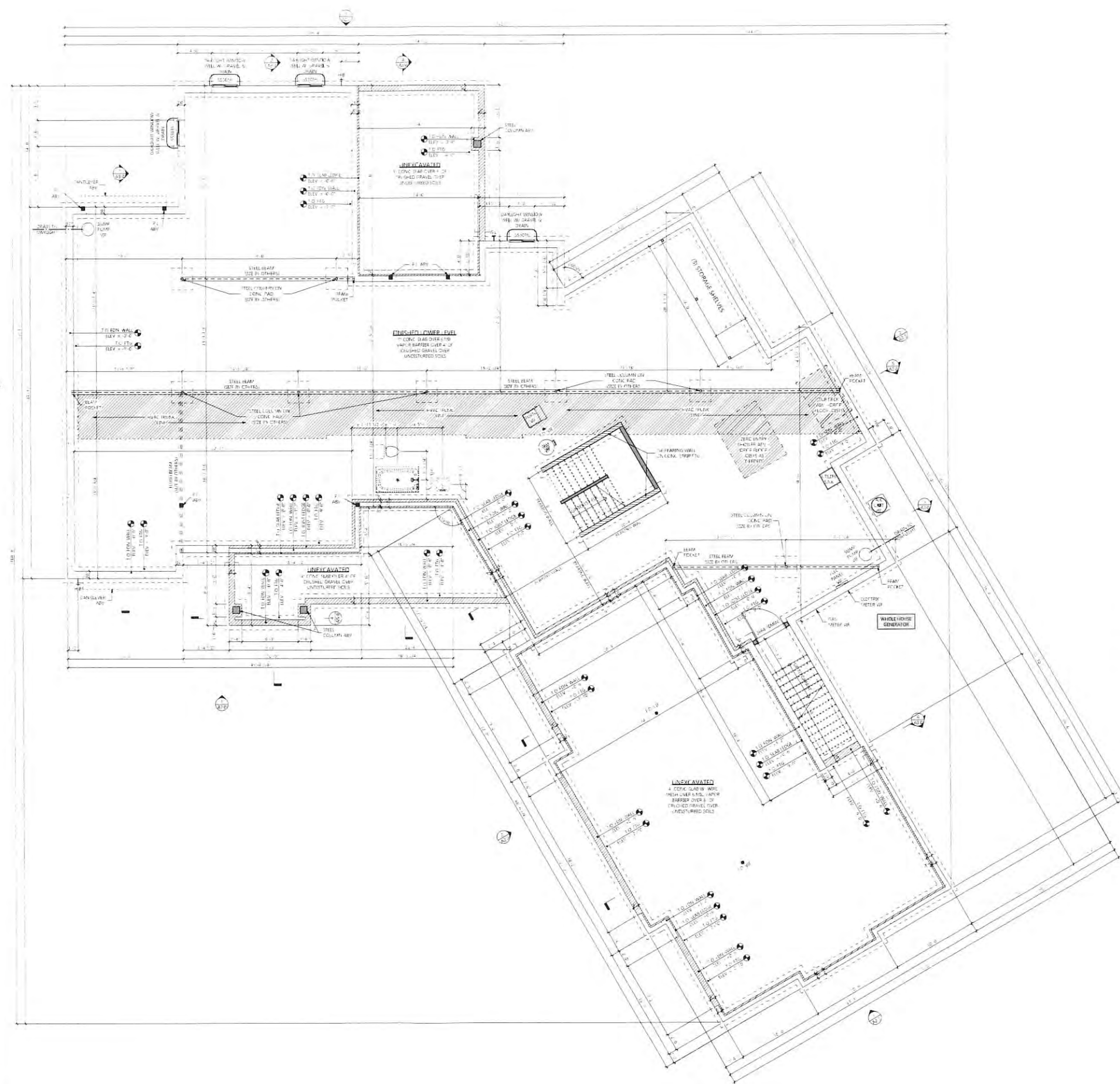
JOHN & CORAL KACZYNSKI
N50W7106 WESTERN ROAD
CEDARBURG, WI 53012

DATE: 6/5/2024
INITIAL: 6/5/2024
REV 1: 6/19/2024
REV 2: 7/3/2024
REV 3: 7/12/2024
PERMIT: 8/5/2024

PROJECT: R1121
DATE: 6/5/2024
DRAWN BY: JLC
CHECKED BY: JLC
SCALE: 3/8"=1'-0"

FOUNDATION PLAN

A1.0



LIVING SQUARE FOOTAGES

TABLE	AREA
FIRST FLOOR	1014 SF
UNDER FLOOR	1014 SF
TOTAL	2028 SF

NON-LIVING SQUARE FOOTAGES

TABLE	AREA
OF FLOOR	1014 SF
UNDER FLOOR	1014 SF
UNDER FLOOR	1014 SF
UNDER FLOOR	1014 SF
UNDER FLOOR	1014 SF
UNDER FLOOR	1014 SF
TOTAL	6084 SF

FOUNDATION NOTES

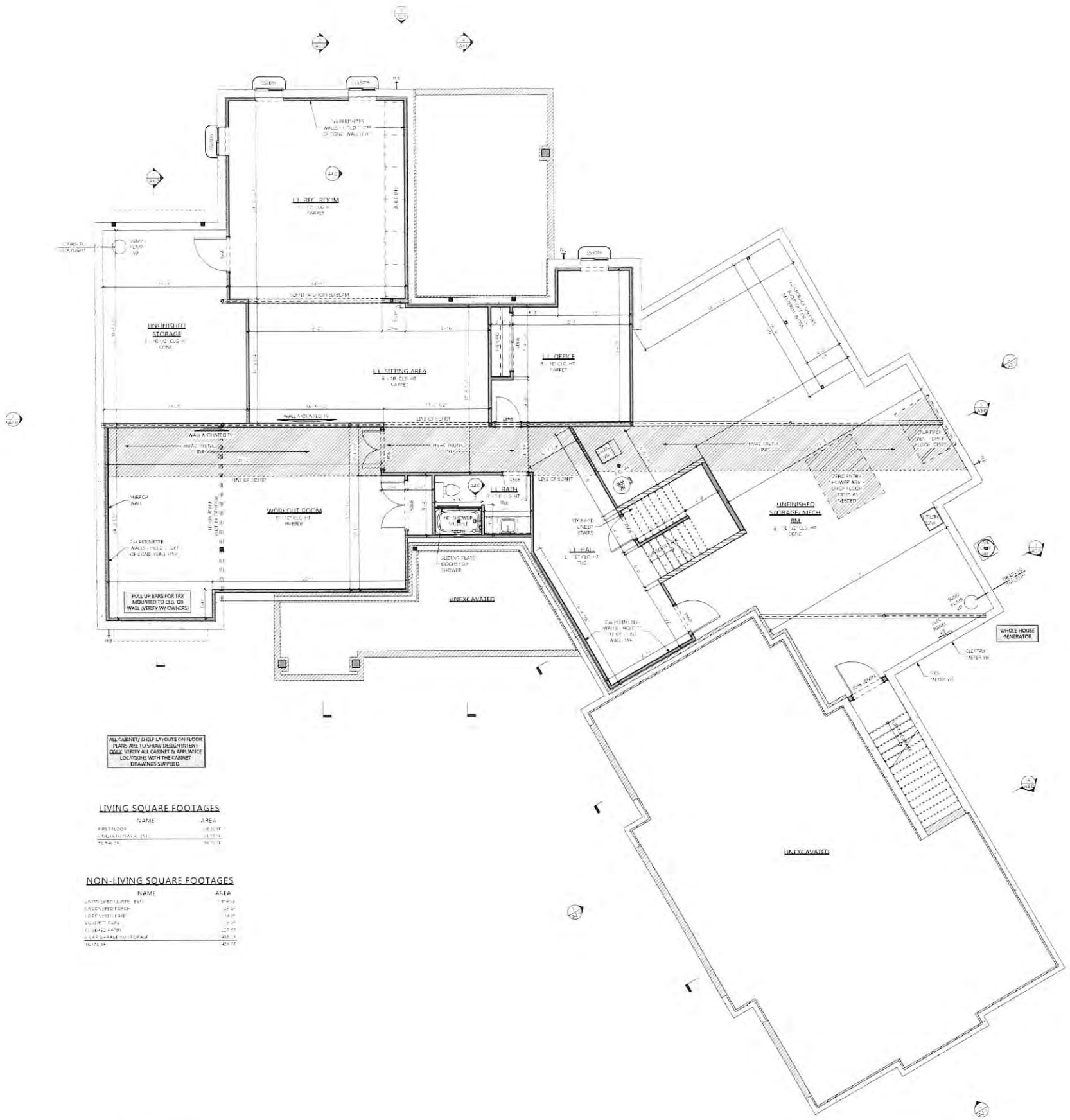
- GENERAL NOTES:**
- ALL DIMENSIONS ARE FACE TO FACE OF STUDY OR TO FACE OF CONCRETE UNLESS NOTED OTHERWISE.
 - FOR ADDITIONAL INFORMATION REFER TO THE LISTED DETAILS AND OR THE BUILDING SPECS.
 - ALL WOOD WALLS AND/OR FLOOR PLATE SHALL HAVE 1/2" OVER FOUNDATION WALLS FOR 1" RIGID INSULATION U-10.
- FOOTINGS:**
- ALL FOOTINGS SHALL HAVE A MINIMUM DEPTH OF 48" UNLESS ENGINEERING SPECIFIES OTHERWISE.
 - ALL FOOTINGS SHALL BE 8000PSI POURED CONCRETE W/ REBAR PER CODE.
 - FORM A CHAIN OR BRAY TIE SHALL BE INSTALLED AT ALL FOOTINGS UNDER OCCURABLE BASEMENT SPACE.
 - FOOTINGS SHALL BE A MINIMUM OF 6" WIDER THAN THE WALL THEY SUPPORT AND THE SAME THICKNESS OF THE WALL THEY SUPPORT UNLESS SOI OR ENGINEERING REQUIRES OTHERWISE.
- WALLS:**
- ALL CONCRETE SHALL BE 4000PSI POURED CONCRETE UNLESS ENGINEERING SPECIFIES OTHERWISE.
 - REFER TO PLAN AND ENGINEERING FOR ADDITIONAL INFORMATION.
- SLABS:**
- ALL CONCRETE WALLS SHALL BE 8000PSI POURED CONCRETE W/ REBAR PER CODE.
 - ALL CONCRETE WALLS SHALL BE DESIGNED FOR 60PSF OF SOIL LOAD UNLESS MUNICIPALITY OR SOI EXIGES OTHERWISE.
 - REFER TO PLAN FOR THICKNESS AND HEIGHT.
- GRAVEL UNDER SLAB:**
- GRAVEL UNDER THE BASEMENT SLAB SHALL BE LEVELED SO THAT THE BOTTOM OF THE SLAB IS FLUSH WITH THE TOP OF THE WALL FOOTINGS.



7500 W. 1st Ave., Suite 100
Milwaukee, WI 53212
Office (262) 750-4000
info@warebuild.com

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ALL CABINETS, ISLAND LAYOUTS ON FLOOR
PLANS ARE TO SHOW DESIGN INTENT
CALLS VERIFY ALL CABINET & APPLIANCE
LOCATIONS WITH THE CABINET
DRAWINGS SUPPLIED.

LIVING SQUARE FOOTAGES		
NAME	AREA	
FIRST FLOOR	18,000 SF	
SECOND FLOOR	18,000 SF	
TOTAL	36,000 SF	

NON-LIVING SQUARE FOOTAGES		
NAME	AREA	
UNFINISHED LOFTS	4,000 SF	
UNFINISHED PORCH	2,000 SF	
UNFINISHED GARAGE	4,000 SF	
UNFINISHED ATTIC	2,000 SF	
UNFINISHED BASEMENT	2,000 SF	
TOTAL	14,000 SF	

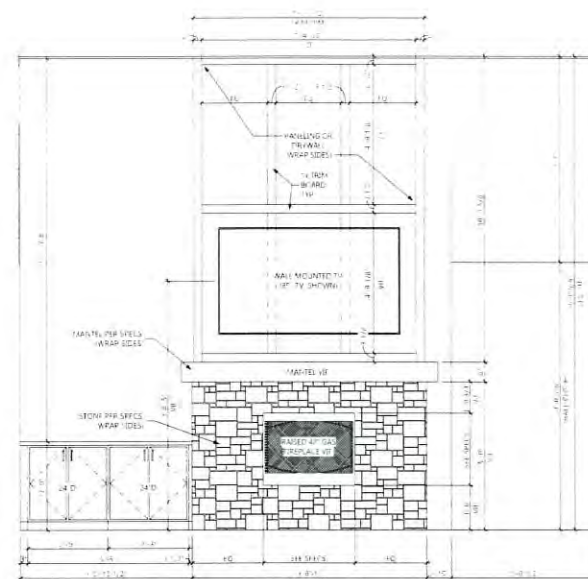
1 LOWER LEVEL
SCALE 1/4" = 1'-0"

DATE	BY
INITIAL	6/15/2024
REV 1	6/15/2024
REV 2	7/12/2024
REV 3	7/12/2024
REV 4	7/17/2024
PERMIT	8/5/2024

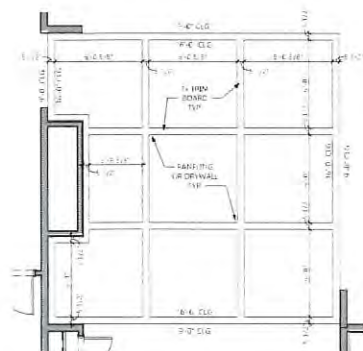
PROJECT	181121
DATE	03/20/24
DESIGNER	JLC
CHECKER	JLC
SCALE	1/4" = 1'-0"

LOWER LEVEL PLAN

A1.0B



2 GREAT ROOM F.P. ELEVATION
SCALE 1/2" = 1'-0"



3 GREAT ROOM CEILING DETAIL
SCALE: 1/4" = 1'-0"

ALL CABINET/SHELF LAYOUTS ON FLOOR PLANS ARE TO SHOW DESIGN INTENT.
NOTE: VERIFY ALL CABINET & APPLIANCE LOCATIONS WITH THE CABINET DRAWINGS. (SHEET 17)

LIVING SQUARE FOOTAGES	
NAME	AREA
FIRST FLOOR	2230.54
SECOND FLOOR	7650.34
TOTAL	9880.88

NON-LIVING SQUARE FOOTAGES	
NAME	AREA
CONCRETE WALKWAY	14.00
UNCOVERED PORCH	28.00
WOODEN DECK	34.00
COVERED PORCH	15.00
SCREENED PATIO	220.00
GLASS GARAGE ENCLOSURE	455.00
TOTAL SQ.	846.00

FIRST FLOOR PLAN NOTES

GENERAL NOTE

- GENERAL NOTES:**
- ALL DIMENSIONS ARE FACE OF STUD TO FACE OF STUD OR TO FACE OF CONCRETE UNLESS NOTED OTHERWISE.
 - FOR ADDITIONAL INFORMATION REFER TO THE LISTED DETAILS AND/OR THE BUILDINGS SPECS.
 - PROVIDE WOOD BLOCKING FOR ALL WALL MOUNTED FIXTURES, FLOATING VANITIES, BEHIND ALL CABINETS AND @ CLOSET SHELVES. LOCATIONS. VERIFY ALL HEIGHTS IN FIELD WITH OWNER/DESIGNER.

RIGHTS IN PUBLICATION

- 14" JOISTS, SPACING AND SERIES PER MANUFACTURER/SUPPLIER.
- FLOOR SHALL BE DESIGNED TO A MAX DEFLECTION OF 0.4"
- ADD BLOCKING UNDER KITCHEN ISLAND AND 10' BEYOND ISLAND IN ALL DIRECTION
- GLUE & NAIL SUBFLOOR TO JOISTS
- GLUE ALL SUBFLOOR JOINTS

• GLUE ALL SUR-
FACES

- HEADERS SHALL BE SIZED AS SMALL AS POSSIBLE WITH A MAX DEFLECTION OF 0.4"
 - HEADERS SHALL BE INSULATED WHERE POSSIBLE
- WALLS
- ALL WALLS ARE TO BE 16" O.C. UNLESS CODE OR ENGINEERING REQUIRES OTHERWISE
 - ALL EXTERIOR WALLS SHALL BE 2X6 WYBRHAMER/US LUMBER OR EQUIVALENT
 - ALL INTERIOR GROUND FLOOR WALLS SHALL BE 2X4 WYBRHAMER/US LUMBER OR EQUIVALENT
 - ALL EXTERIOR WALLS OVER 10' BY WEIGHT SHALL BE 2X6 OR 2X4 LUMBER
 - ALL INTERIOR WALLS OVER 10' BY WEIGHT SHALL BE 2X4 WYBRHAMER/US LUMBER OR EQUIVALENT UNLESS
 - ALL EXTERIOR AND BEARING WALLS SHALL HAVE A DOUBLE TOP PLATE AND A 2X6
 - ALL NON-BEARING INTERIOR WALLS SHALL HAVE A SINGLE TOP PLATE AND A 2X4

• ALL NON-SS
MEMBERS

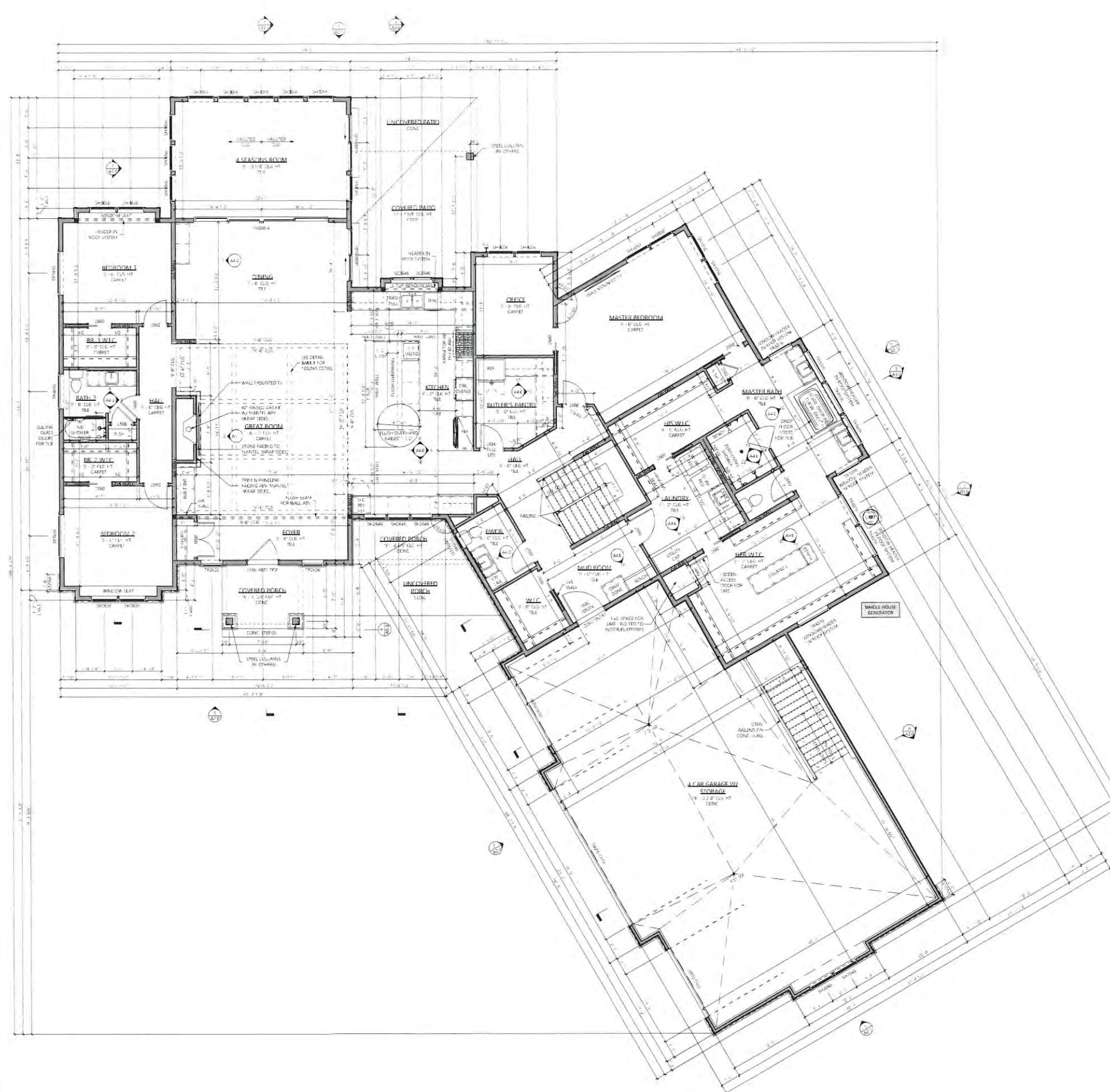
- SEE ELEVATIONS FOR HEADER HEIGHT
- SEE WINDOW SPECS FOR ROUGH OPENING DIMENSIONS
- K&B IS SUBJECT MATTER EXPERT ON BEST PRACTICES

• TAGS IN FEB

- ALL 10-10-10 DOOR ROUGH OPENINGS SHALL BE 1/2" WIDER THAN MARKED ON PLAN & THE TOP OF THE OPENING SET 2" HIGHER THAN MARKED ON PLAN FROM TOP OF FINISHED FLOOR.
- ALL 8-6-6 DOOR ROUGH OPENINGS SHALL BE THE SAME AS THE FINISHED WIDTH MARKED ON THE PLAN & THE TOP OF THE OPENING SET 2" HIGHER THAN MARKED ON PLAN FROM TOP OF FINISHED FLOOR.
- ALL POCKET DOOR ROUGH OPENINGS PER MANUFACTURER'S SPECS.

- ALL POCKET
- TAG IS IN POK

- ALL STAIRS SHALL HAVE A MAX RISE HEIGHT OF 8" AND A TREAD DEPTH OF 10" WITH A 1" NOSE
- RISERS IN TREADS SHALL NOT VARY MORE THAN 3/8" FROM THE LARGEST TO THE SMALLEST
- ALL HAND RAILINGS SHALL BE AT 36"-38" HEIGHT MEASURED VERTICALLY FROM THE FRONT EDGE OF THE TREAD NOSE OR LANDING
- RAILINGS ARE TO BE SPACED PER CODE



1 FIRST FLOOR
SCALE: 1/4" = 1'-0"

JOHN & CORAL KACZYNSKI
N50W7106 WESTERN ROAD
CEDARBURG, WI 53012

INITIAL	6/3/2024
REV. 1	6/19/2024
REV. 2	7/3/2024
REV. 3	7/12/2024
REV. 4	7/17/2024
PERMIT	8/3/2024

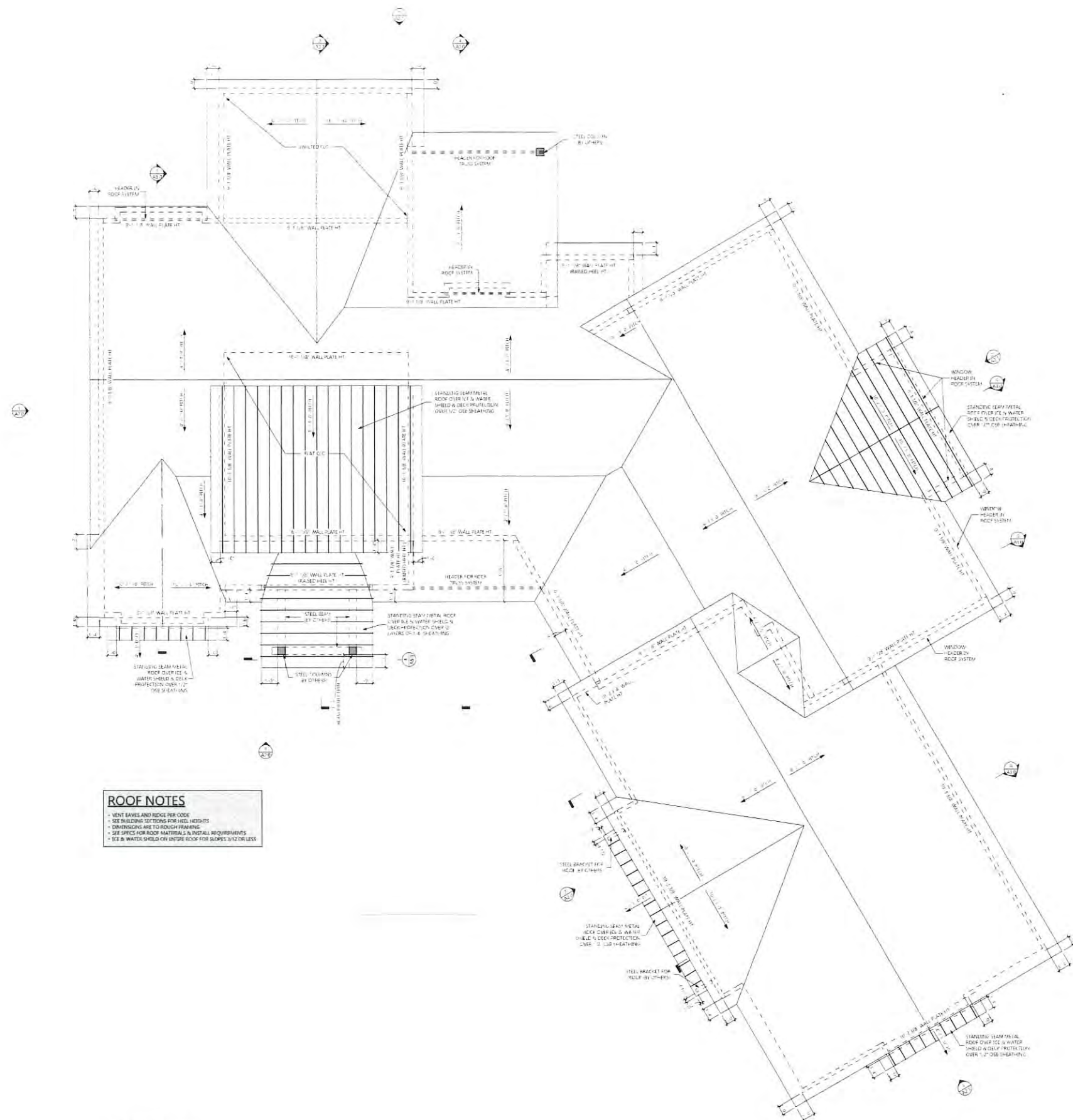
Model	R112
Date	5/3/202
Time	11:11
Lat	36° 40'

FIRST FLOOR PLAN

A1.1

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 THE PROPERTY OF
 THOMAS L. WARE, LLC



ROOF NOTES

- VENT DRAINS AND RIDGE PER CODE
- SEE BUILDING SECTIONS FOR RISE HEIGHTS
- DIMENSIONS ARE TO JOINT OR FINISH
- SEE SPECS FOR ROOF MATERIALS & INSTALL REQUIREMENTS
- SEE & WATER SHIELD ON ENTIRE ROOF FOR SLOPES 1/2\"/>

1 ROOF PLAN
 SCALE: 1/4" = 1'-0"

JOHN & CORAL KACZYNSKI
 N50W7106 WESTERN ROAD
 CEDARBURG, WI 53012

DATE	6/5/2024
INITIAL	6/5/2024
REV 1	7/3/2024
REV 2	7/3/2024
REV 3	7/3/2024
REV 4	7/3/2024
PERMIT	8/5/2024

PROJECT	R1121
DATE	5/3/2024
DESIGNER	JLC
CHECKED	5/3/24
PROJECT	38" x 48"

ROOF PLAN

A1.2

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THE WRITTEN CONSENT OF
WARE DESIGN BUILD.



1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR MATERIALS (VERIFY W/ SPECS.)	
ROOF	
• SHINGLES	• MANUFACTURER: CERTAINTED NORTHGATE LUMATEX
• COLOR: TANK ONE EXPRESS	
• METAL ROOF	
• MANUFACTURER: TSD	
• COLOR: BLACK	
GUTTERS	
• COLOR: WHITE	
DOWNSPOUTS	
• COLOR: WHITE	
FASCIA & SOFFIT	
• UP SMARTSIDE TRIM	
• FASCIA TRIM SIZE: 6" TRIM	
• SOFFIT TRIM SIZE: 8" TRIM	
• COLOR: SW7027 WHITE HERON	
EXTERIOR SIDING	
• UP SMARTSIDE BOARD & BATTEN SIDING	
• CEDAR TEXTURE PANEL	
• FINISH: SATIN	
• COLOR: SW7011 NATURAL CHOICE	
• 2" BATTEN TRIM BOARD & 16" O.C. (VERIFY)	
• FINISH: SATIN	
• COLOR: SW7011 NATURAL CHOICE	
• UP SMARTSIDE HORIZONTAL SIDING	
• EXPOSURE: 6 3/4"	
• FINISH: SATIN	
• COLOR: SW7011 NATURAL CHOICE	
• UP SMARTSIDE SHAKE SIDING	
• FINISH: SATIN	
• COLOR: SW7011 NATURAL CHOICE	
EXTERIOR TRIM	
• UP SMARTSIDE TRIM	
• CORNER TRIM SIZE: 6" TRIM	
• COLOR: SW7027 WHITE HERON	
• WINDOW & DOOR TRIM SIZE: 4" TRIM	
• COLOR: SW7027 WHITE HERON	
• BAND BOARD TRIM SIZE: 10" TRIM	
• COLOR: SW7027 WHITE HERON	
EXTERIOR COLUMNS	
• NATURAL STEEL	
• COLOR: TRD	
STONE (EXTERIOR)	
• THIN CUT STONE (VERIFY)	
• MANUFACTURER: WALQUEST	
• COLOR/LINE: ASHEVILLE	
WINDOWS & SLIDING DOORS	
• ANDERSON 110 SERIES OR EQUAL	
• EXTERIOR COLOR: BLACK	
• INTERIOR COLOR: BLACK	



2 GARAGE FRONT ELEVATION
SCALE: 1/4" = 1'-0"



3 LEFT ELEVATION
SCALE: 1/4" = 1'-0"

JOHN & CORAL KACZYNSKI
N50W7106 WESTERN ROAD
CEDARBURG, WI 53012

DATE	6/3/2024
INITIAL	
REV 1	6/19/2024
REV 2	7/3/2024
REV 3	7/17/2024
REV 4	7/17/2024
PERMIT	6/5/2024

PROJECT	R1121
DATE	5/3/2024
DESIGNER	JLC
CHECKED BY	36" x 48"

EXTERIOR
ELEVATIONS

A2.0

FOR
CONSTRUCTION

© COPYRIGHT 2024
WARE DESIGN BUILD
ALL RIGHTS RESERVED.
THIS DOCUMENT, DESIGN
AND DESIGN INCORPORATED
HEREIN ARE THE PROPERTY
OF WARE DESIGN BUILD AND
ARE NOT TO BE USED
WHOLE OR IN PART WITHOUT
THE WRITTEN CONSENT OF
WARE DESIGN BUILD



1 REAR ELEVATION
SCALE: 1/4" = 1'-0"



2 GARAGE REAR ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR MATERIALS (VERIFY W/ SPECS)	
ROOF	EXTERIOR TRIM
• SHINGLES	• LP SMARTSIDE TRIM
• MANUFACTURER: CERTAINTED NORTHGATE CLIMATEFLEX	• CORNER TRIM SIZE: 6" TRIM
• COLOR: MAX DEF ESPRESSO	• COLOR: SW7027 WHITE HERON
• METAL ROOF	• WINDOW & DOOR TRIM SIZE: 4" TRIM
• MANUFACTURER: TPO	• CO. OR: SW7027 WHITE HERON
• COLOR: BLACK	• BANDING TRIM SIZE: 1/2" TRIM
	• COLOR: SW7027 WHITE HERON
CLADDING	EXTERIOR COLUMNS
• COLOR: WHITE	• MATERIAL: STEEL
DOWNSPOUTS	• COLOR: TPO
• COLOR: WHITE	
RAVINE & BARK	STONE EXTERIOR
• LP SMARTSIDE TRIM	• THIN CUT STONE (VERIFY)
• FASCIA TRIM SIZE: 6" TRIM	• MANUFACTURER: HAUZLUST
• BARK TRIM SIZE: 6" TRIM	• COLOR: ASHVILLE
• COLOR: SW7027 WHITE HERON	
EXTERIOR SIDING	WINDOWS & DOORS
• LP SMARTSIDE BOARD & BATTEN SIDING	• ANDERFLEX 100 SERIES OR SIMILAR
• CEDAR TEXTURE PANEL	• EXTERIOR COLOR: BLACK
• FINISH: SATIN	• INTERIOR COLOR: BLACK
• COLOR: SW7011 NATURAL CHOICE	
• 2" BATTEN TRIM BOARDS @ 16" O.C. (VERIFY)	
• FINISH: SATIN	
• COLOR: SW7011 NATURAL CHOICE	
• LP SMARTSIDE HORIZONTAL SIDING	
• EXPOSURE: 6-8"	
• FINISH: SATIN	
• COLOR: SW7011 NATURAL CHOICE	
• LP SMARTSIDE SHARD SIDING	
• FINISH: SATIN	
• COLOR: SW7011 NATURAL CHOICE	



3 GARAGE SIDE ELEVATION
SCALE: 1/4" = 1'-0"

JOHN & CORAL KACZYNSKI
N50W7106 WESTERN ROAD
CEDARBURG, WI 53012

REVISION	DATE
INITIAL	6/5/2024
REV 1	5/15/2024
REV 2	10/3/2024
REV 3	7/12/2024
REV 4	7/17/2024
PERMIT	6/9/2024

PROJECT	R1121
DATE	5/3/2024
DESIGNER	JLC
DATE	3/6/2024

EXTERIOR
ELEVATIONS

A2.1

PLANNERS REPORT

To: City of Cedarburg Plan Commission

By: Mary Censky

Date Prepared: October 7, 2024

General Information:

Agenda Item: 6.E.

Applicant/Property Owner:

Jeanie and Danny Crawford

Requested Action:

Concept review, consideration, and feedback about their compilation of existing uses, site plan, and the prospective addition of a new flex-type space/use.

Current Zoning:

B-1 Neighborhood Business District with Planned Unit Development (PUD) Overlay

Current Master Plan Classification:

Mixed Use Office and/or High Medium Density Residential

Surrounding Zoning/Land Use:

North: Rs-5 Single-Family Residential

South: Rs-5 Single-Family Residential

East: B-2 Community Business District

West: Rs- Single-Family Residential

Lot Size:

1.16 acres (50,530 sq. ft.)

Location:

N39 W6181-6191 Jackson Street

Discussion:

The applicant requests consultative feedback regarding their plans for use of a space within the principal building (ref Structure A) on this site. There is a secondary/subordinate building on this site as well (ref Structure B). It is presently leased to others for cold storage use only.

Current tenancies in the principal building include two residential dwelling units leased to others, and 4,878 square feet of finished business tenant space currently configured for three separate business tenant occupancies. These existing uses, by Code, should be supported by 37 parking stalls.

The proposed new space use in Structure A (i.e., Tenant #4) would create a Code based requirement for 20 additional spaces.

Based on a new site plan prepared for this proposal, it appears that 53 stalls could be laid-out on site. Further, based on the applicant's analysis, it appears that this site has approximately 34 on-street parking stalls located within 250 feet of the site although the Planner would note that the Washington Avenue spaces (15 total) may not actually be viable, despite the apparent lack of no parking signs.

The applicant requests Plan Commission feedback as to willingness to accept the proposed 53 onsite stalls plus the available on-street stalls within 250 feet of the site as sufficient to service this compilation of uses on the site (Note: no stall demand is figured in for Structure B as the tenants are present for brief and sporadic visits only).

Section [13-1-82\(f\)\(4\)](#) of the Code provides that parking areas subject to these requirements shall be surfaced with bituminous or Portland cement concrete pavement or concrete pavers in accordance with the City of Cedarburg standards and specifications, and that concrete curbing shall be installed as a border along all pavement edges (Note: there is a provision in this section of the Code that allows for curb stops as a possible option to curbing). The applicant also requests feedback about leaving the current unpaved areas of the parking lot as gravel instead of paving and marking the entire area properly.

As far as the new space (i.e., Tenant #4) goes, the applicant requests feedback from Commissioners about certain uses within their list of ideas – whether these uses fall under existing uses listed in the B-1 Neighborhood Business District, and if not, would the Commission be inclined toward adding them to the [B-1 Neighborhood Business District](#).

- Requested uses for Tenant Space #4:
 - Claisthenics, Group fitness classes, spin classes, personal training, therapy classes including swim/bike/run with focus on biomechanical performance coaching, therapeutic classes, health and wellness training/coaching. Planner questions whether these fall under the existing listed conditional use “Spa” in the B-1 District or whether this is more similar to the use “Spas and fitness facilities” a permitted use listed in the B-3 Central Business District.
 - Dance lessons, vocal/piano/art lessons. Falls within listed B-1 permitted use “Art, dance, or music teaching studios”.

- Juice bar, refreshment beverage area (nonalcoholic, indoor/outdoor?). Change existing listed B-1 permitted use “Coffee/espresso bars” to include nonalcoholic juice/smoothie bars? Please consider/discuss indoor vs outdoor seating opportunity here.
- Continuing education space, meeting space, charitable events, event space for the community to rent, additional uses that align with our vision and mission. Add new conditional use of flex/social/hospitality/gathering space?

Detailed building and site plan materials are attached for your consideration.

Google Maps Street View Images



Google Maps Street View Images



[illegible]

As a matter for concept review and feedback, there is no Staff recommendation at this time.

Jeanie Crawford
The Back Space LLC
PO Box 401
Cedarburg, WI 53012
406-223-4827

05/24/2024
City of Cedarburg
W63 N645 Washington Avenue
Cedarburg, WI 53012

Dear Members of the City Council,

I am writing to formally introduce and outline the plans for a new business, The Back Space LLC, located at W61 N397 Washington Ave, Suite C, Cedarburg, WI 53012. Our establishment is designed to serve the community by providing a variety of retail and service offerings that align with the goals of the B-I Neighborhood District.

Purpose of The B-I Neighborhood District:

The B-I Neighborhood District aims to support small retail and service establishments that cater to the day-to-day needs of residents, ensuring that these businesses harmonize with the surrounding neighborhood and adhere to the City of Cedarburg Smart Growth Comprehensive Land Use Plan-2025. Key objectives include:

1. Designing walkable streets that accommodate all traffic types.
2. Enhancing pedestrian safety and user-friendliness.
3. Coordinating public streetscapes with private improvements.
4. Improving the aesthetic qualities of the area.

Intended Uses of The Back Space LLC:

The Back Space LLC will offer a diverse range of activities and services, including:

“The Back Space” of the LumbAryard in Cedarburg WI. In B1 district with Urban Overlay

Principle Uses:

- SBR specific Therapy Classes – swim/bike/run specific classes focus professional Biomechanical Performance coaching
- Therapeutic classes
- Professional Health and Wellness
- Dance lessons
- Vocal/piano/art lessons
- Event space for community to rent
- Meeting space
- Charitable Events
- Refreshment beverage area
- Additional uses that align with our vision and mission

These services are intended to complement and enhance our growing city, fulfilling the district's purpose and enriching the local community.

Addressing Community Needs:

We recognize the importance of practical considerations such as parking. To proactively address potential concerns, we have implemented parking space delineators. Enclosed with this letter are photos of The Back Space, parking lot improvements, and as-built drawings for your review. Additionally, restrooms are conveniently located within the common area of our building. We are confident that The Back Space LLC will be a valuable addition to the Cedarburg community, providing versatile spaces and services that support the health, education, and cultural engagement of our residents. We look forward to working with the city to ensure that our business meets and exceeds the standards set forth by the B-I Neighborhood District. Thank you for your time and consideration. We are eager to contribute to the vibrant and growing community of Cedarburg.

Sincerely,

Jeanie and Danny Crawford

The Back Space LLC

PO Box 401

Cedarburg, WI 53012 406-223-4827

0..

SBR Therapy and Wellness, LLC

SBRTherapy.com



LAND DEVELOPMENT APPLICATION

PROPERTY LOCATION/ADDRESS: W61 N397C Washington Ave.
APPLICANT/BUSINESSNAME: The Back Space LLC
APPLICANT/BUSINESS ADDRESS: W61 N397C Washington Ave.
STATUS OF APPLICANT: ☒ OWNER ☐ AGENT ☐ BUYER ☐ OTHER _____
PHONE: 406-223-4827 EMAIL: Jeannie@CBRTtherapy.com
PROPERTY OWNER (IF DIFFERENT): Bird House Rentals, LLC
PROPERTY OWNER MAILING ADDRESS: P.O. Box 401 Cedarburg, WI 53012
PROPERTY OWNER PHONE: 406-223-4827 PROPERTY OWNER EMAIL: Jeannie@CBRTtherapy.com
REQUEST FOR (CHECK ALL THAT APPLY):

- | | |
|---|--|
| ☒ CONCEPT REVIEW | ☒ CONDITIONAL USE ZONING |
| ☐ SITE/ARCHITECTURAL PLAN APPROVAL | ☐ ANNEXATION REQUEST |
| ☐ SUBDIVISION PLAT OR CSM REVIEW | ☐ VARIANCE/BOARD OF APPEALS |
| ☐ ZONING DISTRICT CHANGE | ☐ OTHER _____ |

DESCRIBE REQUEST: Please See Attached

PLEASE SUBMIT: FIVE (5) COPIES OF WRITTEN DESCRIPTION OF PROPOSAL OR REQUEST FOR CITY STAFF REVIEW
FIVE (5) FULL SETS OF SUPPORTING DRAWINGS, SKETCHES OR SURVEY MAPS FOR CITY STAFF REVIEW
THIRTEEN (13) SETS OF PLANS (11" x 17" MAX) FOR PLAN COMMISSION REVIEW

The undersigned certifies that he/she has familiarized themselves with the State and Local codes and procedures pertaining to this application. The undersigned further hereby certifies that the information contained in this application is true and correct. This application shall be signed by the property owner(s).

PROPERTY OWNER(S) SIGNATURE: [Signature] DATE: 4/22/2024
Bird House Rentals, LLC
Summer Crawford

FOR CITY STAFF USE ONLY

TOTAL FEE: \$ 100.00 (SEE FEE SCHEDULE ON REVERSE PAGE) DATE FEE PAID: 9-5-24
APPLICATION AND FEE RECEIVED BY: Sarah Bares PLAN COMMISSION MEETING DATE: 10/7/24
ATTACHMENTS (CHECK IF RECEIVED):
☐ FIVE DESCRIPTIONS ☐ FIVE FULL-SIZE SETS ☐ THIRTEEN PLAN SETS
PROPERTY TAX KEY NO./PLAN COMMISSION FILE NO: 13 050 20 02 002
ZONING: B1/PUD ALDERMANIC DISTRICT: 5 PREVIOUS MEETING: _____

Jeanie Crawford
The Back Space LLC
PO Box 401
Cedarburg, WI 53012
406-223-4827

05/24/2024
City of Cedarburg
W63 N645 Washington Avenue
Cedarburg, WI 53012

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2. Enhancing pedestrian safety and user-friendliness.
3. Coordinating public streetscapes with private improvements.
4. Improving the aesthetic qualities of the area.

Intended Uses of The Back Space LLC:

The Back Space LLC will offer a diverse range of activities and services, including:

1. Calisthenics
2. Group fitness classes
3. Spin classes
4. Continuing education space
5. Meeting space
6. Music classes
7. Art classes, art exhibits, and shows

8. Event space
9. Charitable events
10. Personal training
11. Group classes
12. Juice bar
13. Additional uses that align with our vision and mission

These services are intended to complement and enhance our growing city, fulfilling the district's purpose and enriching the local community.

Addressing Community Needs:

We recognize the importance of practical considerations such as parking. To proactively address potential concerns, we have implemented parking space delineators. Enclosed with this letter are photos of The Back Space, parking lot improvements, and as-built drawings for your review. Additionally, restrooms are conveniently located within the common area of our building. We are confident that The Back Space LLC will be a valuable addition to the Cedarburg community, providing versatile spaces and services that support the health, education, and cultural engagement of our residents. We look forward to working with the city to ensure that our business meets and exceeds the standards set forth by the B-I Neighborhood District. Thank you for your time and consideration. We are eager to contribute to the vibrant and growing community of Cedarburg.

Sincerely,

Jeanie Crawford

The Back Space LLC

PO Box 401

Cedarburg, WI 53012 406-223-4827

Owner SBR Therapy and Wellness, LLC

SBRTherapy.com

Design drawings
not for construction

Architect
Stevens Architects LLC
8215 W. Douglas Hwy Rd.
Madison, WI 53707
1.262.238.8888

Option A

Requires easement

ZONING REQUIREMENTS:

ZONING:
PUD (B-2)

Sec. 13-1-82 - Parking requirements.
(b) Access. Adequate access to a public street shall be provided for each parking space, and driveways shall be at least ten feet wide for one and two family dwellings and a minimum of 24 feet wide for all other areas.

(c) Size. Size of each parking space shall be not less than 180 square feet, exclusive of the space required for ingress and egress.

(g) Parking spaces for use by physically handicapped persons. All open off-street parking areas providing more than 25 parking spaces, except for parking areas restricted to use by employees only, shall provide parking spaces use by motor vehicles which transport physically disabled persons, in accordance with the following minimum standards:
(1) One parking space shall be provided in parking areas containing 26 to 49 spaces.
(2) Two percent of the total number of spaces shall be provided in parking areas containing 50 to 1,000 spaces.

(h)(2)i. Theaters, auditoriums, and other places of public assembly. One space per three patrons based on the maximum capacity of the facility.

Section 13-1-83 Adjustments to required parking
(b)(3) Use of on-street parking for visitors. Available nearby on-street parking may be counted toward visitor parking needs. This may only be allowed when on-street parking is permitted in a specific location, and then only when such on-street parking spaces are within 250 feet of the entrance they are intended to serve

Single one way lane to be 18' Min.

Site plan is based on plat of survey prepared by Phil Dhein 16 August 1988.

Total Required Parking

Tenant#1	13.94
Tenant#2A	6.44
Tenant#2B	12.13
Tenant#3	2
Tenant#4	20.34
Tenant#5	2
Attic	0
Total parking required	56.85

Parking spaces provided

Off street	53
Onstreet parking	38
Total parking provided	91

Propose Event Parking

Tenant#3	2
Tenant#4	87
Tenant#5	2
Total parking required	91

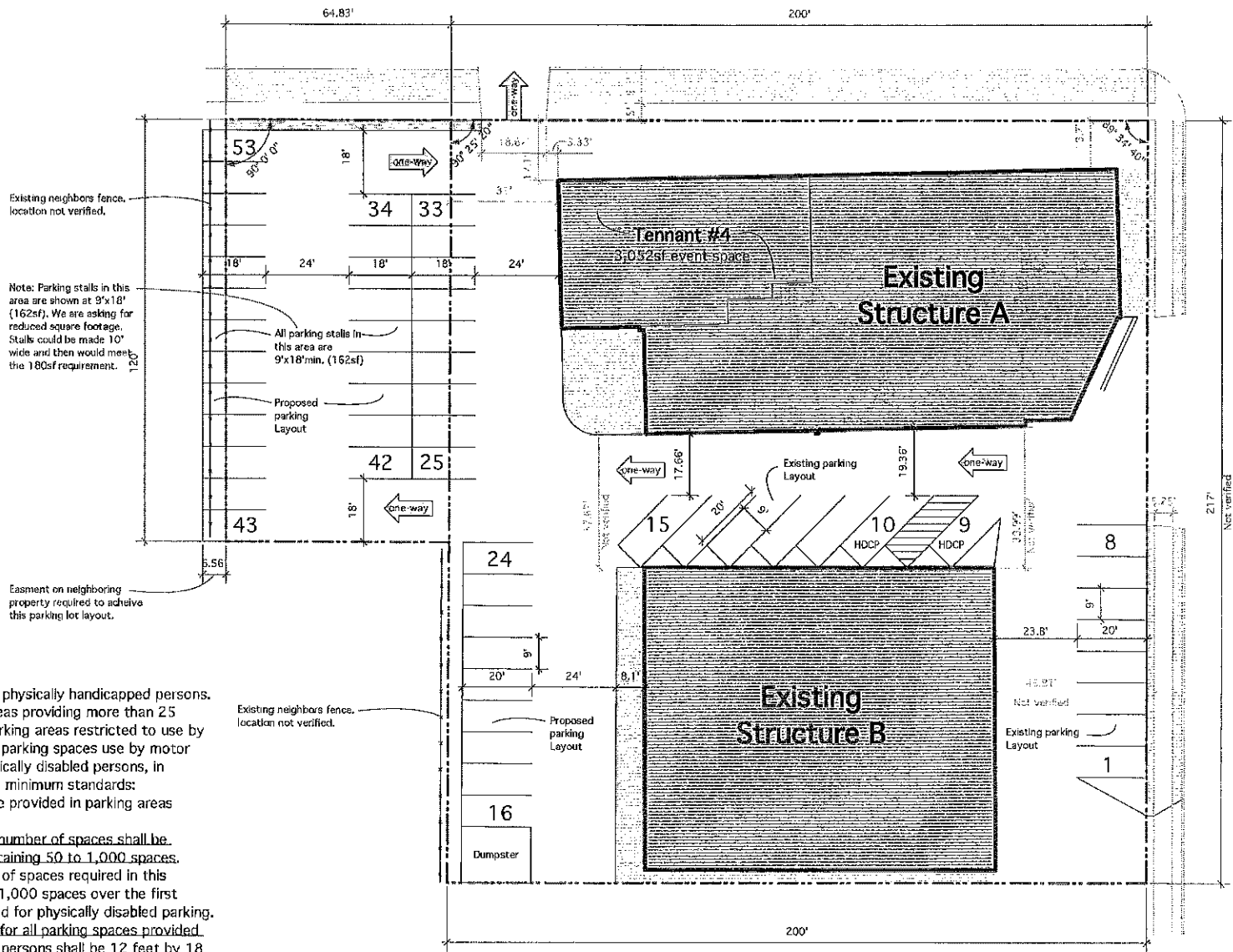
If remaining tenants where unoccupied and
If you used 1 parking space for 3 people the event space could house 87 available parking spaces x 3 people = 261 occupants max.

Date: 21 Aug 2024

Sheet Title:
Site Plan



A1.1A



HDGP Parking:

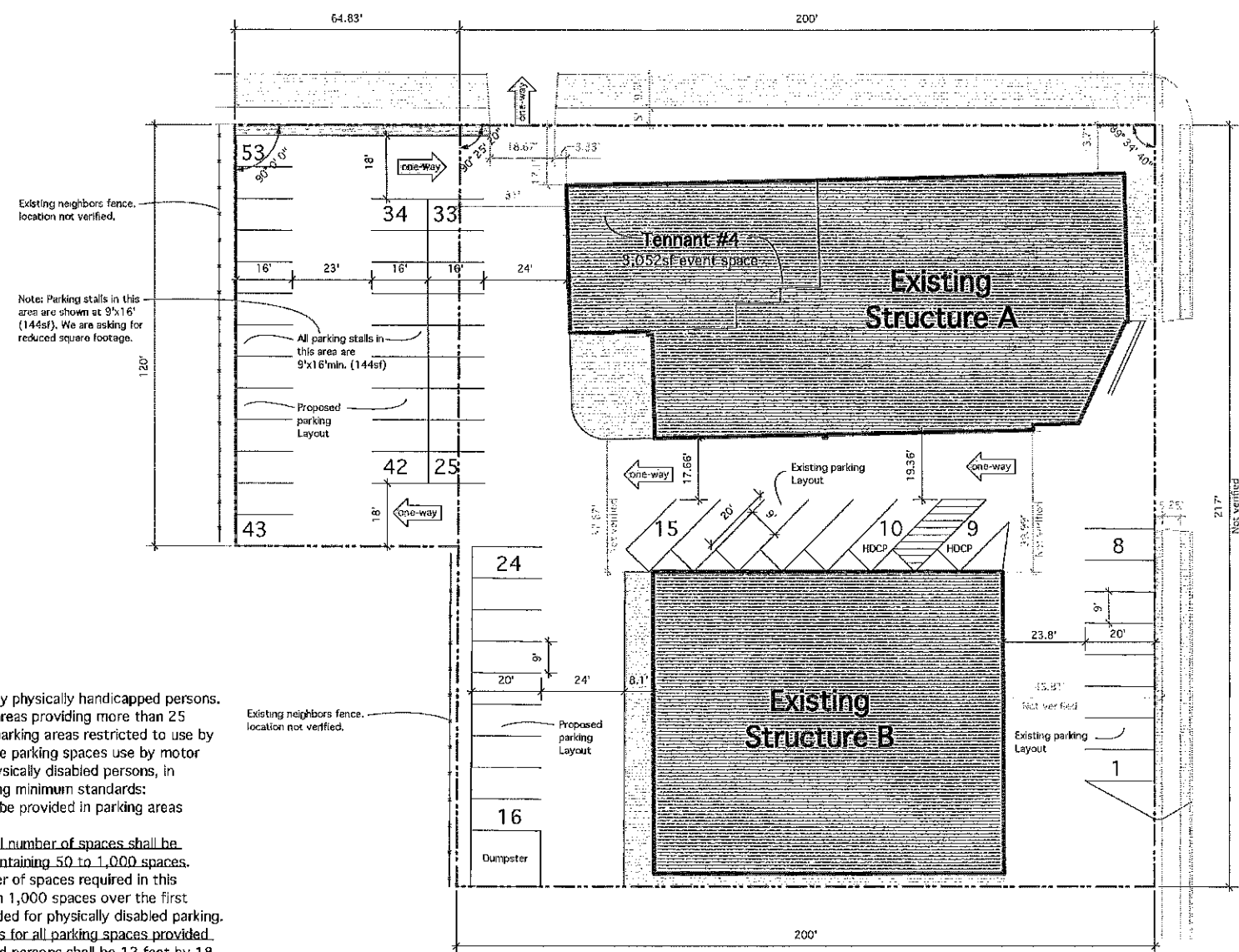
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(2) Two percent of the total number of spaces shall be provided in parking areas containing 50 to 1,000 spaces.
(3) In addition to the number of spaces required in this section, one percent of each 1,000 spaces over the first 1,000 spaces shall be provided for physically disabled parking.
(4) The minimum dimensions for all parking spaces provided for use by physically disabled persons shall be 12 feet by 18 feet.
(5) Parking spaces provided for the use of physically disabled persons shall be located as close as possible to an entrance which allows such persons to enter and leave the parking area without assistance.
(6) All parking spaces provided for the use of physically disabled persons shall be marked with a sign which includes the international symbol for barrier free environments and a statement informing the public that the parking space is reserved for use by physically disabled persons. Such signs shall comply with the requirements of Wis. Stats. §§ 346.50, 346.503, and 346.505.

1 Site Plan
A1.1 1"=50' Note: Not to scale if drawing is printed on 11"x17" paper

Option B

Design drawings
not for construction

Architect
Stevens Architects LLC
8215 W. Douglas Bay Rd.
Naples, FL 34107
1.262.238.8888



HDCP Parking:

(g) Parking spaces for use by physically handicapped persons. All open off-street parking areas providing more than 25 parking spaces, except for parking areas restricted to use by employees only, shall provide parking spaces use by motor vehicles which transport physically disabled persons, in accordance with the following minimum standards:

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ZONING REQUIREMENTS:

ZONING:
PUD (B-2)

- Sec. 13-1-82 - Parking requirements.**
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LUMBAR YARD
PARKING

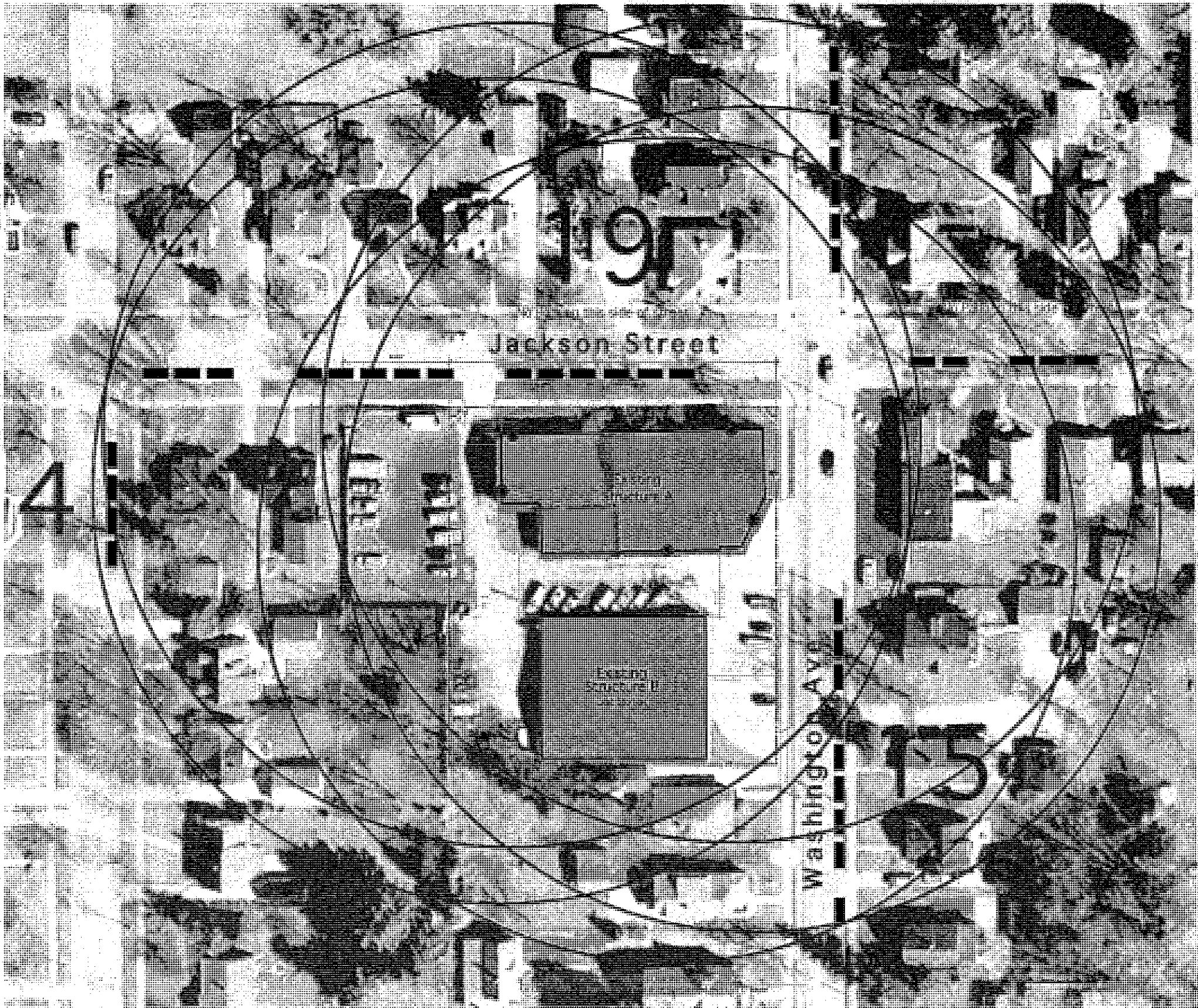
WASHINGTON AVE., CEDARBURG, WI 53012

Date: 21 Aug 2024

Sheet Title:
Site Plan



A1.1B



Design drawings
not for construction

This note is to prevent contractors from building from design drawings.
This note will be removed prior to start of building permit submittal.

Architect
Sweet Architect LLC
8215 W. Dayton Rd.
Kenosha, WI 53102
1.262.238.8888

LUMBAR YARD
PARKING
WASHINGTON AVE, CEDARBURG, WI 53012

Date: 21 Aug. 2024

Sheet Title:
Site Plan

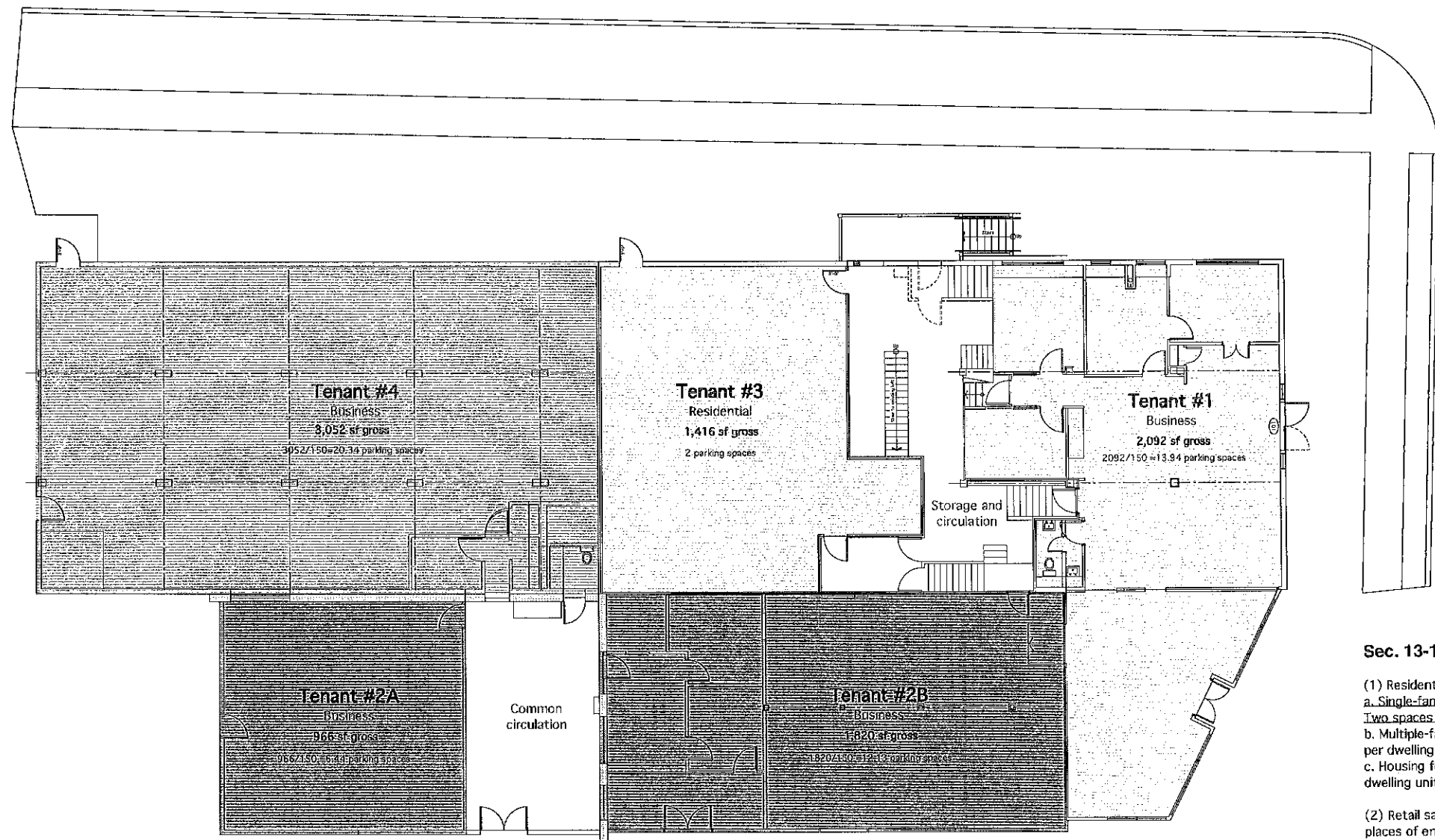


A1.2

Design drawings
not for construction

This note is to prevent contractors from building from design drawings.
This note will be removed prior to state or local permit approval.

Architect
Seas Architect LLC
8215 W. Douglas Bay Rd.
Hawthorn, WI 53097
1.262.236.8888



10,665 sf gross total
building footprint/ area first floor

1 First Floor Plan
2.1 1/8"=1'-0" Note: Scale is 1/16"=1'-0" if drawing is printed on 11"x17" paper

Sec. 13-1-82 - Parking requirements.

- (1) Residential uses.
- a. Single-family dwellings and two family dwellings. Two spaces per dwelling unit.
 - b. Multiple-family dwellings. One and one-half spaces per dwelling unit.
 - c. Housing for the elderly. One-half space per dwelling unit.
- (2) Retail sales and customer services uses, and places of entertainment as set forth below. One space per 150 square feet of gross floor area of customer sales and services, plus one space per 200 square feet of storage and/or office gross floor area. Other retail sales and customer services uses and places of entertainment.
- j. Personal services. One space per 200 square feet of gross floor area, plus one space per employee for the work shift with the largest number of employees.

Date: 20.Aug.2024

Sheet Title:
First Floor Plan

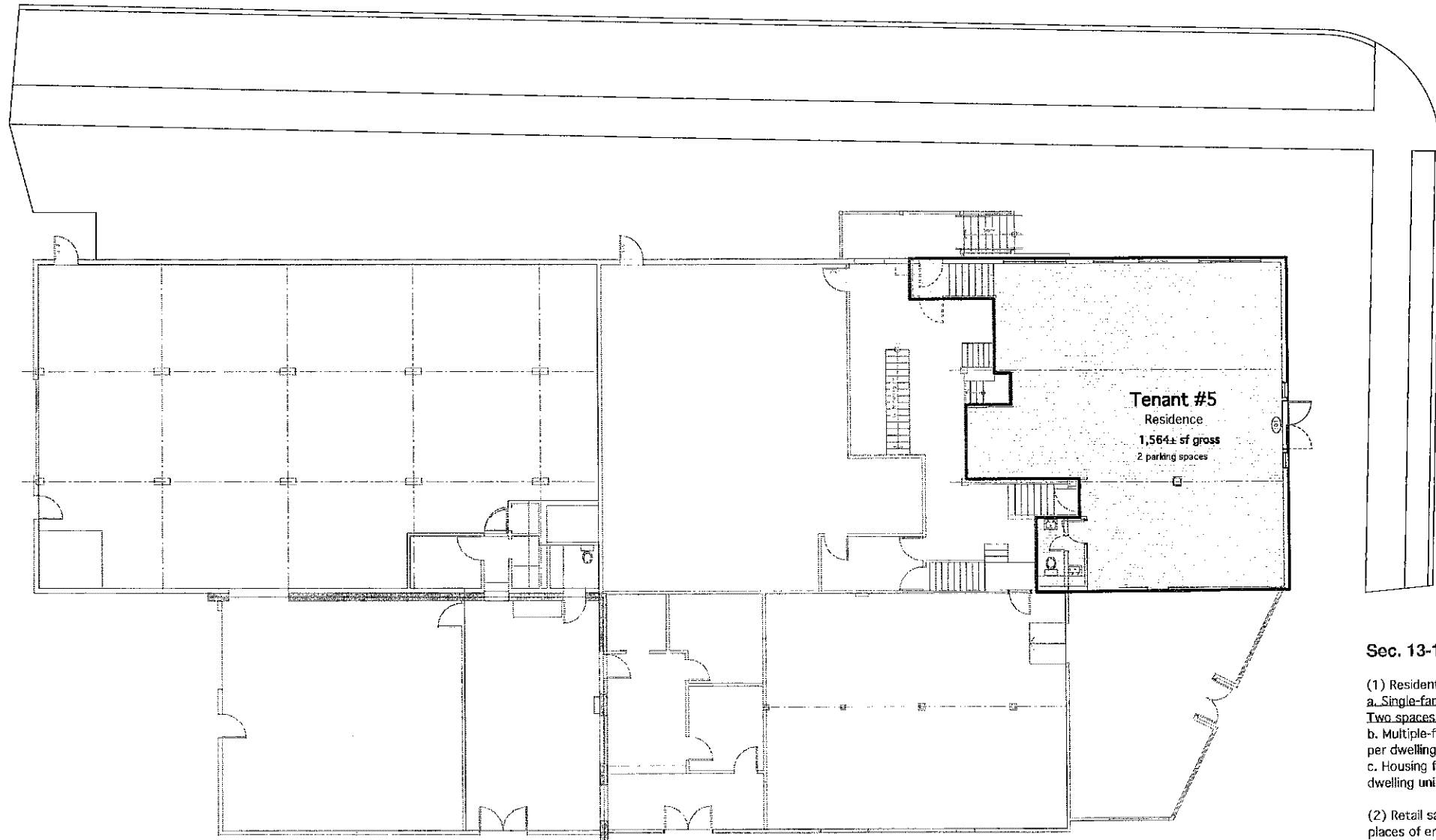


2.1

Design drawings
not for construction

The role is to prevent contractors from building from design drawings.
This role will be removed prior to state or building permit approval.

Architect
Savari Architect LLC
8215 W. Denner Bay Rd.
Mequon, WI 53097
1.262.238.8888



1 Air B&B - Mezzanine Floor Plan
2.2 1/8"=1'-0" Note: Scale is 1/16"=1'-0" if drawing is printed on 11"x17" paper

Sec. 13-1-82 - Parking requirements.

- (1) Residential uses.
- a. Single-family dwellings and two family dwellings. Two spaces per dwelling unit.
 - b. Multiple-family dwellings. One and one-half spaces per dwelling unit.
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- j. Personal services. One space per 200 square feet of gross floor area, plus one space per employee for the work shift with the largest number of employees.

Date: 20.Aug.2024

Sheet Title:
Air B&B
Mezzanine



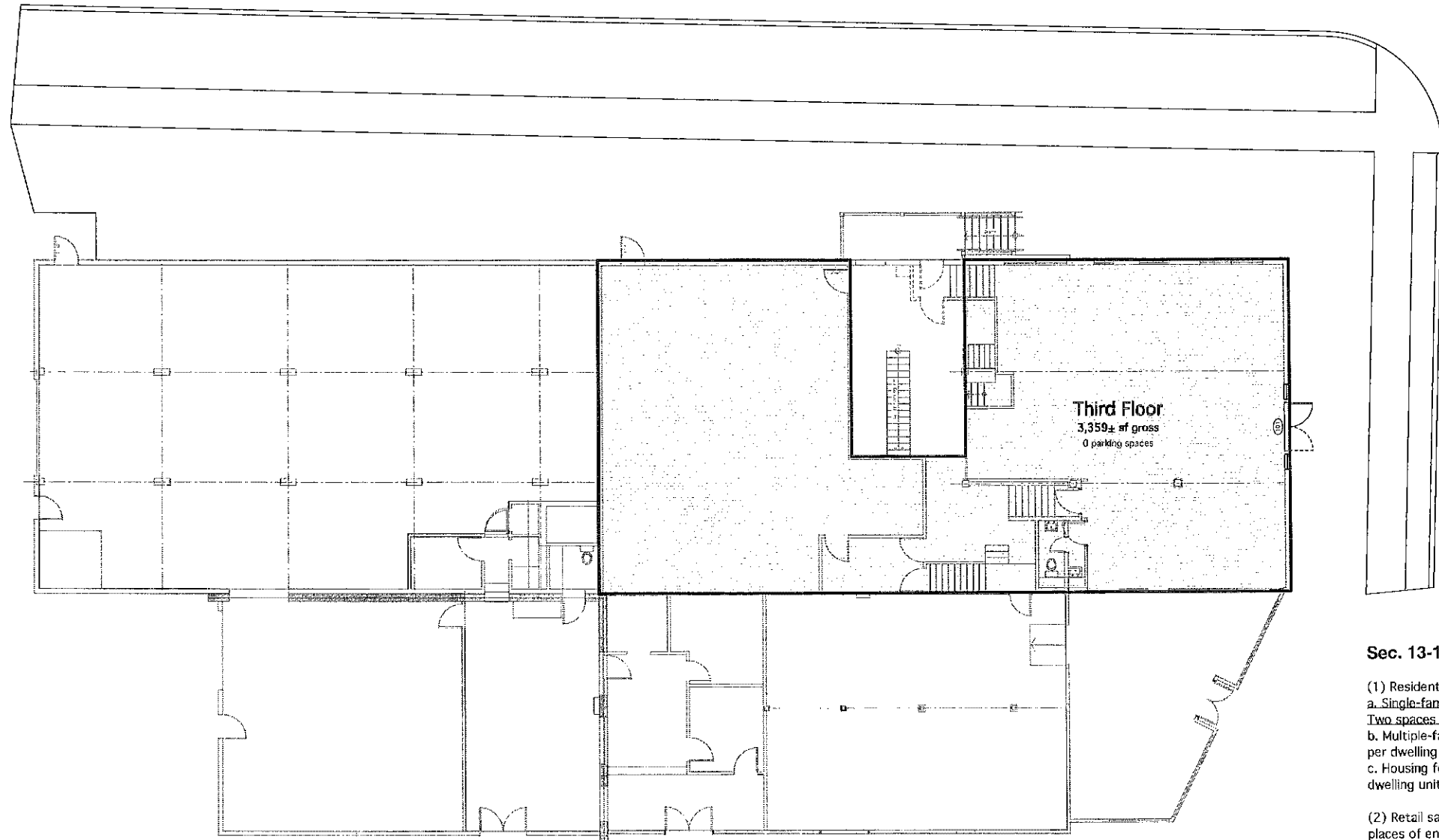
2.2

LUMBAR YARD
PARKING
WASHINGTON AVE., CEDARBURG, WI 53012

Design drawings
not for construction

This note is to prevent contractors from building from design drawings.
This note will be removed prior to state or building permit submittal.

Architect
Squire Architect LLC
8215 W. Dunlap Bay Rd.
Madison, WI 53057
1.262.234.8956



1 Attic - Floor Plan
2.3 1/8"=1'-0" Note: Scale is 1/16"=1'-0" if drawing is printed on 11"x17" paper

Sec. 13-1-82 - Parking requirements.

- (1) Residential uses.
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Date: 20.Aug.2024

Sheet Title:
Attic



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