



**CITY OF CEDARBURG  
A MEETING OF THE PLAN COMMISSION  
MONDAY, DECEMBER 1, 2025 – 7:00 PM**

A meeting of the Plan Commission, City of Cedarburg, Wisconsin, will be held on Monday, December 1, 2025 at 7:00 PM. The meeting will be held in-person at City Hall, W63 N645 Washington Avenue, Cedarburg, WI., on the second floor, Council Chambers and online utilizing the Zoom app. To access the meeting via Zoom, send request to [cityhall@cityofcedarburg.wi.gov](mailto:cityhall@cityofcedarburg.wi.gov)

**AGENDA**

1. CALL TO ORDER

2. ROLL CALL

A. Mayor Patricia Thome, Council Member Jim Fitzpatrick, Vice Chairman Jack Arnett, Sig Strautmanis, James Hayes, Sherry Bublitz, Jon Scholz

3. STATEMENT OF PUBLIC NOTICE

4. APPROVAL OF MINUTES

A. November 3, 2025

5. COMMENTS AND SUGGESTIONS FROM CITIZENS

Comments from citizens on a listed agenda item will be taken when the item is addressed by the Council. At this time individuals can speak on any topic not on the agenda for up to 2 minutes, time extensions at the discretion of the Mayor. No action can be taken on items not listed except as a possible referral to committees, individuals, or a future Council agenda item.

6. PUBLIC HEARINGS; AND ACTION THEREON

A. Review, discussion, and possible action on the request of applicant Penske Truck Rental (in c/o Garrett Carlson) for Conditional Use Permit approval to establish the use truck rentals as a 'piggy-back' use on the site of the existing auto repair service business Kreuger's Auto Tech and Tire Center located at W61 N225 Cardinal Avenue. This B-2 Community Business zoned, 0.47-acre site is owned by GRH PROPERTIES LLC.

B. Review, discussion, and possible action on the request of applicants Elizabeth and Anthony Gibson (d/b/a Burn Boot Camp) for Conditional Use Permit approval to locate their indoor health club with incidental/subordinate child watch/care service use in approximately 4,208 sq. ft. of space in the multi-tenant building located at W51 N729 Keup Road. This 1.72-acre, B-2 Community Business zoned site is currently owned by David D Larson and Michelle M Larson.

- C. Review, discussion, and possible action on the request of applicant Chiselled Grape Winery, LLC (in c/o Sally Bretsch) for Conditional Use Permit approval to utilize the 2-bedroom, second-floor dwelling unit in the building located at W64 N713 Washington Avenue, as a 'tourist rooming house' (i.e., short-term rental). This .22-acre, B-3 Central Business with HPD Historic Preservation Overlay zoned site is owned by S Duane Stroebel Jr.

7. REGULAR BUSINESS; AND ACTION THEREON

- A. Review, discussion, and possible action/recommendation to the Common Council on the request of applicant/property owner Jo Ann Hofhine (in c/o Eric Hofhine) for certified survey map (CSM) approval to split a .21-acre vacant lot off from their existing .49-acre parcel located at N50 W6678 Western Road. This property is zoned Rs-5 Single-Family Residential.
- B. Review, discussion, and possible action on the request of property owners/applicants James Moe and Laura Scott (in c/o Thierfelder Builders Inc./Sue Thierfelder) for infill residence site and architectural plan approval. This vacant, Rs-5 Single-Family residential zoned, .58-acre lot is located at W60 N810? Riveredge Drive.
- C. Review, discussion, and feedback to the property owner/applicant Patricia Thiel/Sandie & Keven Heinecke on their concept plan to divide an existing .8-acre off-street/back lot located directly south of N56 W5543 Sunnyside Lane into two buildable lots that would be accessed by a private drive.
- D. Review, discussion, and possible action/recommendation to the Common Council to amend Section 13-1-55(d)(7) of the City Code regarding size of sandwich board/a-frame style signs that may be permitted in the Washington Avenue sidewalk right of way.

8. COMMENTS AND ANNOUNCEMENTS BY PLAN COMMISSIONERS

9. MAYOR'S ANNOUNCEMENTS

10. ADJOURNMENT

City of Cedarburg is an affirmative action and equal opportunity employer. All qualified applicants will receive consideration for employment without regard to race, color, religion, sex, disability, age, sexual orientation, gender identity, national origin, veteran status, or genetic information.

City of Cedarburg is committed to providing access, equal opportunity and reasonable accommodation for individuals with disabilities in employment, its services, programs, and activities. To request reasonable accommodation, contact the Clerk's Office, (262) 375-7606, email: [cityhall@cityofcedarburg.wi.gov](mailto:cityhall@cityofcedarburg.wi.gov).

MEMBERS – PLEASE NOTIFY CITY PLANNER'S OFFICE IF UNABLE TO ATTEND THIS MEETING.

**CITY OF CEDARBURG  
PLAN COMMISSION  
November 3, 2025**

A meeting of the City of Cedarburg Plan Commission was held on Monday, November 3 2025, at Cedarburg City Hall, W63N645 Washington Avenue, upper level, Council Chambers, and online via the Zoom app.

**1. CALL TO ORDER**

The meeting was called to order at 7:02 p.m. by Mayor Patricia Thome.

**2. ROLL CALL**

Mayor Patricia Thome, Vice Chairman Jack Arnett, Council Member James Fitzpatrick, Sig Strautmanis, Sherry Bublitz, Jon Scholz, and James Hayes

Also Present - City Planner Mary Censky, City Administrator Mikko Hilvo, Administrative Assistant Theresa Hanaman

**STATEMENT OF PUBLIC NOTICE**

Administrative Assistant Hanaman confirmed that the agenda for the meeting had been posted and distributed in compliance with the Wisconsin Open Meetings Law.

**3. APPROVAL OF MINUTES**

A motion was made by Council member Fitzpatrick, seconded by Commissioner Bublitz, to approve the meeting minutes for October 6, 2025. The motion passed unanimously.

**4. COMMENTS AND SUGGESTIONS FROM CITIZENS**

Cathy Czech, N119 W5835 James Circle, suggested when staff receive messages sent through the City of Cedarburg 'contact' feature on the website, the staff should acknowledge receipt of these messages.

**5. REGULAR BUSINESS; AND ACTION THEREON**

- A. REVIEW, DISCUSSION, AND POSSIBLE ACTION ON THE REQUEST OF APPLICANT/PROPERTY OWNER CEDARBURG HOSPITALITY LLC (IN C/O WILLIAM CONLEY) TO PLACE A 20' X 50' (1,000 SQ. FT.) TEMPORARY USE TENT STRUCTURE, FROM NOVEMBER 4, 2025, THROUGH APRIL 30, 2026, ADJACENT TO THE SOUTH WALL OF THEIR BACK (TIMBER CLUB) BUILDING LOCATED AT W61 N518-**

**20WASHINGTON AVENUE. THIS PROPERTY IS ZONED B-3 CENTRAL BUSINESS DISTRICT WITH HPD HISTORIC PRESERVATION OVERLAY.**

Planner Censky reported about the proposed size, materials, colors, location, and dates for the proposed tent structure.

She noted that the applicant represents the purpose for this tent is to provide them with additional event and service space, supportive of their existing uses at the site, during the shoulder months for outdoor entertainment.

Section 13-1-22(f)(2) of the City Code provides that temporary uses, including tents and other enclosures located in the B-3 Central Business District, may be permitted for more than 14 days (during the period October 1 through April 30), subject to prior review and approval of the site and structure (tent) plans by both Landmarks Commission and Plan Commission.

On October 9, 2025, the Landmarks Commission reviewed and conditionally approved the placement of this tent from November 4, 2025, through April 30, 2025.

Mayor Thome stated that the applicant must return to the Landmarks and Plan Commission if they choose to include music in the tent.

A motion was made by Vice Chairperson Arnett, seconded by Commissioner Hayes, to approve the Temporary Use Tent Structure, from November 4, 2025 through April 30, 2026, adjacent to the south wall of their back (Timber Club) building located at W61 N518-20 Washington Avenue subject to the Planner's recommended conditions:

- 1) Applicant to comply with any requirements for permitting as may be necessary to allow alcohol service/consumption and/or amplified music to occur inside of this tent. The City Clerk shall determine the extent to which such permitting is required.
- 2) Review and approval by the City Building Inspector and Fire Inspector prior to placement of the tent at this site to ensure that all structural and fire safety requirements are met.

The motion carried unanimously.

**B. REVIEW, DISCUSSION, AND POSSIBLE ACTION ON THE REQUEST OF APPLICANT DSDH GERB LLC, IN C/O DAVID HERBECK, TO AMEND THE ZONING CODE, ADDING THE USE 'MOTOR VEHICLE COLLISION FACILITY' TO THE LIST OF CONDITIONAL USES IN THE M-2 GENERAL MANUFACTURING DISTRICT [SECTION 13-1-60(D)], AND ADDING A DEFINITION [AT SECTION 13-1-240] AND PARKING STANDARD [AT SECTION 13-1-82(H)(2)] FOR SAME.**

Planner Censky reported the applicant wishes to establish a motor vehicle collision repair facility on a property in the City that is zoned M-2 General Manufacturing. The City Code does not currently list this use. Adding this use to the M-2 General Manufacturing District as a Conditional Use would afford the Plan Commission some latitude to apply conditions, such as proper screening of any outdoor parking/storage areas for damaged vehicles or auto parts, and/or air quality control

standards, as site-specific requirements on a case-by-case basis.

Making some adjustments to language proposed by the applicant, the Planner felt the following changes would be appropriate if the Commission favors adding this use:

- Sec. 13-1-60 - M-2 General Manufacturing District. (d) Conditional Uses.
  - o (ADD) Motor vehicle collision repair facility.
- Sec. 13-1-82 - Parking Requirements. (h) [re parking stall count requirements] (2) Retail sales and customer services uses, and places of entertainment ... as set forth below.
  - o (ADD) Motor vehicle collision repair facility. Two (2) spaces per indoor service bay + 1 space per employee during the work shift with the greatest number of employees simultaneously present + one space per business/fleet vehicle (such as for mobile repair services or towing).
- Sec. 13-1-240 – Definitions.
  - o (ADD) Motor vehicle collision repair facility. A facility offering services such as auto body repair, frame straightening, fender and bumper repair, vehicle painting and paint repair, in-store and mobile glass repair and replacement, calibration and alignment services, and including the incidental/subordinate use, sales of ancillary vehicle parts and services, at which all service work, repairs, and painting shall be undertaken inside of the building.

Commissioners discussed the proposed use and language changes, touching on concerns that screening and fencing of wrecked vehicles be required in the CUP since many M-2 Zoned properties are located at City gateways, not wanting to allow any vehicle sales as a part of this use, wanting assurance that paint fumes will not be an odor or irritant issue. The Planner and applicant addressed these concerns, and it was confirmed that conditions to guard against these issues can be made into conditions attached to any future CUP for this use.

If the Plan Commission supports the addition of this conditional use in the M-2 District as proposed and feels the supporting definition and parking standard are also acceptable, Planner Censky will put these Code language changes into Ordinance format for consideration/possible ratification by the Common Council at an upcoming meeting.

Commissioner Bublitz made a motion, seconded by Council member Fitzpatrick, to recommend approval of the code language changes as presented and to put them into Ordinance format for consideration/possible ratification by the Common Council. The motion passed unanimously.

**C. REVIEW, DISCUSSION, AND POSSIBLE APPROVAL OF THE BUILDING, SITE, EXTERIOR LIGHTING, LANDSCAPING, AND ARCHITECTURAL PLANS, AS REQUESTED BY APPLICANT LUTHER GROUP, IN C/O ARCHITECT MARK HERTZFELD/DESIGN 2 CONSTRUCT, TO DEVELOP/CONSTRUCT AN 86,700 SQ. FT. SPEC INDUSTRIAL BUILDING ON AN 8.9-ACRE VACANT LOT IN THE CITY'S HWY. 60 BUSINESS PARK (I.E., TAX PARCEL #13-022-03-004.00). THIS PROPERTY, CURRENTLY OWNED BY THE CITY OF CEDARBURG, IS ZONED M-3 BUSINESS PARK DISTRICT.**

Planner Censky reported the applicant requests approval to develop a ~86,700 sq. ft. industrial spec office/manufacturing/warehouse flex-use building on this vacant site. Future tenants are not yet determined.

Planner Censky reported to the Commission that the proposed use(s) (i.e., manufacturing/fabrication, warehouse, professional office) are permitted in the M-3 District. She has reviewed the plans against the M-3 District and the Hwy. 60 Business Park Covenants and finds they are compliant.

It was noted that, to a substantial extent, the plans also reflect certain architectural plan modifications as had been recommended by the Site and Architectural Review Board.

Planner Censky went over the conditions she proposed an approval would be subject to, as well as the comments that various City departments had submitted in their review of the plans.

The applicant, in c/o Mark Hertzfeld from Design 2 Construct, updated the Plan Commission on some of the changes that were made from feedback received at the Site and Architectural Review Board meeting including, for instance, enlarging the windows in the upper banding, and changing the tint of the glass windows.

Commissioner Bublitz requests that the City notify the developer of Stone Lake Condominiums to ensure they inform potential buyers about the nearby business park.

Commissioners Hayes and Strautmanis requested clarification from the applicant as to adequacy of the dumpster enclosure (is it large enough for this whole complex), and rooftop HVAC screening (is the parapet high enough to fully screen it from view), respectively. The applicant responded that the rooftop HVAC will be adequately screened by the parapet, and the dumpster area is large enough according to the owner who operates many large multi-tenant industrial buildings such as this.

Commissioner Bublitz made a motion, seconded by Commissioner Strautmanis, to approve the building, site, exterior lighting, landscaping, and architectural plans, as requested by applicant Luther Group, in c/o Architect Mark Hertzfeld/Design 2 Construct, to develop/construct an 86,700 sq. ft. spec industrial building on an 8.9-acre vacant lot in the City's Hwy. 60 Business Park subject to the following conditions:

- 1) The rear loading dock and extensive paved circulation area shall not be used as a parking lot (with the exception of vehicles temporarily backed-up to dock doors).
- 2) Outside storage of materials, equipment and supplies at this site is neither proposed nor permitted at this time.
- 3) Rooftop HVAC shall not extend higher than the height of the shortest parapet wall on the building. All HVAC shall be screened from the surrounding view.
- 4) Any signs to be placed at this site/building shall be subject to the requirements of the City Sign Code and the Declaration of Restrictions and Covenants for the Highway 60 Business Park. A Sign Permit is required prior to the placement of any signs at this site.

- 5) Exterior gutters and downspouts shall be permitted only along the side and rear of buildings.
- 6) Prior to any occupancies in this building, the applicant agrees that the City Planner shall review and consider the scale and nature of each proposed use/tenancy and its operating characteristics to determine if the use indeed complies with the permissions of the M-3 Zoning District and the Declaration of Restrictions and Covenants for the Highway 60 Business Park. The City Planner shall also consider whether the site has sufficient parking to support the proposed use. If the City Planner determines that a proposed future use/tenancy does not appear to be a suitable fit for this building given the types of uses permitted in the M-3 Zoning District, the types of uses permitted under the Declaration of Restrictions and Covenants for the Highway 60 Business Park, and/or the parking limitations of the site, the applicant may request a final determination of suitability from the Plan Commission.
- 7) Applicant to satisfy the requirements of City Engineer, Fire Department, Utility and other departments as to, for instance, but not necessarily limited to (see review/comments below).
- a. Recommend minimum slope of 1% for asphalt pavement.  
Recommend minimum slope of 0.5% for concrete curb & gutter.
  - b. There is electric near the property which can be extended to the new building. As usual CL&W will need a utility easement to the new transformer location. It was noted on the prints that a streetlight needs to be removed and relocated. On the print C-3 it states "Remove and salvage existing light pole for relocation..." this streetlight pole will need to be removed and relocated by CL&W.
  - c. Fire Department comments for this project are:
    - Ensure turning radii of all driveway points are adequate for fire apparatus to navigate
    - With there currently being no planned tenants, future alterations to the sprinkler system may be required depending on the hazard type of future tenants
    - The location of fire protection controls and features will be placed in locations approved by the fire department
    - Additional fire hydrants should be placed around the building – Plans indicate one hydrant by the West entrance to the property, which require a +750' hose lay to reach the SE corner of the building
    - Having a hydrant located on the West, South, and East sides of the building/property would be ideal
    - Additional Knox boxes may be needed based on the size of the building and configuration of tenant spaces. This should be discussed with fire department staff.
  - d. Water Dept. Diagram also,
    - No real issues with this, however, I would like to know if the private 6" water main with the private fire hydrant is really necessary with a public fire hydrant right in front of this property on Forward Way...?
- 8) City Engineer review and approval of all final grading, drainage, utility, erosion control, and stormwater management plans prior to issuance of a building permit.

The motion passed unanimously.

**D. REVIEW, DISCUSSION AND POSSIBLE ACTION/RECOMMENDATION TO THE COMMON COUNCIL ON THE REQUEST OF PROPERTY OWNER/APPLICANT THE GLEN AT QUARRY PARK LLC, IN C/O JOHN WAHLEN AND JOE ORENDORF OF CORNERSTONE DEVELOPMENT, TO REZONE (TO RS-3 SINGLE FAMILY RESIDENTIAL WITH PUD PLANNED UNIT DEVELOPMENT OVERLAY) AND PRELIMINARY PLAT (24 SINGLE-FAMILY-RESIDENTIAL LOTS) THE 11.5 ACRES OF VACANT LAND LOCATED DIRECTLY WEST OF THE PROPERTIES LOCATED AT 1067 AND 1085 SHEBOYGAN ROAD.**

Planner Censky reported the applicant proposes a twenty-four (24) lot/home single-family-detached residential Planned Unit Development for this 11.53-acre (11.53 Net Buildable Acres) site. Proposed density is 2.08 units per net buildable acre where the Rs-3 District permits up to 3.6 units per net buildable acre. Roads are proposed to be public. She went over her review of the plans as compared to the Rs-3 Zoning District Standards and noted the following disparities:

- Minimum required lot size in Rs-3 is 12,000 square feet. Proposed lot sizes are:
  - Largest 19,300 sq. ft.
  - **Smallest 10,530 sq. ft.**
  - Average 13,137 sq. ft.
- Minimum required lot width (as measured at the setback line) in Rs-3 is 90 feet. Proposed lot widths (as measured at the setback line) are:
  - Widest 122-feet
  - **Narrowest 80-feet**
  - Average 87.1-feet
- Minimum required setbacks/yards in the Rs-3 are:
  - Front 25 feet      Proposed Front 25-feet
  - Sides 8-feet      **Proposed Sides 7.5-feet**
  - Rear 25-feet      Proposed Rear 25-feet

In discussion, commissioners were generally supportive of the plan (through PUD rezoning) as fulfilling the type of development the public seemed to be calling for during the Smart Growth Comprehensive Plan land use chapter update. The plan is considerate of the adjacent neighborhood to the south (such as trying to match lot corners for instance) and expands upon the existing road pattern in the area. Commissioners also discussed increasing the access opportunity for residents of the neighborhood to enter the open space outlot, the street yard setbacks on the corner lots, and the temporary T-turn around. Comments received from the various other City departments in review of these plans were also discussed.

On October 21, 2025, the Site and Architectural Review Board reviewed this plat. They supported the plan as *now* presented, including with respect to the specific Rs-3 District exceptions through PUD as noted above.

Planner Censky reported if the Plan Commission is inclined toward a favorable recommendation to the Common Council for rezoning of this site to Rs-3 Single-Family Residential with PUD Planned Unit Development Overlay, and incorporating the preliminary plat therein as presented, she recommends the following conditions be considered for attachment:

1) Applicant to satisfy the review comments of the various departments in their review of these plans as follows:

- There is electric on the adjacent property to the south. This can be extended to serve the new subdivision, from the southwest corner. The takeoff point is within 50' of the lot line. Utility easements will be required for the electric facilities.

*Thank you. Jeff Thierfelder Utility Engineer Cedarburg Light & Water Utility*

- In reviewing the plans for this, we have concern over the dead-end termination of "Road A." -- By our calculation, the dead-end is 800+ feet from Holly Lane/Court B, which is a significant distance for our apparatus to back down to exit. I understand that there is intent to expand to the North of this eventually, but with no concrete timeline or approvals for this, we have concern with it being left a dead-end for an unknown and possibly extensive period of time. Because of this, we would like to see the addition of some way for our vehicles to turn around at the end of it, which is typically a cul-de-sac or hammerhead type turnaround.

- Court B appears to be of adequate width for fire apparatus, but just to make sure, it should have a 45' radius from the center to the front face of the curb. The drawings show 60' to the far side of the sidewalk.

*Thank you, Blake R. Karnitz, FO, FM Captain of CRR Cedarburg Fire Department*

- My comments for the Glen at Quarry Park Plans are as follows:
  - When this land is developed, W60 N1067 Sheboygan Road and W60 N1085 Sheboygan Road need to connect to City sewer and water and pay their impact fees. Storm Easements should be 20' wide
  - Provide separate storm laterals for each lot
  - Use Manholes for mainline storm sewer not just catch basins with main under the curb
  - Provide drainage easement where wet pond outlet and pond overflow exits the site to Sheboygan Road. May also need to reshape this ditch to make it more defined. Current outlet of the current ditch at Sheboygan Road is 8", is that sufficient?
  - Roadway vertical curve K values shall be Sag  $K_{min}=26$ , Crest  $K_{min}=12$
  - Move Hammerhead Tee as close as possible to lot line.
  - Make Hammerhead Tee 33' wide per city code.
  - Proposed roadway terminates 2' above existing grade at north property line. Will this have negative impacts on future development of the land to the north?
  - Initial review of the Storm Water Management Plan looks to be compliant. A more thorough review will be needed at later date.
  - These comments are made after reviewing the initial draft of the plans. I reserve the right to make further comments as more detailed plans are submitted.

*Let me know with any questions. Thanks, Mike Wieser, P.E. Director of Engineering & Public Works*

- 2) Applicant to satisfy the review comments/objections of any/all objecting agencies given purview over this plat.
- 3) Applicant to prepare full and Code compliant design/construction drawings for the development which are subject to review and approval by the City Engineer.
- 4) Applicant to enter into a Development Agreement with City of Cedarburg for the completion, at the developer's expense, of all required infrastructure to support this development. A related financial assurance will be required of the developer in support of this development agreement, which assurance shall be provided prior to the start of site work or construction at this site.
- 5) Applicant to secure Final Plat approval from the Common Council prior to the City entering into the Development Agreement.
- 6) Resolution to the satisfaction of the City Attorney and City Engineer as to the required timing for the owners of the homes located at W60N1067 and W60N1085 Sheboygan Road to pay impact fees and connect to City sanitary sewer and water, which may be triggered by platting of this subdivision. This matter shall be satisfactorily resolved before the City will consider entering into a development agreement or approving the final plat for this development.

Commissioner Arnett supports this development at the Plan Commission level, as it could allow for a total of 41 units per acre. However, the developers have chosen to create 24 single-family homes instead.

Mayor Thome inquired about the landscaping plans for the outlots. The applicant, Jope Orendorf from Cornerstone Development, stated that the landscaping would feature a wildflower mix, along with a 5- to 10-foot walkable path. When asked whether the Hammerhead design had been discussed in relation to questions raised at the SARB meeting concerning the Fire Department, Planner Censky confirmed that the fire department would be able to execute a Y-turn.

A motion was made by Council member Fitzpatrick, seconded by Commissioner Scholz to recommend approval of the PUD Rezoning and Preliminary Platto the Common Council subject to the Planner's recommended conditions as listed [(1) through 6) above]. The motion passed unanimously.

**6. COMMENTS AND ANNOUNCEMENTS BY PLAN COMMISSIONERS -NONE**

**7. MAYOR'S ANNOUNCEMENTS - NONE**

**8. ADJOURNMENT**

A motion to adjourn at 8:21 pm was made by Vice Chairman Arnett, seconded by Council Member Fitzpatrick. Motion carried unanimously.

Theresa Hanaman  
Administrative Assistant

# PLANNERS REPORT

**To:** City of Cedarburg Plan Commission

**By:** Mary Censky

**Date:** December 1, 2025

## **General Information:**

**Agenda Item: 6.A.**

**Applicant:**

Penske Truck Rental (in c/o Garrett Carlson)

**Property Owner:**

GRH Properties, LLC

**Requested Action:**

Review and approval of Conditional Use Permit for medium to small sized truck and van rentals service business.

**Current Zoning:**

B-2 Community Business District

**Current Master Plan Classification:**

Commercial

**Surrounding Zoning/Land Use:**

North: B-2 Community Business District

South: B-2 Community Business District

East: M-2 General Manufacturing District

West: B-2 Community Business District

**Lot Size:**

.47-acres

**Location:**

W61 N225 Cardinal Avenue

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## **Discussion:**

The applicant seeks Conditional Use Permit (CUP) approval to add a Penske Truck Rental service use to this site, in addition to the existing Krueger's Auto Tech & Tire Center automobile service use that already operates here.

The [B-2 Community Business District](#) lists "Truck and trailer rentals" among the uses that may be approved through conditional use permit.

The DRAFT Conditional Use Permit attached contains building, site, operating, and other conditions as recommended by the Planner.

Additional matters to consider may include:

- This site is not presently in compliance as to having a proper dumpster location and screening device – reference [Section 8-3-5 of the City Code](#) which states that “Dumpsters for commercial or multi-family properties shall be screened, subject to the approval of the building inspector”.
- This site does not appear to be in compliance with the Sign Code – reference [Section 15-5-14\(4\)h. of the City Code](#) which states that “Wall signs [sic in the B-2 Community Business District] shall not exceed 32 square feet per building facade.

**Recommendation:**

The Planner recommends the following conditions be considered for attachment to any approval the Planning Commission may be inclined to grant in this matter:

- 1) The Truck Rental use at this site shall always operate in full compliance with the terms of the Conditional Use Permit.
- 2) Any new signs proposed to be added at this site or building in support of the new Penske Truck Rental Conditional Use are subject to prior review, approval, and permit issuance in accordance with Chapter 5 of the Building Code – Regulation of Signs, prior to placement at the site.
- 3) Full execution and recording of the Conditional Use Permit documents prior to the start of use/occupancy.

<b>DOCUMENT NUMBER</b>	<b>CONDITIONAL USE PERMIT PENSKE TRUCK RENTAL BUSINESS</b>	
<p>Before the Plan Commission of the City of Cedarburg, Ozaukee County, Wisconsin, in regard to the premises at W61 N225 Cardinal Avenue, Cedarburg, WI 53012, located in Section 34, Town 10 North, Range 21 East, Ozaukee County, State of Wisconsin, further described as follows:</p>		
<p>Lot Two (2) of Certified Survey Map No. 1647, a redivision of Parcels 2 and 3 of Certified Survey Map No. 1047 and Parcel 2 of Certified Survey Map No. 1095, in the Southeast 1/4 of Section 34, Township 10 North, Range 21 East, in the City of Cedarburg, Ozaukee County, Wisconsin and recorded in the Office of the Register of Deeds for Ozaukee County, Wisconsin on June 12, 1985 in Volume 12 of Certified Survey Maps, Page 162, as Document No. 360498.</p>		
		<p>Return to:  City Clerk Tracie Sette  City of Cedarburg  W63N645 Washington Avenue  PO Box 49  Cedarburg WI 53012-0049</p>

13-051-03-03-006  
Parcel Identification No.

Zoning Classification of the Premises is: B-2 Community Business District  
Mailing Address of the Premises is: W61 N225 Cardinal Avenue, Cedarburg, WI 53012

WHEREAS a petition has been filed by Garrett Carlson on behalf of Penske Truck Rental (hereinafter "Permittee") for the purpose of display and rental of medium to small sized box trucks and vans at W61 N225 Cardinal Avenue, such premises owned by GRH Properties, LLC in c/o George R. Heimsch III (hereinafter "Property Owner"); and

WHEREAS the use "Truck and trailer rentals.", is listed as a conditional use that can be considered for approval in the B-2 Community Business Zoning District [Ref Section 13-1-54(d)(25) of the City of Cedarburg Zoning Code]; and

WHEREAS, upon careful consideration of information received in this matter, including information received at the public hearing, and in consideration of the particular nature, character and circumstances of the proposed use, and of the specific and contemporary conditions of the site, the City of Cedarburg Plan Commission hereby finds that the proposed use will not be hazardous, harmful, offensive, or otherwise adverse to the environment or the value of the neighborhood or the community, and will be in accordance with the purpose and intent of the City of Cedarburg Zoning Code and the City of Cedarburg Smart Growth Comprehensive Land Use Plan - 2050, provided the conditional use is operated pursuant to the following conditions and in strict conformance therewith.

WHEREAS, the Plan Commission of the City of Cedarburg held a Public Hearing on December 1, 2025, and acted to approve the CUP with conditions.

NOW, THEREFORE, the CUP is approved subject to initial and continued compliance with the City of Cedarburg Municipal Zoning Code, and with the following general conditions:

1. This CUP is being issued to Penske Truck Rental (Permittee). In the event of a change in ownership of the Premises or the named Permittee, the applicable provisions of City of Cedarburg Code Section 13-1-226 "CONDITIONAL USE PERMIT." shall apply.
2. This CUP may not be transferred to another location.
3. If this use is discontinued or terminated for a period of 12 months or more, this permit shall become void. Any future use of the site, structures, or land shall be subject to the requirements of the B-2 Community Business Zoning District.
4. Any/all required Federal, State and Local licenses and permits for rental of medium to small sized box trucks and vans service business shall be obtained and maintained in full force and effect throughout the period of this use by Permittee's.
5. The Property Owner and Permittee are required to sign below, before a notary, to approve the issuance of this CUP and to indicate their acceptance of the terms and conditions of this CUP.
6. Any modifications, changes or expansion to the approved site and operating plans or uses on the plans set forth at Exhibit "A", (attached hereto and made a part hereof by reference) shall require prior approval by the City Plan Commission and Common Council as an amendment to this CUP (Ref Section 13-1-226 of the City Code "CONDITIONAL USE PERMIT.").
7. Unightly, unenclosed storage of any materials, equipment or supplies at this site by the Permittee is prohibited.

8. Any substantiated, material, adverse impacts arising with respect to such things as, but not necessarily limited to, noise, vibration, health, public safety, dust, litter, lighting, loitering, etc. associated with the use display and rental of medium to small sized box trucks and vans at W61 N225 Cardinal Avenue, shall be the responsibility of the Permittee to correct timely upon receipt of a written notice from the City of Cedarburg. Failure to correct identified issues in a timely manner, or failure to fully comply with all stated conditions of this permit following receipt of notice from the City of Cedarburg may result in modification, or partial or complete revocation of this Conditional Use Permit.

WHEREAS the Zoning Code and Zoning District Map of the City of Cedarburg, pursuant to State Statute, provide that the premises may not be used of right for the purpose hereinafter described but that upon petition such use may be approved by the municipality as a Conditional Use in particular circumstances as defined by the standards in the Zoning Ordinance; and

Petition therefore having been made, and public hearing held thereon, and the Plan Commission of the City of Cedarburg having determined that by reason of the particular nature, character, and circumstances of the proposed use, and of the specific and contemporary conditions of the site, permit of such use upon the terms and conditions hereinafter prescribed would be consistent with the requirements of the Zoning ordinance:

Now, therefore, it is permitted, subject to compliance with the terms and conditions hereinafter stated, that the Premises may be used for the purpose of display and rental of medium to small sized box trucks and vans.

The SPECIFIC CONDITIONS of this Permit are:

1. This Permit shall become effective upon the full execution and recording by the Owners of the Premises of an acceptance hereof in such form as to constitute an effective covenant running with the land.
2. This Permit shall become void unless proper application, receipt, and diligent work in support of appropriate Building, Use and Occupancy Permits (as are required by the building and zoning codes of the City of Cedarburg) in conformity to this Conditional Use Permit, are made/secured and construction underway in earnest within 12 months of the date hereof.
3. Construction of the structures, development of the site, and operation of the use shall be in strict conformity to the approved use, site, structures, and operation plans set forth in Exhibit "A" attached hereto and made a part hereof by reference.
4. Any of the conditions of this Permit which would normally be the responsibility of Permittee, shall also be made a part of their lease by the Property Owner, which lease shall contain provisions for posting of the pertinent conditions to notify employees thereof as may be necessary to carry out the conditions.
5. Conditions on the Operations
  - a. This site is not intended for use as a service or repair facility for Penske trucks or vans.
  - b. This site is not intended for use as a contract delivery service base station such as, for instance, in the style of Amazon or FedEx.
  - c. People or businesses renting vans or trucks from this location may not leave/drop their personal/private vehicle at this site while they are renting the Penske vehicle. Renters are also prohibited from leaving/dropping their personal vehicles on Cardinal Avenue while they are renting a Penske vehicle.
  - d. Maximum number of Penske rental units allowed to be parked/displayed on this site at any one time shall not exceed four (4).
  - e. Up to one (1) of the units displayed on site (never in the street) may be of the 26-foot box length design (i.e., maximum 35 ft. 5 in. bumper-to-bumper length x maximum 8 ft. 6 in. wide), and up to three (3) of the units displayed may be of the 16-foot box length design (i.e., 22 ft. 5 in. bumper-to bumper length x maximum 8 ft. wide).
  - f. Rental hours will be 7:00 am to 5:30 pm Monday through Friday. Drop-offs are permitted at any time?
  - g. This Conditional Use Permit does not modify the existing, underlying use of this property as an auto service center to the extent permitted by City Code and prior approvals.
6. Conditions on the Structures
  - a. No changes are proposed to the existing structure(s) on this site.
7. Conditions on the Site
  - a. Parking of the Penske Truck Rental vehicles at this site shall be in strict compliance with the attached Exhibit "A" Site Plan which is attached hereto and made a part hereof by reference.
  - b. In all other respects, this site shall remain 'per existing conditions' as of the date of this CUP approval, including as to the layout of structures; quantity, location and striping of parking and drives; exterior lighting, and landscaping.
8. Other conditions
  - a. A Sign Permit must be issued for any signs proposed to be placed at this site in support of the Penske Truck Rental use. Sign Permit issuance is required prior to placement of any signs.

Signature page(s) follow...

**SIGNATURES OF PERMITTEES:**

As **PERMITEE** of the subject use, site, and related structures, I/we approve and accept the issuance of the CUP with the above-described conditions.

\_\_\_\_\_  
Signature Date Signed: Printed Name and Title as Authorized Signatory for  
Permittee Penske Truck Rental

STATE OF \_\_\_\_\_  
\_\_\_\_\_ COUNTY } SS

Personally, came before me this \_\_\_\_ day of \_\_\_\_\_, 2025, the above-named \_\_\_\_\_, to me known to be the person(s) who executed the foregoing instrument and acknowledge the same.

\_\_\_\_\_  
Printed Name  
Notary Public, \_\_\_\_\_ County, State of \_\_\_\_\_  
My Commission Expires: \_\_\_\_\_

\_\_\_\_\_  
Signature Date

**SIGNATURES OF PROPERTY OWNER:**

As **PROPERTY OWNER** of the subject property, I/we approve and accept the issuance of the CUP with the above-described conditions.

\_\_\_\_\_  
Signature Date Signed: Printed Name and Title as Authorized Signatory for  
Property Owner GRH Properties, LLC in c/o George  
R. Heimsch III

STATE OF WISCONSIN  
OZAUKEE COUNTY } SS

Personally, came before me this \_\_\_\_ day of \_\_\_\_\_, 2025, the above-named \_\_\_\_\_, to me known to be the person(s) who executed the foregoing instrument and acknowledge the same.

\_\_\_\_\_  
Printed Name  
Notary Public, \_\_\_\_\_ County, State of Wisconsin  
My Commission Expires: \_\_\_\_\_

\_\_\_\_\_  
Signature Date

**SIGNATURES – CITY OF CEDARBURG**

On behalf of the City of Cedarburg Plan Commission, I/we approve and accept the issuance of the CUP with the above-described conditions.

\_\_\_\_\_  
Patricia Thome, Mayor

STATE OF WISCONSIN }  
OZAUKEE COUNTY } SS

Personally came before me this \_\_\_\_ day of \_\_\_\_\_, 2025, the above-named \_\_\_\_\_, to me known to be the person(s) who executed the foregoing instrument and acknowledge the same.

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Printed Name  
Notary Public, Ozaukee County, Wisconsin  
My Commission Expires: \_\_\_\_\_

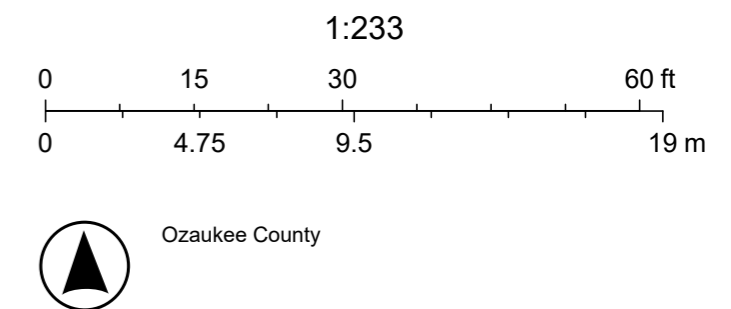
THIS INSTRUMENT WAS PREPARED BY:  
Mary Censky, City Planner

# Ozaukee County Parcel



10/28/2025, 10:30:55 AM

- |                           |                       |                          |
|---------------------------|-----------------------|--------------------------|
| Local Roads               | Parcels               | PLSS Sections            |
| — Local                   | □ Tax Parcel          | □ PLSS Quarter Sections  |
| ⋯ Historical Parcel Lines | ■ Building Footprints | □ Control Survey Diagram |
|                           | □ PLSS Townships      |                          |



## Light Duty

### Panel Van



- Up to 9,000 lbs. GVW\*
- 12' extended length vans
- 3,500 lb. payload
- Gasoline engine
- Automatic transmission
- Up to 31-gallon fuel tank
- Estimated mpg is 8 to 12
- Power steering and antilock brakes
- AM/FM radio, AUX or USB input
- Air conditioning
- Cargo partition and tie rails
- Cargo lighting
- Rear and side cargo doors
- Bucket seats

#### Cargo Area:

- Inside height: 4' 6"
- Inside width: 5' 11"
- Inside length: 11' 5"
- Cubic footage: 260
- Door width: 5' 4"
- Door height: 4' 9"
- Clearance height: 7'

### 12' Light-Duty Box Truck



- Up to 9,900 lbs. GVW\*
- 12' parcel truck body
- 3,100 lb. payload
- V-8 engine/gasoline
- Automatic transmission
- Up to 33-gallon fuel tank
- Estimated mpg is 8 to 12
- Power steering and antilock brakes
- AM/FM radio, AUX or USB input
- Air conditioning
- Cargo tie rails/rear roll-up door
- Translucent roof and interior lighting
- Bucket seats

#### Cargo Area:

- Inside height: 6' 1"
- Inside width: 6' 6"
- Inside length: 12'
- Cubic footage: 450
- Door width: 6' ½"
- Door height: 5' 6"
- Clearance height: 9' 6"

**Note: capacities and dimensions are approximations and may vary depending on manufacturer.**

\* Gross Vehicle Weight

### 16' Light-Duty Box Truck



- Up to 12,500 lbs. GVW\*
- 16' parcel truck body
- 4,300 lb. payload
- V-8 engine/gasoline
- Automatic transmission
- Up to 40-gallon fuel tank
- Estimated mpg is 8 to 12
- Power steering and antilock brakes
- AM/FM Radio, AUX or USB input
- Air conditioning
- Cargo tie rails/rear roll-up door
- Translucent roof and interior lighting
- Bucket seats
- 1,000 lb. capacity loading ramp

#### **Cargo Area:**

- Inside height: 6' 6"
- Inside width: 7' 7"
- Inside length: 16'
- Cubic footage: 800
- Door width: 7' 4"
- Door height: 6'
- Clearance height: 10' 6"

### 16' and 18' Cab Forward Box Truck



- Up to 17,500 lbs. GVW\*
- 16' parcel truck body
- Up to 7,200 lb. payload
- Diesel and gas engine available
- Automatic transmission
- 30-gallon fuel tank
- Estimated mpg is 8 to 13
- Power steering and antilock brakes
- AM/FM radio, AUX or USB input
- Air conditioning
- Cargo tie rails and E-track
- Rear roll-up door
- Translucent roof and interior lighting
- Seats three
- 2,000 lb. liftgate
- Floor height: approx. 38 1/2" (dock height: 48")

#### **Cargo Area:**

- Inside height: 8'
- Inside width: 7' 8"
- Inside length: 15' 8"
- Cubic footage: 950
- Door width: 7' 4"
- Door height: 7'
- Clearance height: 11' 6"

**Note: capacities and dimensions are approximations and may vary depending on manufacturer.**

\* Gross Vehicle Weight

# Medium Duty



## Up to 26' NCDL Medium-Duty Box Truck

- Up to 26,000 lbs. GVW\*
- 10,000 lb. payload
- Up to 220 HP/diesel
- Automatic transmissions
- Up to 70-gallon fuel tank
- Estimated mpg is 8 to 13
- Power steering
- Antilock brakes
- AM/FM radio, AUX or USB input
- Cargo tie rails and E-track on some models
- Rear roll-up door
- Curbside door available on some models
- Seats three
- Translucent roof and interior lighting
- Forklift loading package
- Up to 3,000 lb. liftgates
- 1,000 lb. capacity walk ramp/liftgate combinations available
- Floor height: approx. 46-50" (dock height: 48")
- Clearance height: 13'-13'6"

24' Cargo area	97" high box	103" high box
Inside height	8' 1"	8' 7"
Inside width	8' 1"	8' 1"
Inside length	23' 11"	23' 11"
Cubic footage	1574	1672
Rear door height	7' 7"	8' 1"
Rear door width	7' 10"	7' 10"
Curbside door height	87"	93"
Curbside door width	42"	42"

26' Cargo area	97" high box	103" high box
Inside height	8' 1"	8' 7"
Inside width	8' 1"	8' 1"
Inside length	25' 11"	25' 11"
Cubic footage	1665	1765
Rear door height	7' 7"	8' 1"
Rear door width	7' 10"	7' 10"



## Exhibit "A" to Penske Truck Rental CUP Page 4 of 5

## Up to 26' NCDL Medium-Duty Box Truck

- Up to 33,000 lbs. GVW\*
- 17,000 lb. payload
- 220 HP/diesel
- Automatic transmission
- Up to 70-gallon fuel tank
- Estimated mpg is 8 to 13
- Power steering
- Antilock brakes
- AM/FM radio, AUX or USB input
- Cargo tie rails and E-track
- Rear roll-up door
- Curbside door available on some models
- Seats three
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Rear door width	7' 10"	7' 10"

**Note: capacities and dimensions are approximations and may vary depending on manufacturer.**

\* Gross Vehicle Weight

# Specialized Equipment

## Up to 26' Non CDL Medium-Duty Refrigerated Truck



- Up to 26,000 lbs. GVW\*
- Up to 26' diesel non-CDL reefer units
- Up to 8,000 lb. payload
- Automatic transmission
- Power steering
- Air brakes
- AM/FM radio, AUX or USB input
- Air conditioning
- Rear roll-up door/curbside door
- Seats three
- Forklift loading package
- Up to 3,000 lb. liftgate and/or 1,000 lb. walk ramp
- E-track - two rows
- Nose mounted reefer/freezer unit

26' Cargo Area	97" high	103" high
Inside height	91"	97"
Inside width	93"	93"
Cubic footage	1504	1602

## Up to 26' CDL Medium-Duty Refrigerated Truck



- Up to 33,000 GVW\*
- Up to 26' diesel CDL reefer units
- Up to 15,000 lb. payload
- Automatic transmission
- Power steering
- Air brakes
- AM/FM radio, AUX or USB input
- Air conditioning
- Rear roll-up door/curbside door
- Seats three
- Forklift loading package
- Up to 3,000 lb. liftgate and/or 1,000 lb. walk ramps
- E-track - two rows
- Nose mounted reefer/freezer unit

26' Cargo Area	97" high	103" high
Inside height	91"	97"
Inside width	93"	93"
Cubic footage	1504	1602

**Note: capacities and dimensions are approximations and may vary depending on manufacturer.**

\* Gross Vehicle Weight



**LAND DEVELOPMENT APPLICATION**

PROPERTY LOCATION/ADDRESS: W61 N225 Cardinal Ave

APPLICANT/BUSINESSNAME: Krueger's Auto Tech + Tire Center

APPLICANT/BUSINESS ADDRESS: W61 N225 Cardinal Ave

STATUS OF APPLICANT:  OWNER  AGENT  BUYER  OTHER

PHONE: [REDACTED] EMAIL: [REDACTED]

PROPERTY OWNER (IF DIFFERENT): \_\_\_\_\_

PROPERTY OWNER MAILING ADDRESS: \_\_\_\_\_

PROPERTY OWNER PHONE: \_\_\_\_\_ PROPERTY OWNER EMAIL: \_\_\_\_\_

**REQUEST FOR (CHECK ALL THAT APPLY):**

- CONCEPT REVIEW
- SITE/ARCHITECTURAL PLAN APPROVAL
- SUBDIVISION PLAT OR CSM REVIEW
- ZONING DISTRICT CHANGE
- CONDITIONAL USE ZONING
- ANNEXATION REQUEST
- VARIANCE/BOARD OF APPEALS
- OTHER \_\_\_\_\_

DESCRIBE REQUEST: Operation of truck rentals

**PLEASE SUBMIT:** FIVE (5) COPIES OF WRITTEN DESCRIPTION OF PROPOSAL OR REQUEST FOR CITY STAFF REVIEW -PLUS ELECTRONIC FIVE (5) FULL SETS OF SUPPORTING DRAWINGS, SKETCHES OR SURVEY MAPS FOR CITY STAFF REVIEW PLUS ELECTRONIC TEN (10) SETS OF PLANS (11" x 17" MAX) FOR PLAN COMMISSION REVIEW -PLUS ELECTRONIC

**ELECTRONIC COPIES MAY BE SENT TO [THANAMAN@CITYOFCEDARBURG.WI.GOV](mailto:THANAMAN@CITYOFCEDARBURG.WI.GOV)**

The undersigned certifies that he/she has familiarized themselves with the State and Local codes and procedures pertaining to this application. The undersigned further hereby certifies that the information contained in this application is true and correct. This application shall be signed by the property owner(s).

PROPERTY OWNER(S) SIGNATURE: [Signature] DATE: 10-27-25

**FOR CITY STAFF USE ONLY**

TOTAL FEE: \$300.00 (SEE FEE SCHEDULE ON REVERSE PAGE) DATE FEE PAID: 11-3-2025

APPLICATION AND FEE RECEIVED BY: Theresa Hanaman PLAN COMMISSION MEETING DATE: 12-1-2025

ATTACHMENTS (CHECK IF RECEIVED):

- FIVE DESCRIPTIONS
- FIVE FULL-SIZE SETS
- THIRTEEN PLAN SETS

PROPERTY TAX KEY NO/PLAN COMMISSION FILE NO: 13-051-03-03-006

ZONING: B-2 ALDERMANIC DISTRICT: 5 PREVIOUS MEETING: NA

## Conditional Use – Explanation

Dear City of Cedarburg,

My name is Garrett Carlson Consumer Development Manager of Wisconsin for Penske Truck Rental. I am explaining our strategy of the partnership of Penske Truck Rental and Krueger's Auto Tech and Tire Center, and how it will benefit Krueger's as well as the community.

**What the Partnership is:** Penske partners with private businesses all across the U.S. to provide truck rental solutions to their local communities. In the Wisconsin area that I specifically oversee (Eastern half as well as Upper Michigan) we have 22 partners, some relationships over 25 years. Penske calls these partners agent locations. The agents store trucks on their lots, and complete the check-out/in process with the customer (No repairs of units).

**Type of equipment offered (external supplement attached):** Penske has multiple sizes and types of trucks to be the solution to whatever the customer needs. The smallest unit available is a Ford Transit High Roof Van, then a 12 ft. box truck, 16 ft. box Truck, 16 ft. box truck with a hydraulic lift, 22 ft. box truck, 26 ft. box truck, and other specialty equipment like refrigerated truck both in 16 ft. and 26 ft. sizes.

\*Most common types of trucks are the 16 ft. (22 ft. 5 in x 8 ft.) box trucks with ramps and 26 ft. box (35 ft. 5 in. x 8 ft. 6 in.) trucks with ramps.

**Community Impact:** Our Penske Agents provide a local source of truck rentals for both household and commercial customers. For household we offer local and one-way options – Local example: Moving from an apartment in town to a home in town, One-way: Moving from Cedarburg to California, or Parents bringing their children to college in Madison, WI. For commercial (Business) use our customers may need a truck to – pick up an extra route, an uptick in business because of busy seasons, or their truck is in the shop being repaired. Whether it is for personal or business use, a Penske Rental Truck keeps the customer moving.

**Justification for the need:** Currently in Cedarburg there is a need for a rental truck solution for the community. There is not a truck rental option for Cedarburg in the City. The next closest option is 15 minutes West of town. Taken directly from Cedarburg housing report –

"Cedarburg faces a housing shortage driven by high demand and limited availability of housing units. As a result, housing affordability is a challenge for buyers." ... "The Smart Growth areas identified by the Plan Commission help answer the question of where growth should occur. Utilizing these areas provides the flexibility needed to address projected population growth of 3,375 people and an expansion of 1,324 housing units by 2040."

Which demonstrates that Cedarburg is a growing and evolving city where people are moving and businesses are growing. With the current market pushing young people to short term rental options, when it rebounds, we should see an increase of moves from rentals to purchased homes.

**The partnership with Krueger's:** Krueger's Auto Tech & Tire Center is the perfect place to offer this solution. George Heimsch, the owner, has the experience and the knowledge to operate this additional aspect to his current business. In the past, George worked for Uhaul Rental, and also rented Uhaul equipment out of Krueger's. – Cited Grant #P94022 Date: 9/7/94. The site plan (External supplement attached) is to have at a maximum 4 units total on his lot at any one time. Two (16 ft.) Trucks on the West side of the building, One (26 ft.) Truck along the South side of the building, and One (16 ft.) Truck in the front parking space on the East side of his building. Please note that the previous grant specified all units in the rear of the building. After George and I discussed location of the units, we would like to have a Truck (16 ft.) on the East side to let people driving by know that they offer this solution for the local community. If this does not comply with current regulation George and Penske are willing to move the Truck (16 ft.) to the West side of the building which would total Three Trucks (16 ft.), and One Truck (26 ft.) along the South side of the building.

\*Penske has drivers that can pick up units off Agents lots if number of trucks is going to reach capacity. The number is monitored throughout the day by the main Penske location overseeing the Agent)

Rental hours would mirror normal business hours for this location being Monday – Friday: 7:00 AM – 5:30 PM, Saturday & Sunday: Closed.

Thank you,

# Ozaukee County Parcel



10/28/2025, 10:30:55 AM

1:233

## Local Roads

Local

Historical Parcel Lines

## Parcels

Tax Parcel

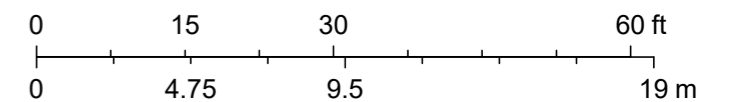
Building Footprints

PLSS Townships

PLSS Sections

PLSS Quarter Sections

Control Survey Diagram



Ozaukee County

## Light Duty

### Panel Van



- Up to 9,000 lbs. GVW\*
- 12' extended length vans
- 3,500 lb. payload
- Gasoline engine
- Automatic transmission
- Up to 31-gallon fuel tank
- Estimated mpg is 8 to 12
- Power steering and antilock brakes
- AM/FM radio, AUX or USB input
- Air conditioning
- Cargo partition and tie rails
- Cargo lighting
- Rear and side cargo doors
- Bucket seats

#### Cargo Area:

- Inside height: 4' 6"
- Inside width: 5' 11"
- Inside length: 11' 5"
- Cubic footage: 260
- Door width: 5' 4"
- Door height: 4' 9"
- Clearance height: 7'

### 12' Light-Duty Box Truck



- Up to 9,900 lbs. GVW\*
- 12' parcel truck body
- 3,100 lb. payload
- V-8 engine/gasoline
- Automatic transmission
- Up to 33-gallon fuel tank
- Estimated mpg is 8 to 12
- Power steering and antilock brakes
- AM/FM radio, AUX or USB input
- Air conditioning
- Cargo tie rails/rear roll-up door
- Translucent roof and interior lighting
- Bucket seats

#### Cargo Area:

- Inside height: 6' 1"
- Inside width: 6' 6"
- Inside length: 12'
- Cubic footage: 450
- Door width: 6' ½"
- Door height: 5' 6"
- Clearance height: 9' 6"

**Note: capacities and dimensions are approximations and may vary depending on manufacturer.**

\* Gross Vehicle Weight

## 16' Light-Duty Box Truck



- Up to 12,500 lbs. GVW\*
- 16' parcel truck body
- 4,300 lb. payload
- V-8 engine/gasoline
- Automatic transmission
- Up to 40-gallon fuel tank
- Estimated mpg is 8 to 12
- Power steering and antilock brakes
- AM/FM Radio, AUX or USB input
- Air conditioning
- Cargo tie rails/rear roll-up door
- Translucent roof and interior lighting
- Bucket seats
- 1,000 lb. capacity loading ramp

### **Cargo Area:**

- Inside height: 6' 6"
- Inside width: 7' 7"
- Inside length: 16'
- Cubic footage: 800
- Door width: 7' 4"
- Door height: 6'
- Clearance height: 10' 6"

## 16' and 18' Cab Forward Box Truck



- Up to 17,500 lbs. GVW\*
- 16' parcel truck body
- Up to 7,200 lb. payload
- Diesel and gas engine available
- Automatic transmission
- 30-gallon fuel tank
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- Rear roll-up door
- Translucent roof and interior lighting
- Seats three
- 2,000 lb. liftgate
- Floor height: approx. 38 1/2" (dock height: 48")

### **Cargo Area:**

- Inside height: 8'
- Inside width: 7' 8"
- Inside length: 15' 8"
- Cubic footage: 950
- Door width: 7' 4"
- Door height: 7'
- Clearance height: 11' 6"

**Note: capacities and dimensions are approximations and may vary depending on manufacturer.**

\* Gross Vehicle Weight

# Medium Duty



## Up to 26' NCDL Medium-Duty Box Truck

- Up to 26,000 lbs. GVW\*
- 10,000 lb. payload
- Up to 220 HP/diesel
- Automatic transmissions
- Up to 70-gallon fuel tank
- Estimated mpg is 8 to 13
- Power steering
- Antilock brakes
- AM/FM radio, AUX or USB input
- Cargo tie rails and E-track on some models
- Rear roll-up door
- Curbside door available on some models
- Seats three
- Translucent roof and interior lighting
- Forklift loading package
- Up to 3,000 lb. liftgates
- 1,000 lb. capacity walk ramp/liftgate combinations available
- Floor height: approx. 46-50" (dock height: 48")
- Clearance height: 13'-13'6"

24' Cargo area	97" high box	103" high box
Inside height	8' 1"	8' 7"
Inside width	8' 1"	8' 1"
Inside length	23' 11"	23' 11"
Cubic footage	1574	1672
Rear door height	7' 7"	8' 1"
Rear door width	7' 10"	7' 10"
Curbside door height	87"	93"
Curbside door width	42"	42"

26' Cargo area	97" high box	103" high box
Inside height	8' 1"	8' 7"
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Inside length	25' 11"	25' 11"
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Rear door height	7' 7"	8' 1"
Rear door width	7' 10"	7' 10"

**Note: capacities and dimensions are approximations and may vary depending on manufacturer.**

\* Gross Vehicle Weight

## Specialized Equipment

### Up to 26' Non CDL Medium-Duty Refrigerated Truck



- Up to 26,000 lbs. GVW\*
- Up to 26' diesel non-CDL reefer units
- Up to 8,000 lb. payload
- Automatic transmission
- Power steering
- Air brakes
- AM/FM radio, AUX or USB input
- Air conditioning
- Rear roll-up door/curbside door
- Seats three
- Forklift loading package
- Up to 3,000 lb. liftgate and/or 1,000 lb. walk ramp
- E-track - two rows
- Nose mounted reefer/freezer unit

26' Cargo Area	97" high	103" high
Inside height	91"	97"
Inside width	93"	93"
Cubic footage	1504	1602

### Up to 26' CDL Medium-Duty Refrigerated Truck



- Up to 33,000 GVW\*
- Up to 26' diesel CDL reefer units
- Up to 15,000 lb. payload
- Automatic transmission
- Power steering
- Air brakes
- AM/FM radio, AUX or USB input
- Air conditioning
- Rear roll-up door/curbside door
- Seats three
- Forklift loading package
- Up to 3,000 lb. liftgate and/or 1,000 lb. walk ramps
- E-track - two rows
- Nose mounted reefer/freezer unit

26' Cargo Area	97" high	103" high
Inside height	91"	97"
Inside width	93"	93"
Cubic footage	1504	1602

**Note: capacities and dimensions are approximations and may vary depending on manufacturer.**

\* Gross Vehicle Weight

## PENSKE TRUCK RENTAL

# TAP INTO THE POWER OF A STRONG BRAND WITH PENSKE TRUCK RENTAL

A strong brand is a valuable asset for companies and it's one reason why rental agents partner with the credibility of the Penske brand name. When effectively utilized, agents report that adding the Penske name to their existing operations raises the profile of their business and provides additional revenue.

Steve Grebinar of US Pak & Ship in Boynton Beach, Florida, knew he wanted to rent trucks, but he wasn't sure which truck rental company to go with. After stopping in a local Penske shop, things moved quickly. "I knew I wanted to do truck rental and didn't really have any initial concerns," he said. "I just never knew that I'd love truck rental as much as I do — it's become one of my favorite parts of each day."



"You have to remember, Penske generates more than we generate and that's a big variable for me," he said. "For instance, we use Penske's website, Penske's marketing, and Penske's 1-800 number, but trucks are picked up from my location. I turn on the computer and there they are — reservations. It's about what you get and what you save."

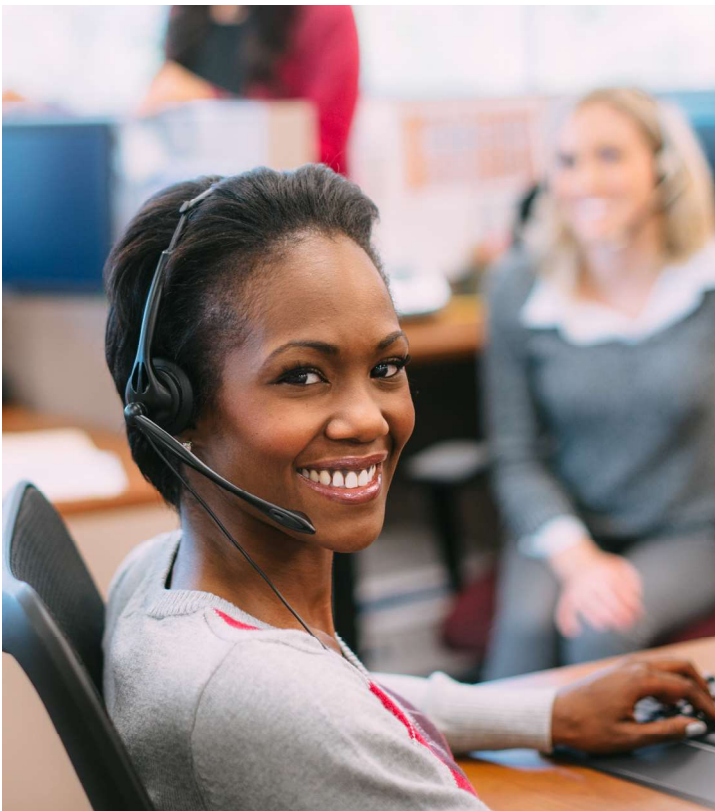


## OFFER HIGH-QUALITY, RELIABLE VEHICLES

"Penske offers top-notch equipment that's very well taken care of, plus they have a history of excellent customer service," said Jamie Howrey of JCC Rental in Brighton, Colorado. "Everybody who comes in here has something very positive to say about Penske. I would say 60 to 75 percent of my customers come to Penske and are glad to be with Penske simply because they had a very difficult time somewhere else."

Julie Burghardt of Mini U Storage in Highlands Ranch, Colorado, appreciates the immediate advertising that comes with renting Penske trucks. "It's the convenience and the visibility of the Penske trucks being here," she said. "It helps both businesses."

Burghardt currently runs the Mini U Storage facility that benefits from cross-business rentals



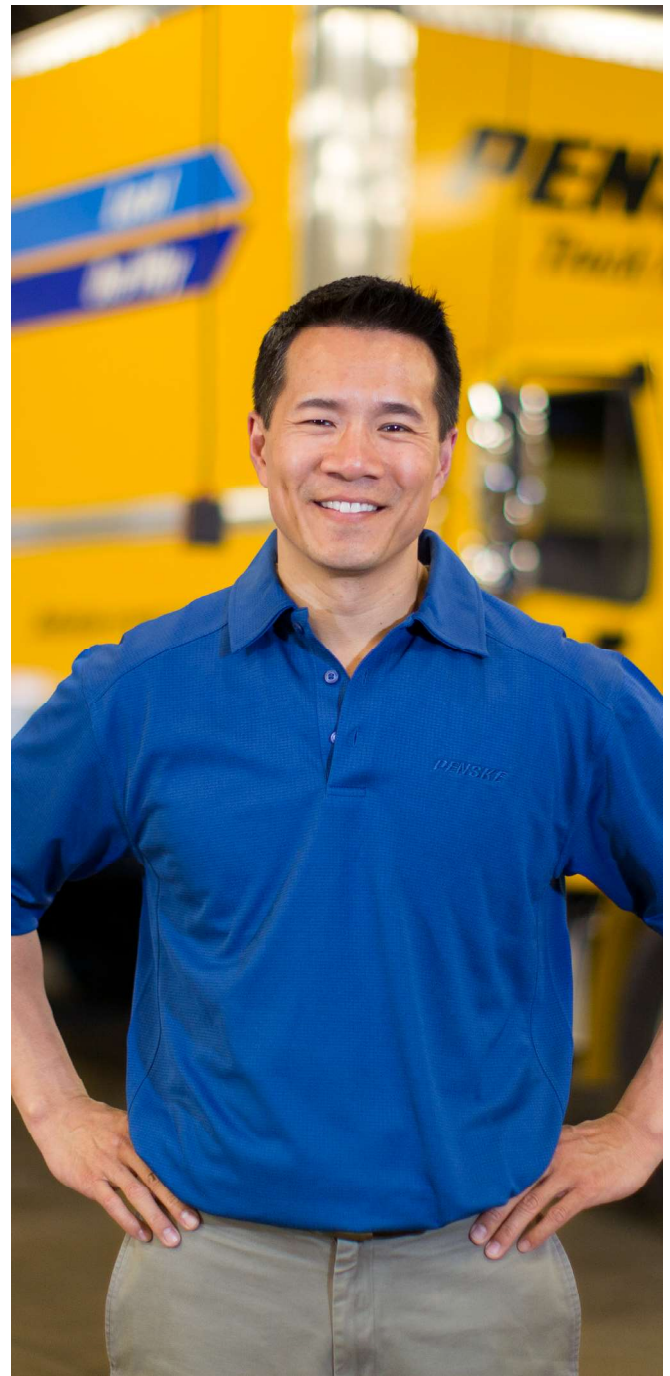
for both sides of her business — storage units and rental trucks. “Truck rental is pretty aligned with storage rental,” she said. “People move all year round so I believe Penske has helped with our occupancy here. We do get a lot of one-way truck drop-offs that rent a storage unit from us.”

Grebinar values the fact that he doesn’t need extensive knowledge about truck maintenance. Instead, he trusts Penske to care for the equipment. “Basic requirements mean being reasonably computer literate, being friendly and courteous, using your existing retail customers and building on it,” he said.

## PARTNER WITH A REPUTABLE BRAND

For Mitzi Wallace of Wallace Propane and Welding Supply in Boone, North Carolina, it was important that she partner with a reputable brand. “It reflects on my other businesses too. Because my name is attached to it, my reputation is on the line even though I’m only an agent for Penske,” she said. “To me, Penske runs their business very well and I don’t mind telling anyone I’m an agent for them.”

Aligning with a reputable company that celebrates a long history of excellent customer service has a big return for businesses, agents agreed. “My relationship with Penske is strong on all levels and that’s really one of the best things. They’re hands-on and communication is amazing. From the people that are behind the counter to the people that actually deliver the trucks to us, everyone is friendly, everyone is professional, and everyone is very easy to work with,” said Grebinar. “When Penske says they’re going to do something, they deliver, and that’s the number one thing.”



## ABOUT PENSKE TRUCK RENTAL

Penske Truck Rental provides one of the newest and largest truck fleets in the industry, with more than 99,000 vehicles available for rent. To promote sustainability, Penske participates in the EPA SmartWay Transport Partnership. Penske offers customers convenient rental facilities across North America. Its well-maintained truck fleet is supported by more than 9,500 technicians at more than 880 service facilities. And to keep customers moving forward, Penske provides in-house 24/7 roadside assistance.



Rental  
Leasing  
Logistics

Penske Truck Rental Site – GIS Aerial Map View 2024



# PLANNERS REPORT

**To:** City of Cedarburg Plan Commission

**By:** Mary Censky

**Date:** December 1, 2025

## **General Information:**

**Agenda Item: 6.B.**

**Applicant:**

Elizabeth and Anthony Gibson (d/b/a Burn Boot Camp)

**Property Owner:**

David and Michelle Larson

**Requested Action:**

Review and approval of Conditional Use Permit for health/fitness service business (i.e., Burn Boot Camp)

**Current Zoning:**

B-2 Community Business District

**Current Master Plan Classification:**

Commercial

**Surrounding Zoning/Land Use:**

North: Rs-4 Residential District w/ PUD Overlay  
South: B-2 Community Business District  
East: Town of Cedarburg  
West: Rs-4 Residential District w/ PUD Overlay and part B-2 Community Business District

**Lot Size:**

1.72-acres

**Location:**

W51 N729 Keup Road

---

## **Discussion:**

The applicant seeks Conditional Use Permit (CUP) approval to locate their Burn Boot Camp health/fitness service business in ½ of the existing building on this site.

The B-2 Community Business District lists ‘Health clubs.’ as a conditional use that can be considered for approval.

A DRAFT of the proposed Conditional Use Permit (CUP) is attached for the Commissions consideration.

## **Recommendation:**

The attached CUP lists the recommended conditions for approval.

<b>DOCUMENT NUMBER</b>	<b>CONDITIONAL USE PERMIT BURN BOOT CAMP HEALTH/FITNESS SERVICE BUSINESS</b>	
<p>Before the Plan Commission of the City of Cedarburg, Ozaukee County, Wisconsin, in regard to the premises at W51 N729 Keup Road, Cedarburg, WI 53012, located in Section 26, Town 10 North, Range 21 East, Ozaukee County, State of Wisconsin, further described as follows:</p>		
<p>1089096 1067/1 SE NW COMM 268 FT N SE COR NW TH N 254 FT W 267 FT S 193 FT S 111 FT NE 102 FT NE 159 FT TO POB</p>		
		<p>Return to: City Clerk Tracie Sette City of Cedarburg W63N645 Washington Avenue PO Box 49 Cedarburg WI 53012-0049</p>

13-040-0037.002  
Parcel Identification No.

Zoning Classification of the Premises is: B-2 Community Business District  
Mailing Address of the Premises is: W51 N729 Keup Road

WHEREAS a petition has been filed by Elizabeth and Anthony Gibson, d/b/a Burn Boot Camp (hereinafter "Permittee") for the purpose of Indoor Health/Fitness Service Business including incidental and subordinate use of childcare at W51 N729 Keup Road, such premises owned by David and Michelle Larson (hereinafter "Property Owner"); and

WHEREAS the use 'Health clubs.' is listed as a conditional use that can be considered for approval in Section 13-1-54(d)(16) of the City of Cedarburg Zoning Code; and

WHEREAS, upon careful consideration of information received in this matter, including information received at the public hearing, and in consideration of the particular nature, character and circumstances of the proposed use, and of the specific and contemporary conditions, the City of Cedarburg Plan Commission and Common Council hereby finds that the proposed use will not be hazardous, harmful, offensive, or otherwise adverse to the environment or the value of the neighborhood or the community, and will be in accordance with the purpose and intent of the City of Cedarburg Zoning Code and the City of Cedarburg Smart Growth Comprehensive Land Use Plan - 2050, provided the conditional use is operated pursuant to the following conditions and in strict conformance therewith.

WHEREAS, the Plan Commission of the City of Cedarburg held a Public Hearing on December 1, 2025, and acted to approve the CUP with conditions.

NOW, THEREFORE, the CUP is approved subject to initial and continued compliance with the City of Cedarburg Municipal Zoning Code, and with the following general conditions:

1. This CUP is being issued to Elizabeth and Anthony Gibson, d/b/a Burn Boot Camp (Permittee). In the event of a change in ownership of the Premises or the named Permittee, the applicable provisions of City of Cedarburg Code Section 13-1-226 "CONDITIONAL USE PERMIT." shall apply.
2. This CUP may not be transferred to another location.
3. If this use is discontinued or terminated for a period of 12 months or more, this permit shall become void. Any future use of the site, structures, or land shall be subject to the requirements of the B-2 Community Business Zoning District.
4. Any/all required Federal, State and Local licenses and permits for Burn Boot Camp Indoor Health/Fitness Service Business including incidental and subordinate use of childcare shall be obtained and maintained in full force and effect throughout the period of this use by Permittee's.
5. The Property Owner and Permittee are required to sign below, before a notary, to approve the issuance of this CUP and to indicate their acceptance of the terms and conditions of this CUP.
6. Any modifications, changes or expansion to the approved structure, materials, design, site, operating plans or uses on the plans set forth at Exhibit "A", (attached hereto and made a part hereof by reference) shall require prior approval by the City Plan Commission and Common Council as an amendment to this CUP (Ref Section 13-1-226 of the City Code "CONDITIONAL USE PERMIT.").
7. Unightly, unenclosed storage of any materials, equipment or supplies at this site by the Permittee is prohibited.

8. Any substantiated, material, adverse impacts arising with respect to such things as, but not necessarily limited to, noise, vibration, health, public safety, dust, litter, lighting, loitering, etc. associated with the use Burn Boot Camp Indoor Health/Fitness Service Business including incidental and subordinate use of child care shall be the responsibility of the Permittee to correct timely upon receipt of a written notice from the City of Cedarburg. Failure to correct identified issues in a timely manner, or failure to fully comply with all stated conditions of this permit following receipt of notice from the City of Cedarburg may result in modification, or partial or complete revocation of this Conditional Use Permit.

WHEREAS the Zoning Code and Zoning District Map of the City of Cedarburg, pursuant to State Statute, provide that the premises may not be used of right for the purpose hereinafter described but that upon petition such use may be approved by the municipality as a Conditional Use in particular circumstances as defined by the standards in the Zoning Ordinance; and

Petition therefore having been made, and public hearing held thereon, and the Plan Commission of the City of Cedarburg having determined that by reason of the particular nature, character, and circumstances of the proposed use, and of the specific and contemporary conditions of the site, permit of such use upon the terms and conditions hereinafter prescribed would be consistent with the requirements of the Zoning ordinance:

Now, therefore, it is permitted, subject to compliance with the terms and conditions hereinafter stated, that the Premises may be used for the purpose of Burn Boot Camp Indoor Health/Fitness Service Business including incidental and subordinate use of childcare.

The SPECIFIC CONDITIONS of this Permit are:

1. This Permit shall become effective upon the full execution and recording by the Permittee and Property Owner of an acceptance hereof in such form as to constitute an effective covenant running with the land.
2. This Permit shall become void unless proper application, receipt, and diligent work in support of appropriate Building, Use and Occupancy Permits (as are required by the building and zoning codes of the City of Cedarburg) in conformity to this Conditional Use Permit, are made/secured and construction underway in earnest within 12 months of the date hereof.
3. Construction of the structures, development of the site, and operation of the use shall be in strict conformity to the approved use, site, structures, and operation plans set forth in Exhibit "A" attached hereto and made a part hereof by reference.
4. Any of the conditions of this Permit which would normally be the responsibility of Permittee, shall also be made a part of their lease by the Property Owner, which lease shall contain provisions for posting of the pertinent conditions to notify employees thereof as may be necessary to carry out the conditions.
5. Conditions on the Operations
  - a. Applicant shall implement extensive soundproofing throughout the facility in order to ensure minimal external noise levels.
  - b. The facility will not conduct outdoor workouts, and no music or training activities will take place outside the building.
  - c. Days/hours of use, including as for the incidental and subordinate use of child care for workout participants, shall be limited to:
    - i. Monday–Friday: 5:00 AM, 6:00 AM, 8:30 AM, 9:30 AM, 12:00 PM, 4:30 PM, 5:30 PM
    - ii. Saturday: 7:00 AM, 8:00 AM, 9:00 AM
6. Conditions on the Structures
  - a. The existing principal structure and the accessory structure dumpster enclosure shall remain per existing conditions as of the date of this CUP approval.
7. Conditions on the Site
  - a. The site shall remain per existing conditions as of the date of this CUP approval, including as to the layout of structures; quantity, location and striping of parking and drives; exterior lighting, and landscaping.
8. Other conditions
  - a. Permittee acknowledges and accepts that an Occupancy Permit must be secured from the City Building Inspector prior to the start of the approved use at this location.
  - b. A Sign permit must be issued for all signs proposed to be placed at this site in support of the approved use. Sign Permit issuance is required prior to placement of any signs.
  - c. Any new HVAC equipment to be placed at this site in support of this conditional use shall be properly/adequately soundproofed as not to become a noise nuisance upon the surrounding neighborhood.

Signature page(s) follow...

**SIGNATURES OF PERMITTEE(S):**

As **PERMITTEE** of the subject use, site, and related structures, I/we approve and accept the issuance of the CUP with the above-described conditions.

Signature \_\_\_\_\_ Date Signed: \_\_\_\_\_ Elizabeth Gibson

Signature \_\_\_\_\_ Date Signed: \_\_\_\_\_ Anthony Gibson

STATE OF \_\_\_\_\_ }  
\_\_\_\_\_ COUNTY } SS

Personally, came before me this \_\_\_\_\_ day of \_\_\_\_\_, 2025, the above-named \_\_\_\_\_, and \_\_\_\_\_, to me known to be the person(s) who executed the foregoing instrument and acknowledge the same.

Printed Name \_\_\_\_\_  
Notary Public, \_\_\_\_\_ County, State of Wisconsin  
My Commission Expires: \_\_\_\_\_

Signature \_\_\_\_\_ Date \_\_\_\_\_

**SIGNATURES OF PROPERTY OWNER(S):**

As **PROPERTY OWNER** of the subject property, I/we approve and accept the issuance of the CUP with the above-described conditions.

Signature \_\_\_\_\_ Date Signed: \_\_\_\_\_ David Larson

Signature \_\_\_\_\_ Date Signed: \_\_\_\_\_ Michelle Larson

STATE OF \_\_\_\_\_ }  
\_\_\_\_\_ COUNTY } SS

Personally, came before me this \_\_\_\_\_ day of \_\_\_\_\_, 2025, the above-named \_\_\_\_\_, and \_\_\_\_\_ to me known to be the person(s) who executed the foregoing instrument and acknowledge the same.

Printed Name \_\_\_\_\_  
Notary Public, \_\_\_\_\_ County, State of \_\_\_\_\_  
My Commission Expires: \_\_\_\_\_

Signature \_\_\_\_\_ Date \_\_\_\_\_

**SIGNATURES – CITY OF CEDARBURG**

On behalf of the City of Cedarburg Plan Commission, I/we approve and accept the issuance of the CUP with the above-described conditions.

\_\_\_\_\_  
Patricia Thome, Mayor

STATE OF WISCONSIN }  
OZAUKEE COUNTY } SS

Personally came before me this \_\_\_\_\_ day of \_\_\_\_\_, 2025, the above-named Patricia Thome, to me known to be the person(s) who executed the foregoing instrument and acknowledge the same.

\_\_\_\_\_  
Printed Name \_\_\_\_\_  
Notary Public, Ozaukee County, Wisconsin  
My Commission Expires: \_\_\_\_\_

*THIS INSTRUMENT WAS PREPARED BY:  
Mary Censky, City Planner*

DRAFT

# BURN BOOT CAMP

## GENERAL NOTES

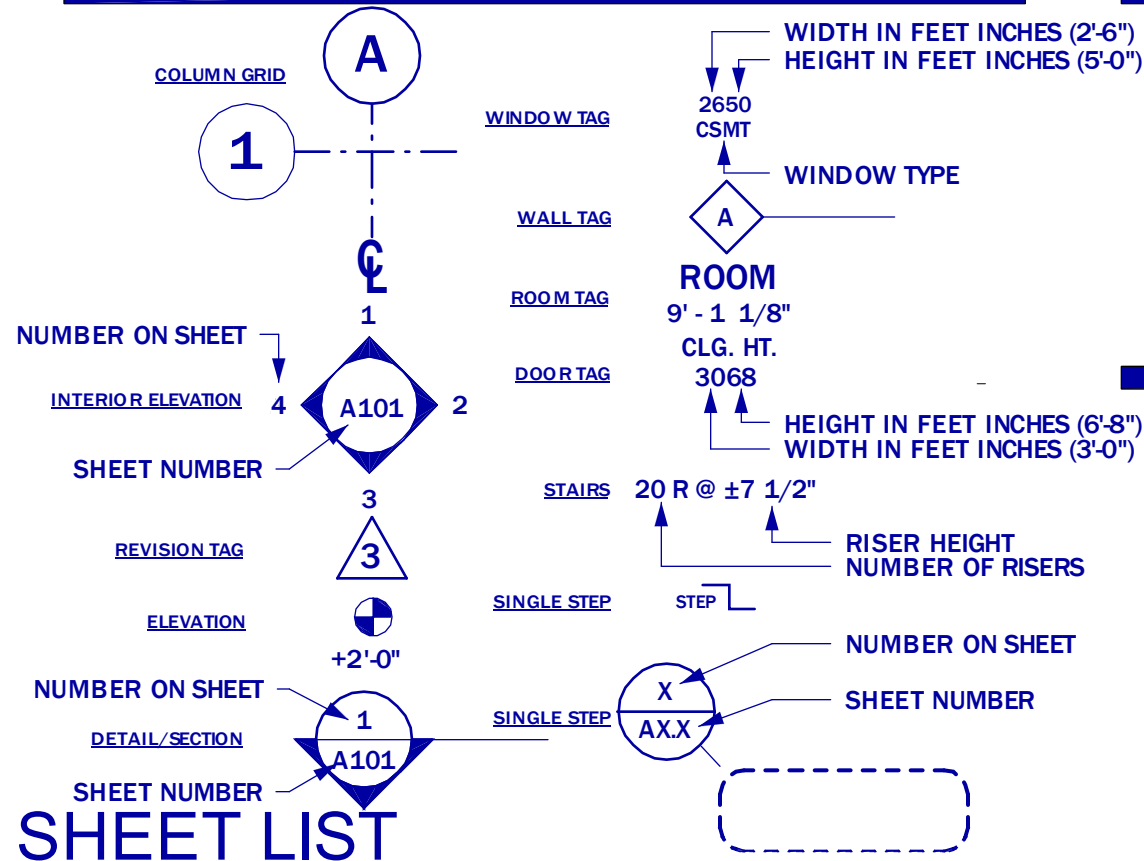
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, NATIONAL CODES AND ORDINANCES AND ALL AUTHORITIES HAVING JURISDICTION.
- ALL WORK SHALL BE PERFORMED IN A WORKMANLIKE MANNER.
- EACH CONTRACTOR SHALL INCLUDE LABOR, MATERIALS, TOOLS, EQUIPMENT, ETC. FOR THE COMPLETE CONSTRUCTION OF THE WORK INDICATED AS SPECIFIED BY THE DRAWINGS AND SPECIFICATIONS.
- MATERIALS AS SPECIFIED ON THE DRAWINGS SHALL BE USED. SUBSTITUTIONS OF MATERIALS WILL NOT BE ALLOWED WITHOUT THE WRITTEN CONSENT OF LEX DESIGN GROUP. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DETAILING IN CONJUNCTION WITH AND ALL OTHER TRADES AFFECTED BY SAID SUBSTITUTIONS.
- LEX DESIGN GROUP SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK OR FOR THE ACTIONS AND DECISIONS OF THE CONTRACTOR, SUBCONTRACTOR, OR ANY OTHER PERSONS PERFORMING THE WORK OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE INTENT OF THE CONTRACT DOCUMENTS.
- ALL PLUMBING, MECHANICAL, AND ELECTRICAL WORK IS TO BE COORDINATED BETWEEN THE TRADES AS PART OF THEIR INSTALLATION LAYOUT.
- CONTRACTORS SHALL PROVIDE ADEQUATE BRACING AND/OR SHORING TO ENSURE STRUCTURAL STABILITY OF THE BUILDING DURING CONSTRUCTION.
- EACH CONTRACTOR SHALL MAKE AND MAKE GOOD AT THEIR OWN COST, ANY DEFECTS OR OTHER FAULTS IN HIS HER WORKMANSHIP AND/OR MATERIAL.
- ALL MATERIAL FINISHES AND STYLES INCLUDING BUT NOT LIMITED TO EXTERIOR SIDING, ROOFING, WINDOWS, EXTERIOR TRIM AND INTERIOR & EXTERIOR MILLWORK, ETC. SHALL BE APPROVED BY LEX DESIGN GROUP.
- DO NOT SCALE THE DRAWINGS. WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND/OR DISCREPANCIES IN THE PLAN AND REPORT ERRORS TO LEX DESIGN GROUP PRIOR TO COMMENCEMENT OF THE WORK OR TO BE RESPONSIBLE FOR THE SAME.
- THESE PLANS, DETAILS, AND SPECIFICATIONS REMAIN THE PROPERTY OF LEX DESIGN GROUP AND MAY NOT BE ALTERED IN ANY WAY WITHOUT THE WRITTEN CONSENT OF LEX DESIGN GROUP.

**TRUSS FABRICATION:**  
THE TRUSS MANUFACTURER IS RESPONSIBLE TO DESIGN AND DETAIL THE ROOF TRUSS SYSTEM. THE ROOF TRUSS SYSTEM SHALL INCLUDE, BUT IS NOT LIMITED TO, A COMPLETE ROOF PLAN INDICATING ALL TRUSS SECS, LOCATIONS, CONNECTIONS, IMPOSED LOADS AND BEARING REQUIREMENTS. THE TRUSS SYSTEM SHALL BE DESIGNED TO ACCOMMODATE ALL LIVE, DEAD, SNOW, WIND AND UPLIFT LOADS AS REQUIRED BY ALL APPLICABLE CODES. THE TRUSS MANUFACTURER SHALL SUBMIT A SET OF SEALED SHOP DRAWINGS TO CORNERSTONE DEVELOPMENT FOR APPROVAL OF THE ROOF TRUSS PRIOR TO FABRICATION. IF MODIFICATIONS TO THE CONSTRUCTION DOCUMENTS ARE REQUIRED, LEX DESIGN GROUP SHALL BE NOTIFIED IMMEDIATELY. REFER TO GENERAL NOTES FOR ADDITIONAL INSTRUCTIONS.

**WALL PANEL FABRICATION OR LODGE NUMBER SUPPLIER:**  
THE WALL PANEL MANUFACTURER OR LODGE NUMBER SUPPLIER IS RESPONSIBLE TO DESIGN AND DETAIL THE STRUCTURES WALL PANELS. THE WALL PANEL SYSTEM SHALL INCLUDE, BUT IS NOT LIMITED TO, A WALL PANEL PLAN INDICATING ALL STRUCTURAL HEADERS AND BEAMS, JOINTS, CONNECTIONS, IMPOSED LOADS, AND BEARING REQUIREMENTS. THE WALL PANEL SYSTEM SHALL BE DESIGNED TO ACCOMMODATE ALL LIVE, DEAD, WIND, AND SEISMIC LOADS AS REQUIRED BY ALL APPLICABLE CODES. WALL PANEL MANUFACTURER SHALL SUBMIT A SET OF SEALED SHOP DRAWINGS TO LEX DESIGN GROUP FOR APPROVAL OF THE WALL PANELS PRIOR TO FABRICATION. IF MODIFICATIONS TO THE CONSTRUCTION DOCUMENTS ARE REQUIRED, LEX DESIGN GROUP SHALL BE NOTIFIED IMMEDIATELY. REFER TO GENERAL NOTES FOR ADDITIONAL INSTRUCTIONS.

**FLOOR JOIST FABRICATION:**  
THE FLOOR JOIST MANUFACTURER IS RESPONSIBLE TO DESIGN AND DETAIL THE STRUCTURES FLOOR SYSTEM. THE FLOOR SYSTEM SHALL INCLUDE, BUT IS NOT LIMITED TO, A COMPLETE FLOOR JOIST PLAN INDICATING ALL STRUCTURAL BEAMS, JOINTS, CONNECTIONS, IMPOSED LOADS AND BEARING REQUIREMENTS. THE FLOOR JOIST SHALL BE DESIGNED TO ACCOMMODATE ALL LIVE & DEAD LOADS AS REQUIRED BY ALL APPLICABLE CODES. IN ADDITION, THE FLOOR JOIST MUST BE SIZED FOR A LOAD FROM DEFLECTION OF 1/4". THE FLOOR JOIST MANUFACTURER SUPPLIER SHALL SUBMIT A SET OF SEALED SHOP DRAWINGS TO CORNERSTONE DEVELOPMENT FOR APPROVAL OF THE FLOOR JOIST PRIOR TO FABRICATION. IF MODIFICATIONS TO THE CONSTRUCTION DOCUMENTS ARE REQUIRED, LEX DESIGN GROUP SHALL BE NOTIFIED IMMEDIATELY. REFER TO GENERAL NOTES FOR ADDITIONAL INSTRUCTIONS.

## ANNOTATIONS



## SHEET LIST

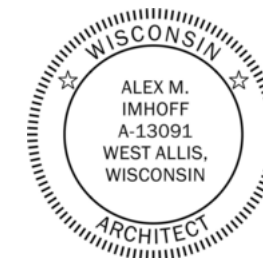
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Sheet Number	Sheet Name
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G006	FIRST FLOOR PLAN
G007	SITE PLAN
G008	ELEVATIONS

GENERAL	
Sheet Number	Sheet Name
G009	ELEVATIONS
G010	Renderings
G011	Renderings

## CONTACTS

### ARCHITECT:

LEX DESIGN GROUP  
ALEX IMHOFF  
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Office: 262.236.9481  
Email: alex@lexdesigngroup.com  
Instagram @lexdesigngroupplc  
Facebook @lexdesigngroupplc  
www.lexdesigngroup.com  
407 N. Main St.  
Thiensville, WI 53092

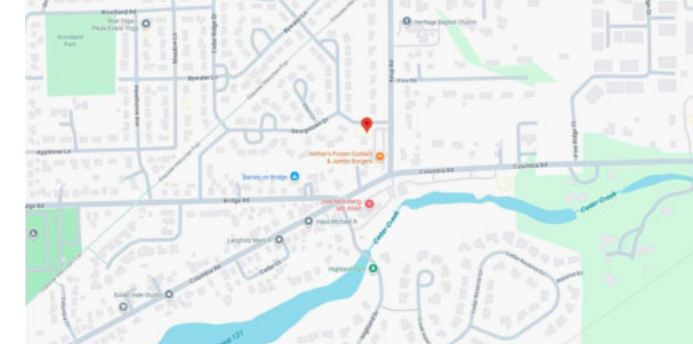


### OWNER:

ELIZABETH SOMMER-GIBSON  
C. 262.227.1184  
E. elizabeth.gibson@burnbootcamp.com  
ANTHONY GIBSON  
C. 612.749.3224  
E. anthony.gibson@burnbootcamp.com  
415 E Silver Spring Dr.  
Whitefish Bay, WI 53217

## SITE LOCATION

W51, N729 KEUP RD, CEDARBURG, WI 53012



## CODE INFO

- BUILDING CODE:**
  - 2021 INTERNATIONAL BUILDING CODE (WITH WISCONSIN AMENDMENTS SPS 362)
  - 2021 INTERNATIONAL EXISTING BUILDING CODE (WITH WISCONSIN AMENDMENTS SPS 366)
- ACCESSIBILITY CODE:**
  - 2021 INTERNATIONAL BUILDING CODE (WITH WISCONSIN AMENDMENTS SPS 362)
  - 2009 ICC/ANSI A117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES
- MECHANICAL CODE:**
  - 2021 INTERNATIONAL MECHANICAL CODE (WITH WISCONSIN AMENDMENTS SPS 364)
- PLUMBING CODE:**
  - WISCONSIN PLUMBING CODE SPS 380-387
- ELECTRICAL CODE:**
  - 2021 NFPA 70 NATIONAL ELECTRICAL CODE (WITH WISCONSIN AMENDMENTS SPS 316)
- ENERGY CODE:**
  - 2021 IECC INTERNATIONAL ENERGY CONSERVATION CODE (WITH WISCONSIN AMENDMENTS SPS 363)
- FIRE CODE:**
  - 2021 INTERNATIONAL FIRE CODE (WITH WISCONSIN AMENDMENTS SPS 314)

## BUILDING INFO

PROJECT TYPE: BUILDING & WORK AREA:	LEVEL 3 ALTERATION & CHANGE OF OCCUPANCY (M TO B) AREA WORK AREA
FIRST FLOOR: B (CHANGE FROM M TO B)	9,340 S.F. 4,720
TOTAL	9,340 S.F. 4,720 S.F. 50.5%
OCCUPANCY GROUP: CONSTRUCTION TYPE: SPRINKLERED: BUILDING HEIGHT: BUILDING AREA: NUMBER OF STORIES ABOVE GRADE:	III-B B (TRAINING AND SKILL DEVELOPMENT) YES (NOT REQUIRED PER IBC 907.2.2) B ALLOWED: 75' ACTUAL: 15' ALLOWED: 76,000 S.F. ACTUAL: 9,340 S.F. ALLOWED: 4 ACTUAL: 1
OCCUPANCY LOAD: CHILD-WATCH AREA (DAY CARE) GYM (EXERCISE ROOMS)	19 (633 S.F. / 35 NET S.F. PER OCCUPANT) 52 (2,551 S.F. / 50 GROSS S.F. PER OCCUPANT)
EGRESS WIDTH: EXITS: COMMON PATH OF EGRESS DISTANCE: EXIT ACCESS TRAVEL DISTANCE: EMERGENCY EGRESS LIGHT: EXIT SIGNS: INTERIOR FINISHES:	REQUIRED: 0.2" x 71 = 14.2" PROVIDED: ?" REQUIRED: 2 PROVIDED: 4 ALLOWED: 100' ACTUAL: SEE PLAN ALLOWED: 300' ACTUAL: SEE PLAN NOT REQUIRED NOT REQUIRED WALL & CEILING: CLASS 'C' FLOOR: CLASS II
<b>FIRE RATING</b> STRUCTURAL FRAME: BEARING WALLS EXTERIOR: BEARING WALLS EXTERIOR: BEARING WALLS INTERIOR: NON-BEARING WALL EXTERIOR: NON-BEARING WALL EXTERIOR: NON-BEARING WALL INTERIOR: NON-BEARING WALL INTERIOR: FLOOR (BETWEEN OCCUPANCIES): ROOF: WALLS (BETWEEN OCCUPANCIES):	0 HR 0 HR (BUILDING SEPARATION GREATER THAN 10') 1 HR (BUILDING SEPARATION LESS THAN 10') 0 HR 0 HR 0 HR (BUILDING SEPARATION GREATER THAN 10') 1 HR (BUILDING SEPARATION LESS THAN 10') 0 HR 0 HR 0 HR 0 HR



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ALEX@LEXDESIGNGROUP.COM  
262.236.9481

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©2025

PROJECT:  
BURN BOOT  
CAMP

PROJECT NO

REVISION

DATE

COND. USE 1 10.24.2025

W51, N729 KEUP RD,  
CEDARBURG, WI 53012

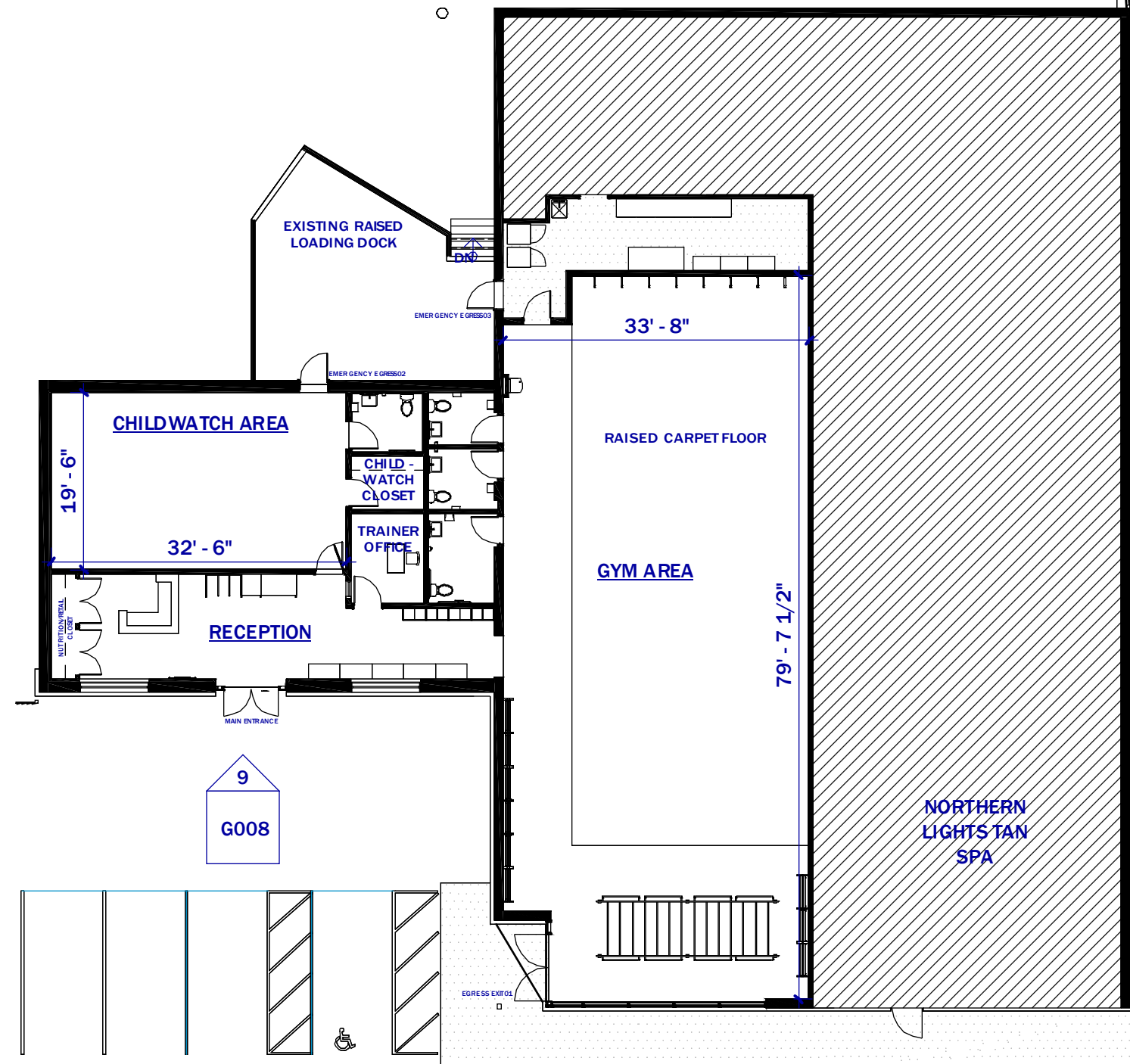
### NOTES:

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## CONDITIONAL USE

COVERSHEET

G000



1

# FIRST FLOOR PLAN

SCALE: 1/16" = 1'-0"



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**PROJECT:**  
**BURN BOOT  
CAMP**

**PROJECT NO**

**REVISION**

**DATE**

**COND. USE 1 10.24.2025**

**W51, N729 KEUP RD,  
CEDARBURG, WI 53012**

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## CONDITIONAL USE

FIRST FLOOR PLAN

**G006**

1

# SITE PLAN

SCALE: 1/32" = 1'-0"

**LOT AREA:** 1.72 ACRES

**ZONING:** B-2 COMMUNITY BUSINESS DISTRICT, CONDITIONAL USE: HEALTH CLUB

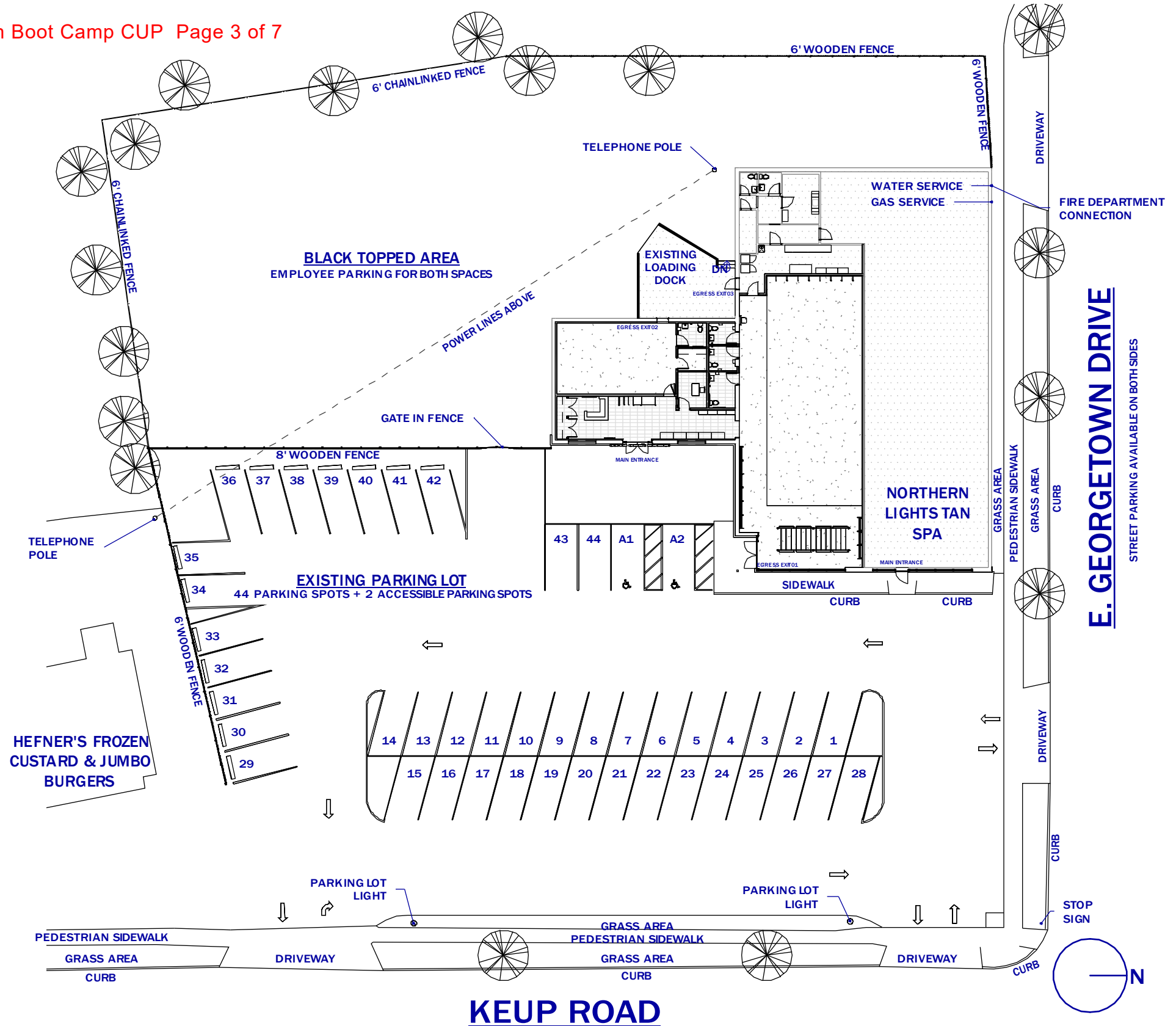
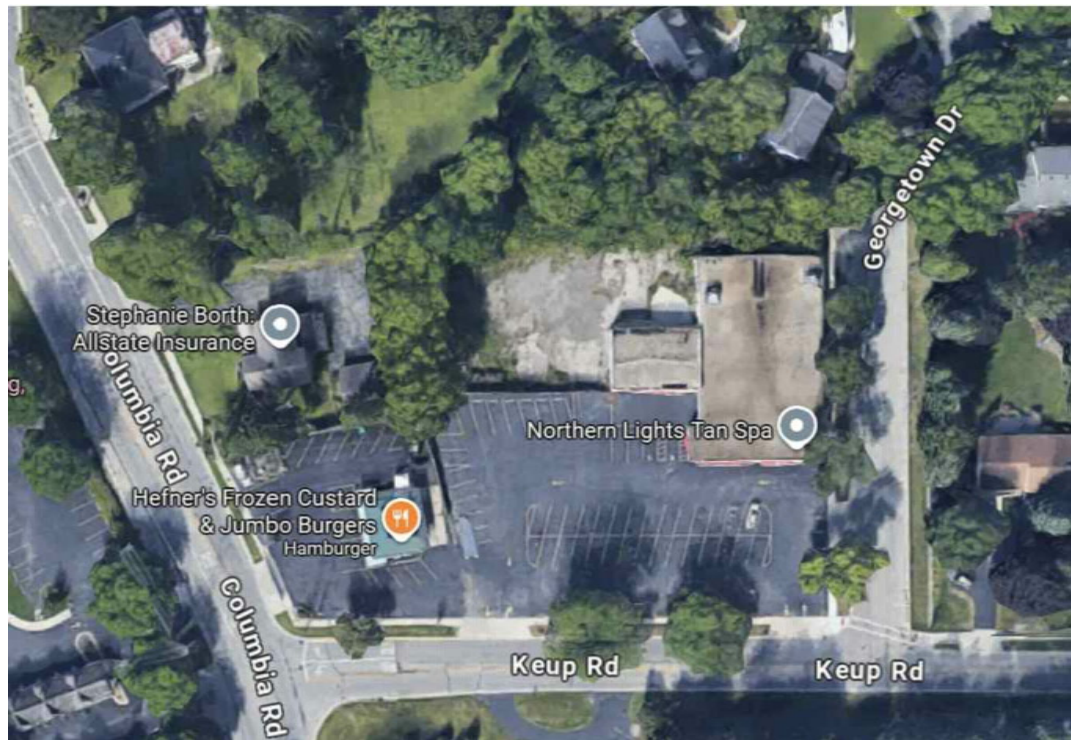
**PARKING REQUIREMENTS:**  
**BURN BOOT CAMP: RECREATIONAL USE (SEC. 13-1-82-h4)**  
 71 (MAX CAPACITY)/4 = 17.75 (18)  
 1 PER 2 EMPLOYEES MAX WORKING (6) = 3  
 TOTAL = 21 PARKING SPOTS

**NORTHERN LIGHTS TAN SPA: PERSONAL SERVICES (SEC.13-1-82-h2)**  
 4,125 (GROSS FLOOR AREA)/200 = 20.625 (24)  
 1 PER MAX EMPLOYEE LOAD = 3  
 TOTAL = 27 PARKING SPOTS

TOTAL SPOTS REQUIRED = 48 PARKING SPOTS

**ACCESSIBLE PARKING:**  
 1 PER 26-49 SPOTS (SEC. 13-1-82-g1)  
 REQUIRED: 1 PROVIDED: 2

**EXISTING PARKING LOT:**  
 44 PARKING SPOTS WITH 2 ACCESSIBLE PARKING SPOTS  
 \*EMPLOYEE PARKING BEHIND FENCE/BUILDING\*  
 \*STREET PARKING ON BOTH SIDES OF E. GEORGETOWN DRIVE\*



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	COND. USE 1	10.24.2025

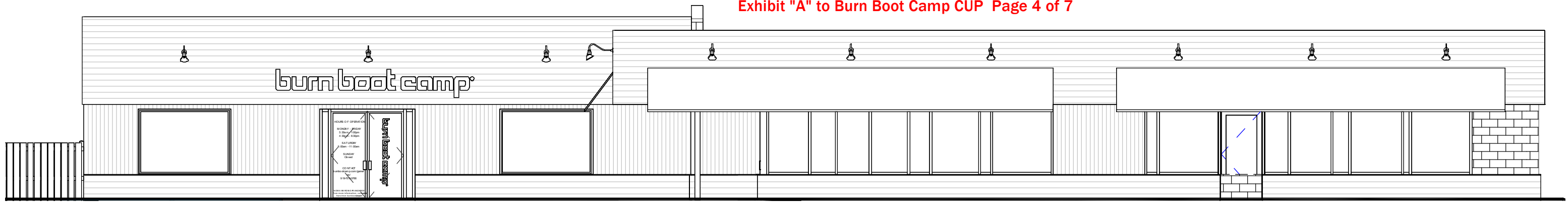
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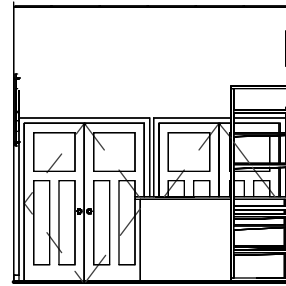
SITE PLAN G007



9

# FRONT ELEVATION - NEW

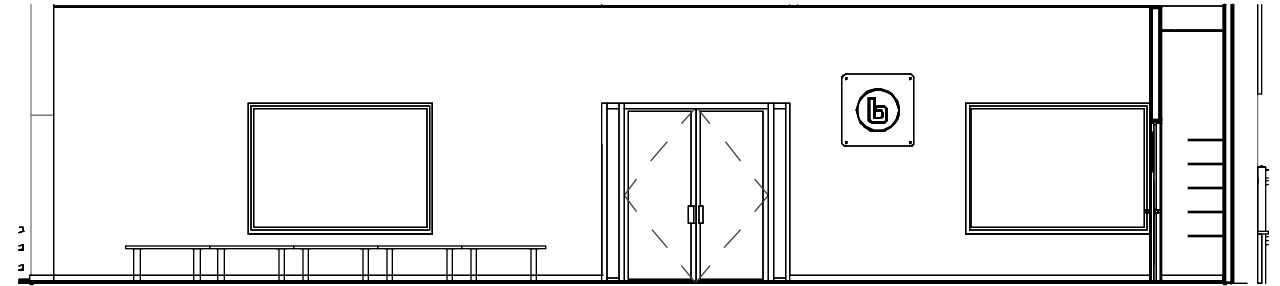
SCALE: 1/8" = 1'-0"



6

## RECEPTION - c

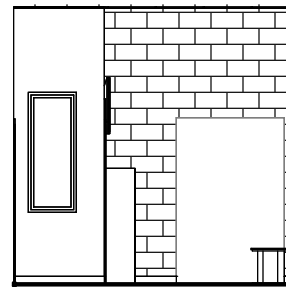
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8

## RECEPTION - a

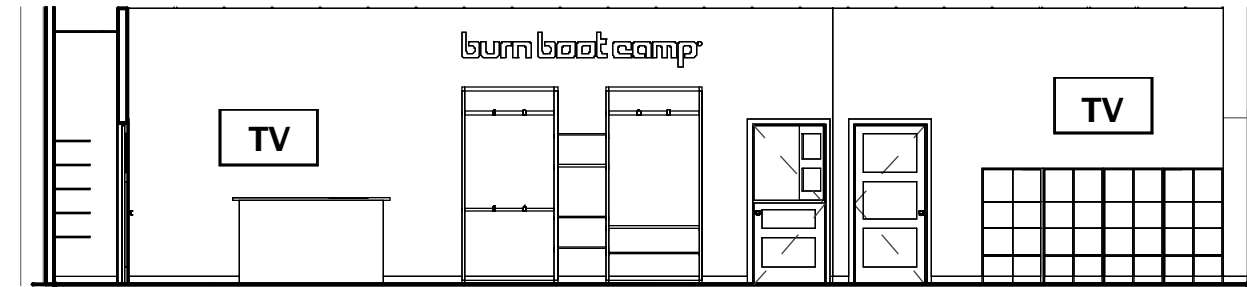
SCALE: 1/8" = 1'-0"



5

## RECEPTION - d

SCALE: 1/8" = 1'-0"



7

## RECEPTION - b

SCALE: 1/8" = 1'-0"



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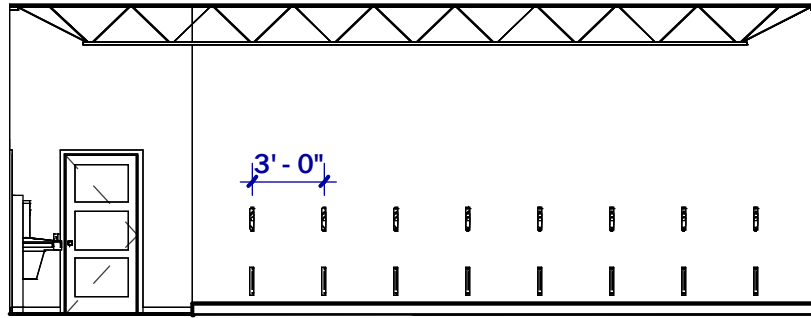
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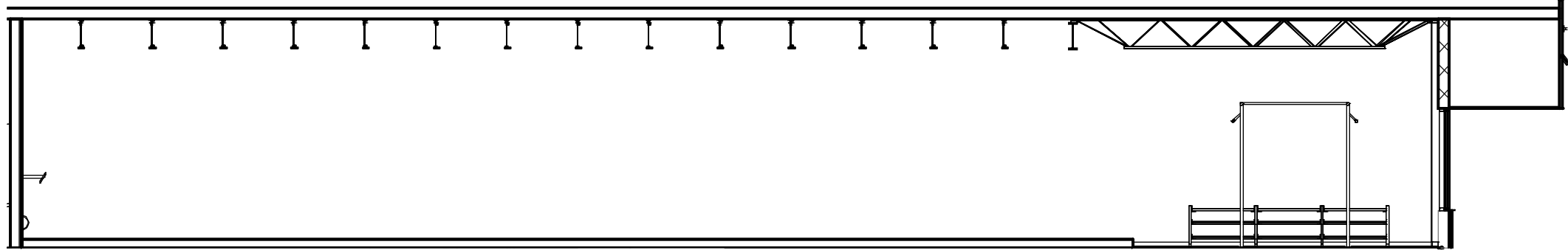
**CONDITIONAL USE**

ELEVATIONS

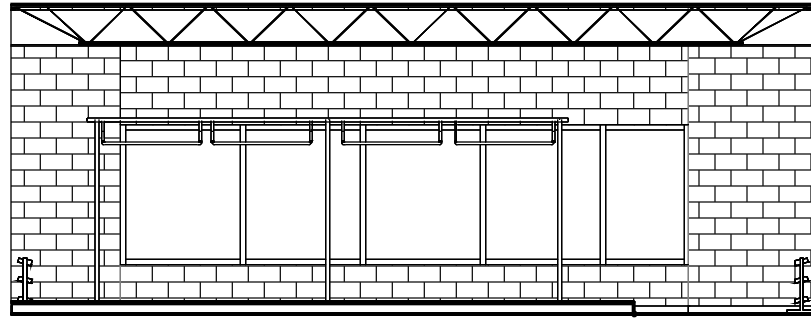
**G008**



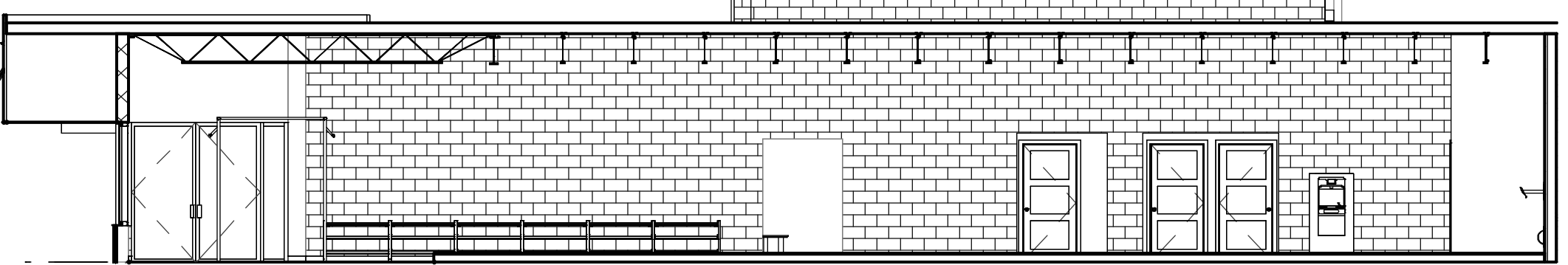
**2** **GYM AREA - c**  
SCALE: 1/8" = 1'-0"



**4** **GYM AREA - a**  
SCALE: 1/8" = 1'-0"



**1** **GYM AREA - d**  
SCALE: 1/8" = 1'-0"



**3** **GYM AREA - b**  
SCALE: 1/8" = 1'-0"



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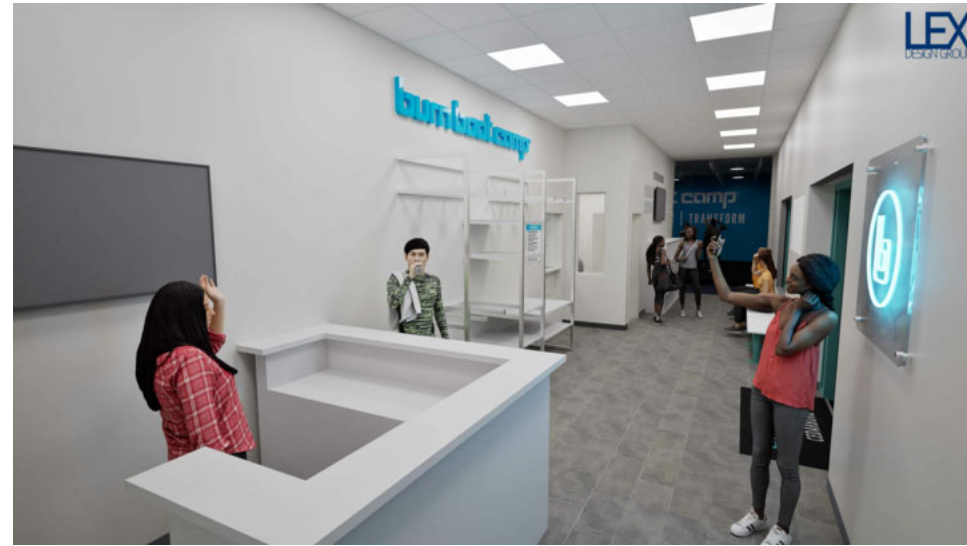
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**G011**



**LAND DEVELOPMENT APPLICATION**

PROPERTY LOCATION/ADDRESS: W51 N729 Keup Rd Cedarburg, WI 53012

APPLICANT/BUSINESSNAME: Elizabeth & Anthony Gibson/Burn Boot Camp Cedarburg

APPLICANT/BUSINESS ADDRESS: same as listed above

STATUS OF APPLICANT:  OWNER  AGENT  BUYER  OTHER \_\_\_\_\_

PHONE: [REDACTED] EMAIL: [REDACTED]

PROPERTY OWNER (IF DIFFERENT): \_\_\_\_\_

PROPERTY OWNER MAILING ADDRESS: \_\_\_\_\_

PROPERTY OWNER PHONE: \_\_\_\_\_ PROPERTY OWNER EMAIL: \_\_\_\_\_

REQUEST FOR (CHECK ALL THAT APPLY):

- CONCEPT REVIEW
- SITE/ARCHITECTURAL PLAN APPROVAL
- SUBDIVISION PLAT OR CSM REVIEW
- ZONING DISTRICT CHANGE
- CONDITIONAL USE ZONING
- ANNEXATION REQUEST
- VARIANCE/BOARD OF APPEALS
- OTHER \_\_\_\_\_

DESCRIBE REQUEST: See attached

PLEASE SUBMIT: **FIVE (5) COPIES OF WRITTEN DESCRIPTION OF PROPOSAL OR REQUEST FOR CITY STAFF REVIEW -PLUS ELECTRONIC**  
**FIVE (5) FULL SETS OF SUPPORTING DRAWINGS, SKETCHES OR SURVEY MAPS FOR CITY STAFF REVIEW**  
**PLUS ELECTRONIC**  
**TEN (10) SETS OF PLANS (11" x 17" MAX) FOR PLAN COMMISSION REVIEW -PLUS ELECTRONIC**

**ELECTRONIC COPIES MAY BE SENT TO [THANAMAN@CITYOFCEDARBURG.WI.GOV](mailto:THANAMAN@CITYOFCEDARBURG.WI.GOV)**

The undersigned certifies that he/she has familiarized themselves with the State and Local codes and procedures pertaining to this application. The undersigned further hereby certifies that the information contained in this application is true and correct. This application shall be signed by the property owner(s).

PROPERTY OWNER(S) SIGNATURE: Elizabeth Sommer-Gibson Elizabeth Sommer-Gibson 2025.10.29 14:26:39 -05'00' DATE: 10/29/25

**FOR CITY STAFF USE ONLY**

TOTAL FEE: \$ 300.00 ck # 241 (SEE FEE SCHEDULE ON REVERSE PAGE) DATE FEE PAID: 10-30-25

APPLICATION AND FEE RECEIVED BY: Theresa Hanaman PLAN COMMISSION MEETING DATE: 12-1-2025

ATTACHMENTS (CHECK IF RECEIVED):

- FIVE DESCRIPTIONS
- FIVE FULL-SIZE SETS
- THIRTEEN PLAN SETS

PROPERTY TAX KEY NO/PLAN COMMISSION FILE NO: 13-040-0037.002

ZONING: RS-5 ALDERMANIC DISTRICT: 6 PREVIOUS MEETING: \_\_\_\_\_

## **Burn Boot Camp Cedarburg – Business Summary**

Burn Boot Camp Cedarburg is a locally owned franchise of the nationally recognized fitness brand, Burn Boot Camp, known for its transformative 45-minute training sessions designed for women and their families. Our mission is to inspire, empower, and strengthen the Cedarburg community—physically and mentally—through dynamic group workouts, personalized coaching, and a supportive environment where every member feels seen and valued. Our camps combine high-intensity interval training (HIIT), strength, conditioning, and functional fitness movements to deliver proven results for all fitness levels. Each membership includes unlimited camps, complimentary childwatch, and 1:1 focus meetings with certified trainers to provide individualized guidance on fitness, nutrition, and mindset. Burn Boot Camp is more than a gym—it's a community built on accountability, encouragement, and transformation.

### **Facility & Operations**

Burn Boot Camp Cedarburg will occupy approximately 50% of the building we are purchasing from the current owners. The interior will be professionally designed and constructed to meet Burn Boot Camp's high standards of safety, functionality, and member experience. As part of our commitment to being good neighbors, we will implement extensive soundproofing throughout the facility. We have successfully applied these sound mitigation strategies at our existing location in Whitefish Bay, where they have proven effective in maintaining minimal external noise levels. The facility will not conduct outdoor workouts, and no music or training activities will take place outside the building. Any outdoor sound or activity will only occur under a temporary permit for special events such as community fundraisers or open houses.

### **Operating Hours**

Our class schedule is designed to accommodate a wide range of member needs, from early-morning professionals to stay-at-home parents and evening exercisers:

Monday–Friday: 5:00 AM, 6:00 AM, 8:30 AM, 9:30 AM, 12:00 PM, 4:30 PM, 5:30 PM

Saturday: 7:00 AM, 8:00 AM, 9:00 AM

Camps are 45 minutes in length, with transitions between sessions carefully managed to ensure safe and efficient parking and member flow.

### **Parking & Accessibility**

The site features a 44-car parking lot shared with Northern Lights Tan. Based on traffic flow and campscheduling, parking availability is more than sufficient to accommodate both businesses without congestion or overflow.

### **Community Commitment**

As local owners who are already deeply invested in the area through our Whitefish Bay location, we are excited to bring Burn Boot Camp's nationally acclaimed program to Cedarburg. We are committed to being a positive addition to the community by creating a welcoming space where members of all fitness levels can grow stronger together. Beyond fitness, Burn Boot Camp actively supports local charities, schools, and events, and we intend to continue that community-first approach in Cedarburg. Burn Boot Camp Cedarburg will serve as a space where hard work, empowerment, and community intersect—helping women and their families build strength that lasts beyond the gym walls.

# BURN BOOT CAMP

## GENERAL NOTES

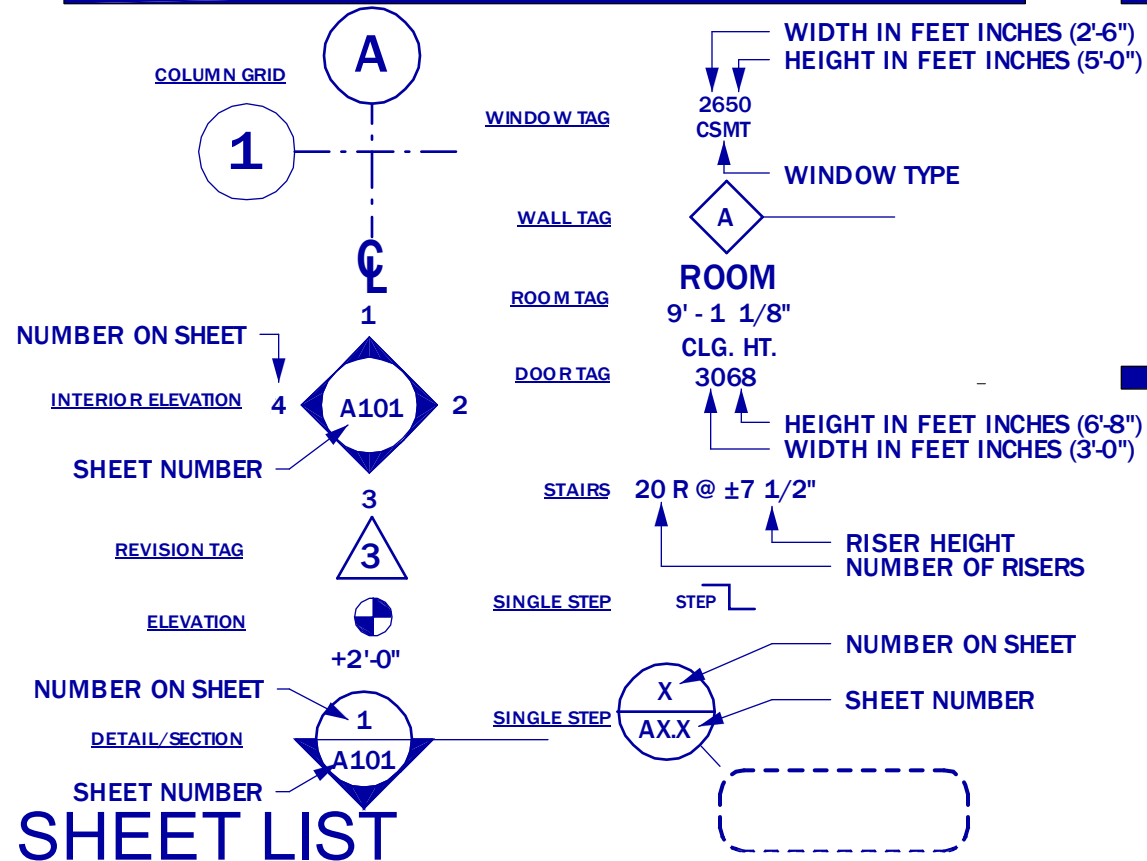
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, NATIONAL CODES AND ORDINANCES AND ALL AUTHORITIES HAVING JURISDICTION.
- ALL WORK SHALL BE PERFORMED IN A WORKMANLIKE MANNER.
- EACH CONTRACTOR SHALL INCLUDE LABOR, MATERIALS, TOOLS, EQUIPMENT, ETC. FOR THE COMPLETE CONSTRUCTION OF THE WORK INDICATED AS SPECIFIED BY THE DRAWINGS AND SPECIFICATIONS.
- MATERIALS AS SPECIFIED ON THE DRAWINGS SHALL BE USED. SUBSTITUTIONS OF MATERIALS WILL NOT BE ALLOWED WITHOUT THE WRITTEN CONSENT OF THE DESIGN GROUP. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DETAILING IN CONJUNCTION WITH AND ALL OTHER TRADES AFFECTED BY SAID SUBSTITUTIONS.
- LEX DESIGN GROUP SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK OR FOR THE ACTIONS AND OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR, OR ANY OTHER PERSONS PERFORMING THE WORK OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE INTENT OF THE CONTRACT DOCUMENTS.
- ALL PLUMBING, MECHANICAL, AND ELECTRICAL WORK IS TO BE COORDINATED BETWEEN THE TRADES AS PART OF THEIR INSTALLATION LAYOUT.
- CONTRACTORS SHALL PROVIDE ADEQUATE BRACING AND/OR SHORING TO ENSURE STRUCTURAL STABILITY OF THE BUILDING DURING CONSTRUCTION.
- EACH CONTRACTOR SHALL MAINTAIN AND MAKE GOOD AT THEIR OWN COST, ANY DEFECTS OR OTHER FAULTS IN HIS HER WORKMANSHIP AND/OR MATERIAL.
- ALL MATERIAL FINISHES AND STYLES INCLUDING BUT NOT LIMITED TO EXTERIOR SIDING, ROOFING, WINDOWS, EXTERIOR TRIM AND INTERIOR & EXTERIOR MILLWORK, ETC. SHALL BE APPROVED BY LEX DESIGN GROUP.
- DO NOT SCALE THE DRAWINGS, WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND/OR DISCREPANCIES IN THE PLAN AND REPORT ERRORS TO LEX DESIGN GROUP PRIOR TO COMMENCEMENT OF THE WORK OR TO BE RESPONSIBLE FOR THE SAME.
- THESE PLANS, DETAILS, AND SPECIFICATIONS REMAIN THE PROPERTY OF LEX DESIGN GROUP AND MAY NOT BE ALTERED IN ANY WAY WITHOUT THE WRITTEN CONSENT OF LEX DESIGN GROUP.

**TRUSS FABRICATION**  
THE TRUSS MANUFACTURER IS RESPONSIBLE TO DESIGN AND DETAIL THE ROOF TRUSS SYSTEM. THE ROOF TRUSS SYSTEM SHALL INCLUDE, BUT IS NOT LIMITED TO, A COMPLETE ROOF PLAN INDICATING ALL TRUSS SECS, LOCATIONS, CONNECTIONS, IMPOSED LOADS AND BEARING REQUIREMENTS. THE TRUSS SYSTEM SHALL BE DESIGNED TO ACCOMMODATE ALL LIVE, DEAD, SNOW, WIND AND UPLIFT LOADS AS REQUIRED BY ALL APPLICABLE CODES. THE TRUSS MANUFACTURER SHALL SUBMIT A SET OF SEALED SHOP DRAWINGS TO CORNERSTONE DEVELOPMENT FOR APPROVAL OF THE ROOF TRUSS PRIOR TO FABRICATION. IF MODIFICATIONS TO THE CONSTRUCTION DOCUMENTS ARE REQUIRED, LEX DESIGN GROUP SHALL BE NOTIFIED IMMEDIATELY. REFER TO GENERAL NOTES FOR ADDITIONAL INSTRUCTIONS.

**WALL PANEL FABRICATION OR LODGE NUMBER SUPPLIER**  
THE WALL PANEL MANUFACTURER OR LODGE NUMBER SUPPLIER IS RESPONSIBLE TO DESIGN AND DETAIL THE STRUCTURES WALL PANELS. THE WALL PANEL SYSTEM SHALL INCLUDE, BUT IS NOT LIMITED TO, A WALL PANEL PLAN INDICATING ALL STRUCTURAL HEADERS AND BEAMS, JOINT LOCATIONS, CONNECTIONS, IMPOSED LOADS, AND BEARING REQUIREMENTS. THE WALL PANEL SYSTEM SHALL BE DESIGNED TO ACCOMMODATE ALL LIVE, DEAD, WIND, AND SEISMIC LOADS AS REQUIRED BY ALL APPLICABLE CODES. WALL PANEL MANUFACTURER SHALL SUBMIT A SET OF SEALED SHOP DRAWINGS TO LEX DESIGN GROUP FOR APPROVAL OF THE WALL PANELS PRIOR TO FABRICATION. IF MODIFICATIONS TO THE CONSTRUCTION DOCUMENTS ARE REQUIRED, LEX DESIGN GROUP SHALL BE NOTIFIED IMMEDIATELY. REFER TO GENERAL NOTES FOR ADDITIONAL INSTRUCTIONS.

**FLOOR JOIST FABRICATION**  
THE FLOOR JOIST MANUFACTURER IS RESPONSIBLE TO DESIGN AND DETAIL THE STRUCTURES FLOOR SYSTEM. THE FLOOR SYSTEM SHALL INCLUDE, BUT IS NOT LIMITED TO, A COMPLETE FLOOR JOIST PLAN INDICATING ALL STRUCTURAL BEAMS, JOINT LOCATIONS, CONNECTIONS, IMPOSED LOADS AND BEARING REQUIREMENTS. THE FLOOR JOIST SHALL BE DESIGNED TO ACCOMMODATE ALL LIVE & DEAD LOADS AS REQUIRED BY ALL APPLICABLE CODES. IN ADDITION, THE FLOOR JOIST MUST BE SIZED FOR A LOAD FROM DEFLECTION OF 1/4". THE FLOOR JOIST MANUFACTURER SUPPLIER SHALL SUBMIT A SET OF SEALED SHOP DRAWINGS TO CORNERSTONE DEVELOPMENT FOR APPROVAL OF THE FLOOR JOIST PRIOR TO FABRICATION. IF MODIFICATIONS TO THE CONSTRUCTION DOCUMENTS ARE REQUIRED, LEX DESIGN GROUP SHALL BE NOTIFIED IMMEDIATELY. REFER TO GENERAL NOTES FOR ADDITIONAL INSTRUCTIONS.

## ANNOTATIONS

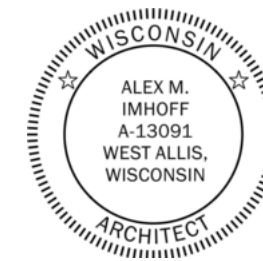


## SHEET LIST

## CONTACTS

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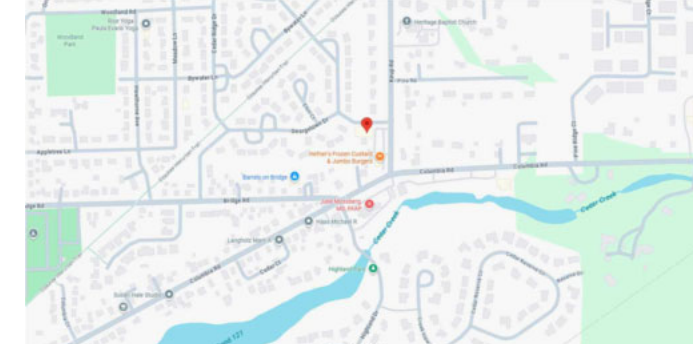


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Whitefish Bay, WI 53217

## SITE LOCATION

W51, N729 KEUP RD, CEDARBURG, WI 53012



## CODE INFO

- BUILDING CODE:**
  - 2021 INTERNATIONAL BUILDING CODE (WITH WISCONSIN AMENDMENTS SPS 362)
  - 2021 INTERNATIONAL EXISTING BUILDING CODE (WITH WISCONSIN AMENDMENTS SPS 366)
- ACCESSIBILITY CODE:**
  - 2021 INTERNATIONAL BUILDING CODE (WITH WISCONSIN AMENDMENTS SPS 362)
  - 2009 ICC/ANSI A117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES
- MECHANICAL CODE:**
  - 2021 INTERNATIONAL MECHANICAL CODE (WITH WISCONSIN AMENDMENTS SPS 364)
- PLUMBING CODE:**
  - WISCONSIN PLUMBING CODE SPS 380-387
- ELECTRICAL CODE:**
  - 2021 NFPA 70 NATIONAL ELECTRICAL CODE (WITH WISCONSIN AMENDMENTS SPS 316)
- ENERGY CODE:**
  - 2021 IECC INTERNATIONAL ENERGY CONSERVATION CODE (WITH WISCONSIN AMENDMENTS SPS 363)
- FIRE CODE:**
  - 2021 INTERNATIONAL FIRE CODE (WITH WISCONSIN AMENDMENTS SPS 314)

## BUILDING INFO

PROJECT TYPE: BUILDING & WORK AREA:	LEVEL 3 ALTERATION & CHANGE OF OCCUPANCY (M TO B)
OCCUPANCY GROUP: CONSTRUCTION TYPE: SPRINKLERED: BUILDING HEIGHT: BUILDING AREA: NUMBER OF STORIES ABOVE GRADE:	III-B YES (NOT REQUIRED PER IBC 907.2.2) B ALLOWED: 75' ACTUAL: 15' ALLOWED: 76,000 S.F. ALLOWED: 4 ACTUAL: 1
OCCUPANCY LOAD: CHILD-WATCH AREA (DAY CARE) GYM (EXERCISE ROOMS)	19 (633 S.F. / 35 NET S.F. PER OCCUPANT) 52 (2,551 S.F. / 50 GROSS S.F. PER OCCUPANT)
EGRESS WIDTH: EXITS: COMMON PATH OF EGRESS DISTANCE: EXIT ACCESS TRAVEL DISTANCE: EMERGENCY EGRESS LIGHT: EXIT SIGNS: INTERIOR FINISHES:	REQUIRED: 0.2" x 71 = 14.2" PROVIDED: ?" REQUIRED: 2 PROVIDED: 4 ALLOWED: 100' ACTUAL: SEE PLAN ALLOWED: 300' ACTUAL: SEE PLAN NOT REQUIRED NOT REQUIRED WALL & CEILING: CLASS C' FLOOR: CLASS II
<b>FIRE RATING</b> STRUCTURAL FRAME: BEARING WALLS EXTERIOR: BEARING WALLS INTERIOR: NON-BEARING WALL EXTERIOR: NON-BEARING WALL INTERIOR: NON-BEARING WALL EXTERIOR: NON-BEARING WALL INTERIOR: FLOOR (BETWEEN OCCUPANCIES): ROOF: WALLS (BETWEEN OCCUPANCIES):	0 HR 0 HR (BUILDING SEPARATION GREATER THAN 10') 1 HR (BUILDING SEPARATION LESS THAN 10') 0 HR 0 HR (BUILDING SEPARATION GREATER THAN 10') 1 HR (BUILDING SEPARATION LESS THAN 10') 0 HR 0 HR 0 HR 0 HR

### GENERAL

Sheet Number	Sheet Name
G000	COVERSHEET
G006	FIRST FLOOR PLAN
G007	SITE PLAN
G008	ELEVATIONS

### GENERAL

Sheet Number	Sheet Name
G009	ELEVATIONS
G010	Renderings
G011	Renderings



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CAMP

PROJECT NO

REVISION

DATE

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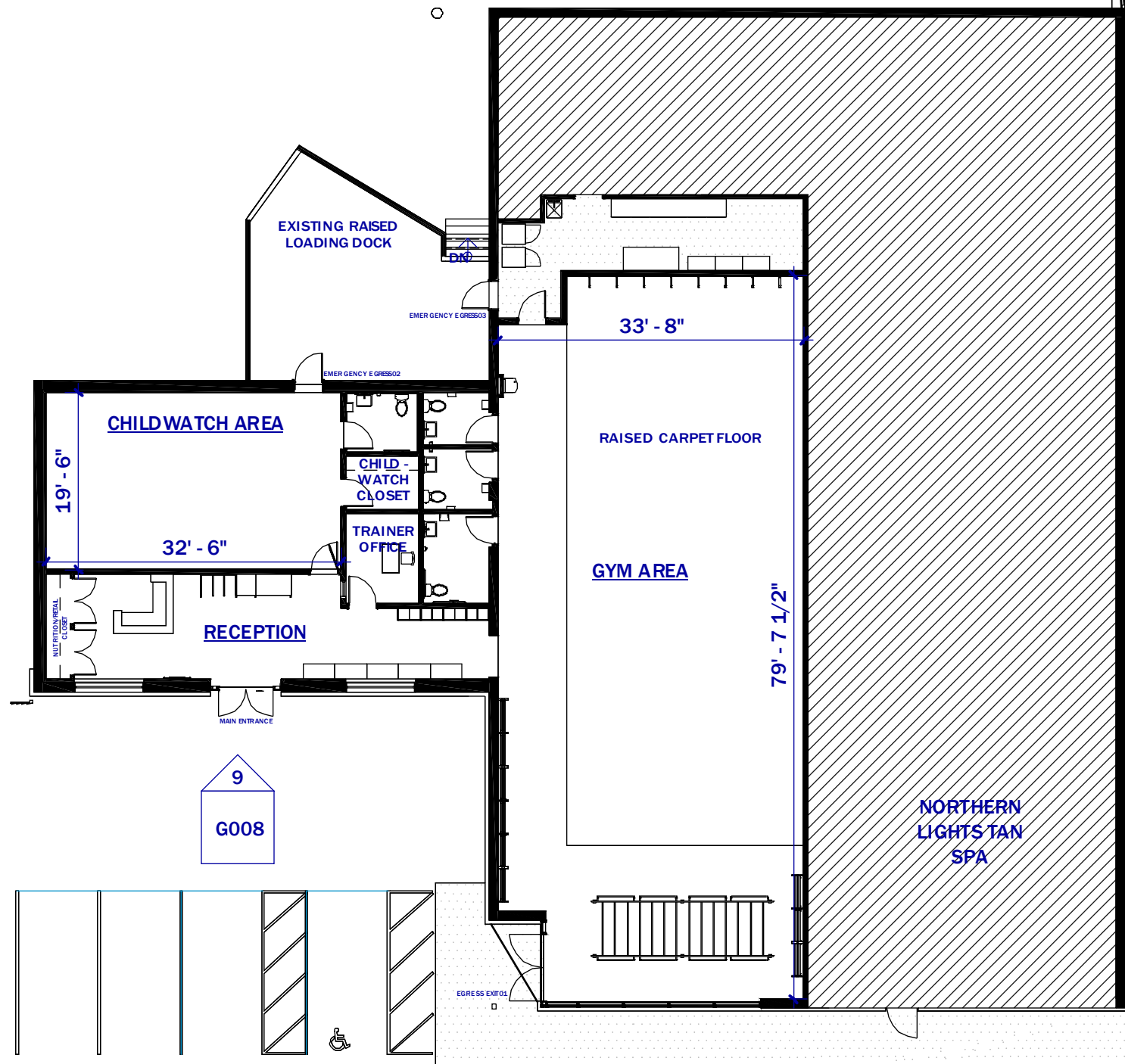
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## CONDITIONAL USE

COVERSHEET

G000



1

# FIRST FLOOR PLAN

SCALE: 1/16" = 1'-0"



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**CONDITIONAL USE**

FIRST FLOOR PLAN

**G006**

# 1

# SITE PLAN

SCALE: 1/32" = 1'-0"

**LOT AREA:** 1.72 ACRES

**ZONING:** B-2 COMMUNITY BUSINESS DISTRICT, CONDITIONAL USE: HEALTH CLUB

**PARKING REQUIREMENTS:**

**BURN BOOT CAMP; RECREATIONAL USE (SEC. 13-1-82-h4)**

71 (MAX CAPACITY)/4 = 17.75 (18)  
 1 PER 2 EMPLOYEES MAX WORKING (6) = 3  
 TOTAL = 21 PARKING SPOTS

**NORTHERN LIGHTS TAN SPA; PERSONAL SERVICES (SEC. 13-1-82-h2)**

4,125 (GROSS FLOOR AREA)/200 = 20.625 (24)  
 1 PER MAX EMPLOYEE LOAD = 3  
 TOTAL = 27 PARKING SPOTS

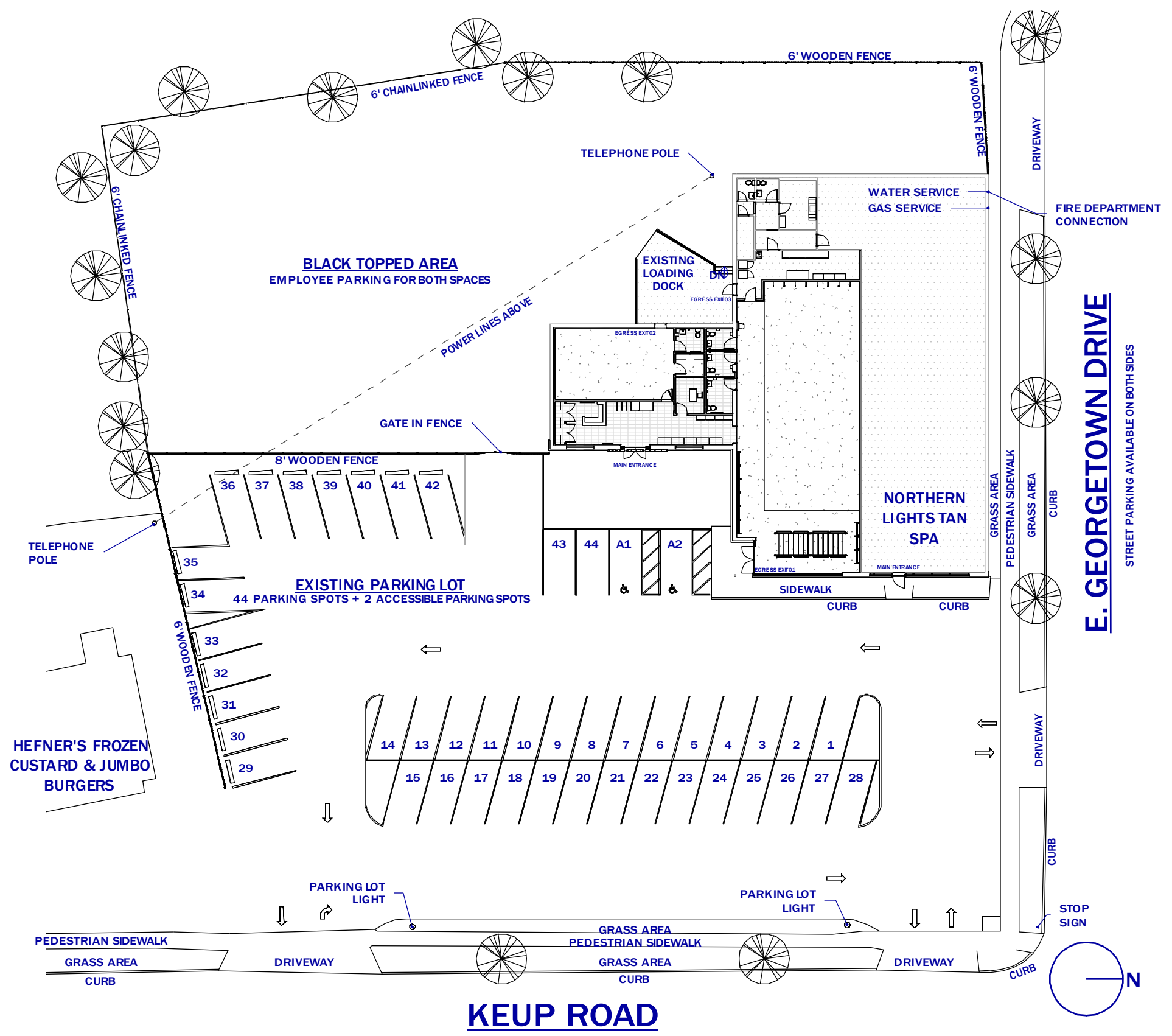
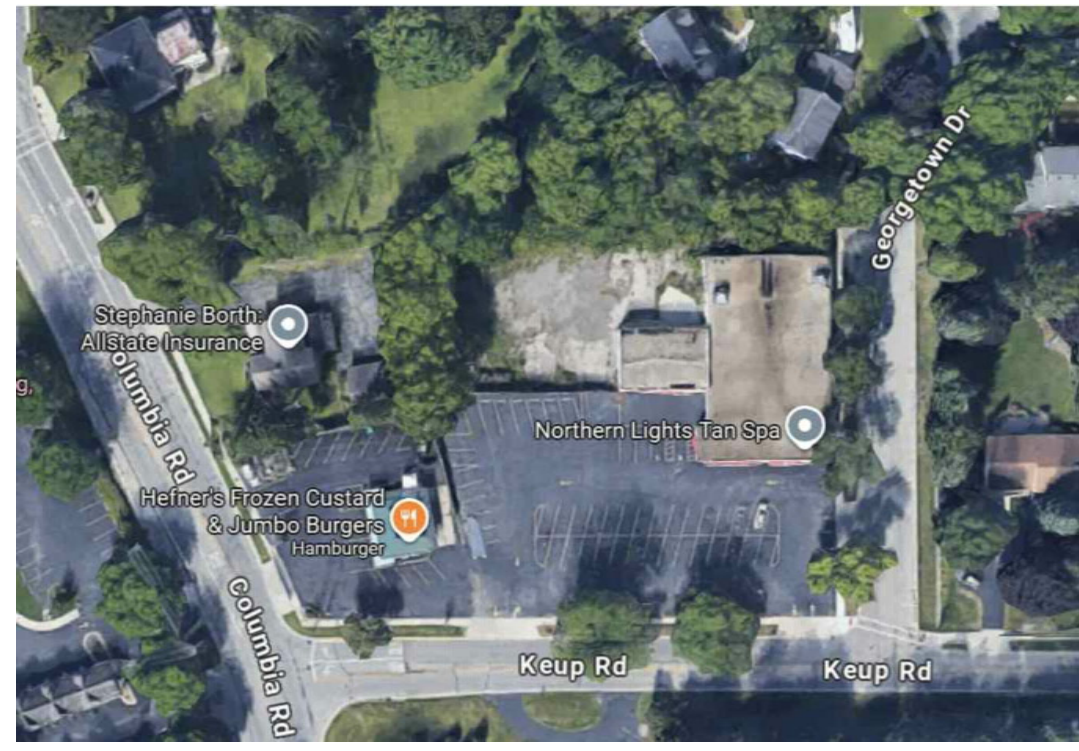
TOTAL SPOTS REQUIRED = 48 PARKING SPOTS

**ACCESSIBLE PARKING:**

1 PER 26-49 SPOTS (SEC. 13-1-82-g1)  
 REQUIRED: 1 PROVIDED: 2

**EXISTING PARKING LOT:**

44 PARKING SPOTS WITH 2 ACCESSIBLE PARKING SPOTS  
 \*EMPLOYEE PARKING BEHIND FENCE/BUILDING\*  
 \*STREET PARKING ON BOTH SIDES OF E. GEORGETOWN DRIVE\*



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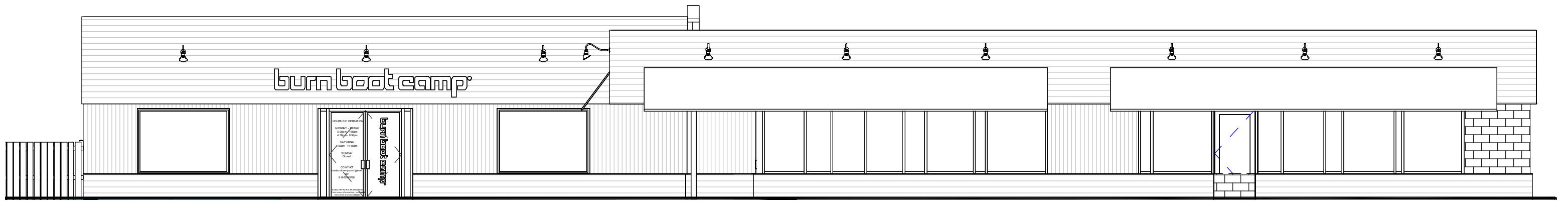
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SITE PLAN

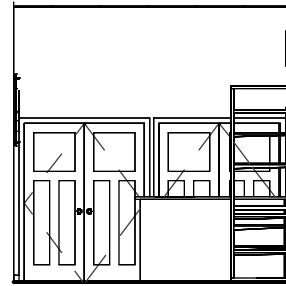
G007



9

# FRONT ELEVATION - NEW

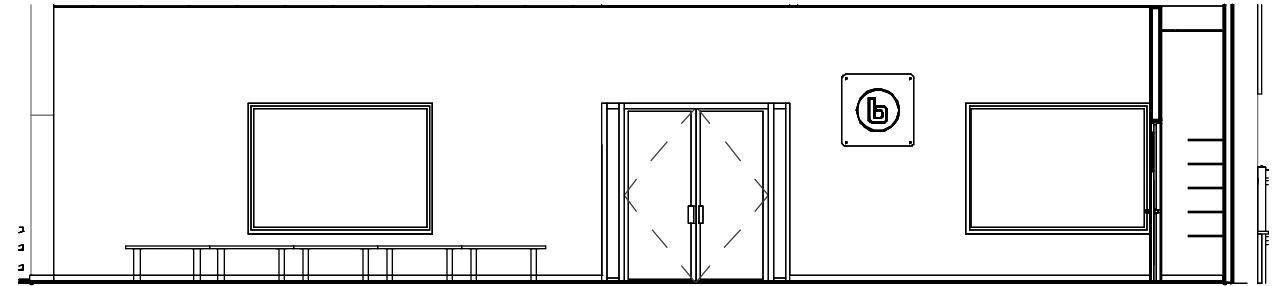
SCALE: 1/8" = 1'-0"



6

## RECEPTION - c

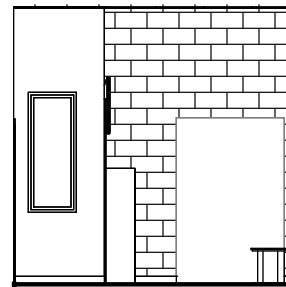
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8

## RECEPTION - a

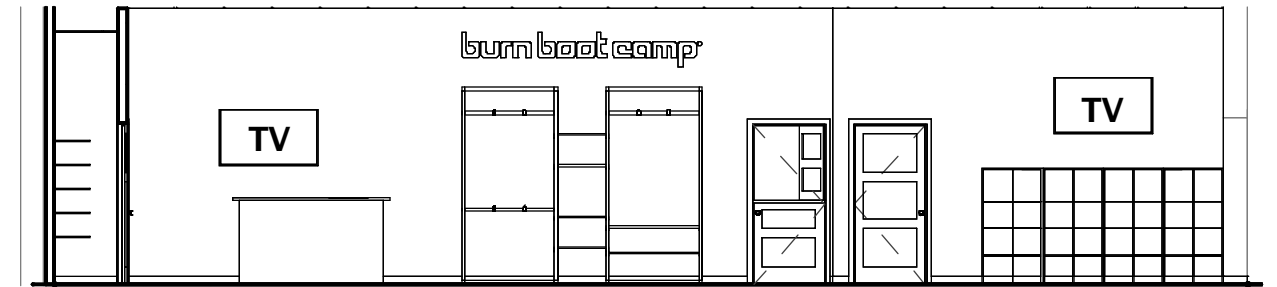
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5

## RECEPTION - d

SCALE: 1/8" = 1'-0"



7

## RECEPTION - b

SCALE: 1/8" = 1'-0"



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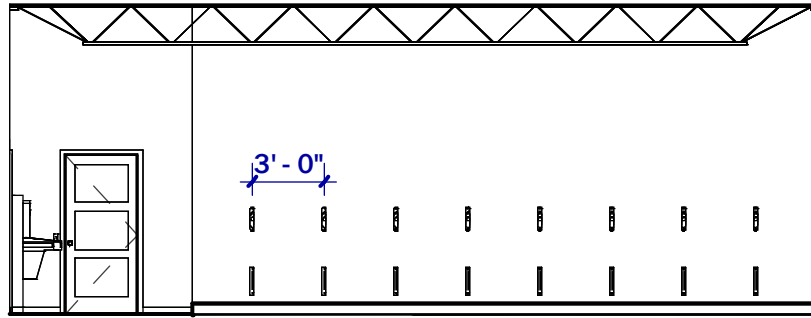
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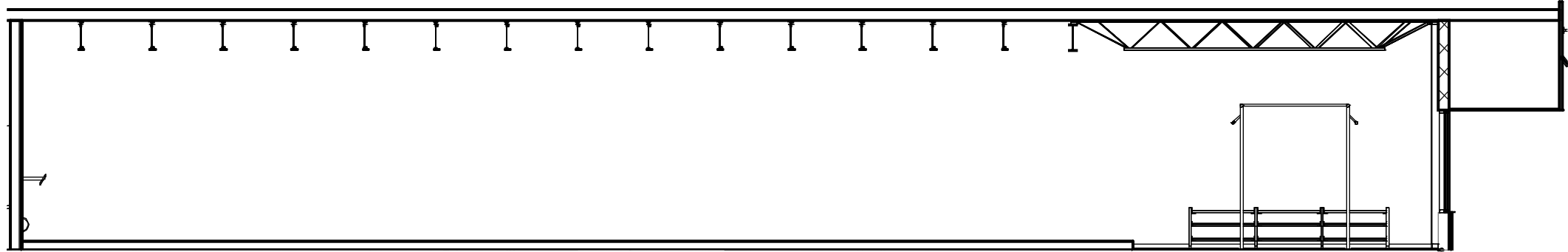
G008



2

**GYM AREA - c**

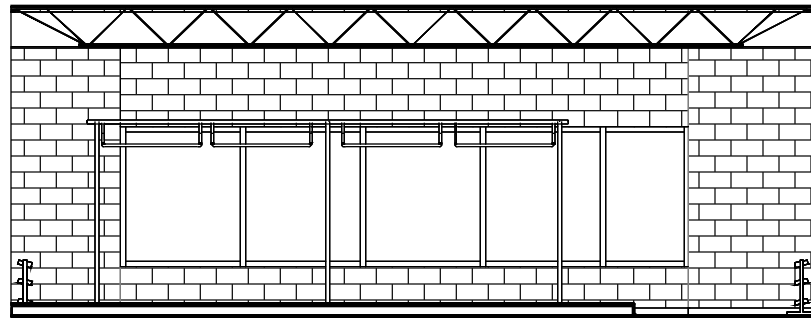
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4

**GYM AREA - a**

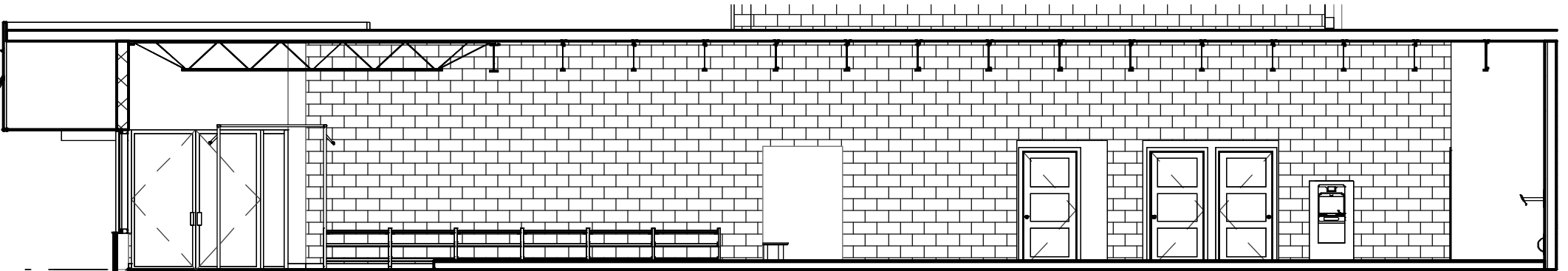
SCALE: 1/8" = 1'-0"



1

**GYM AREA - d**

SCALE: 1/8" = 1'-0"



3

**GYM AREA - b**

SCALE: 1/8" = 1'-0"



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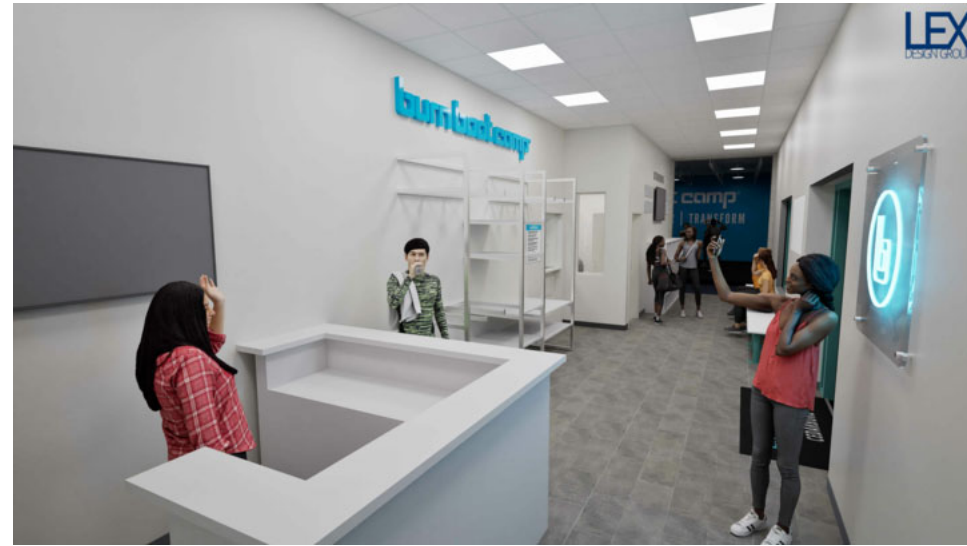
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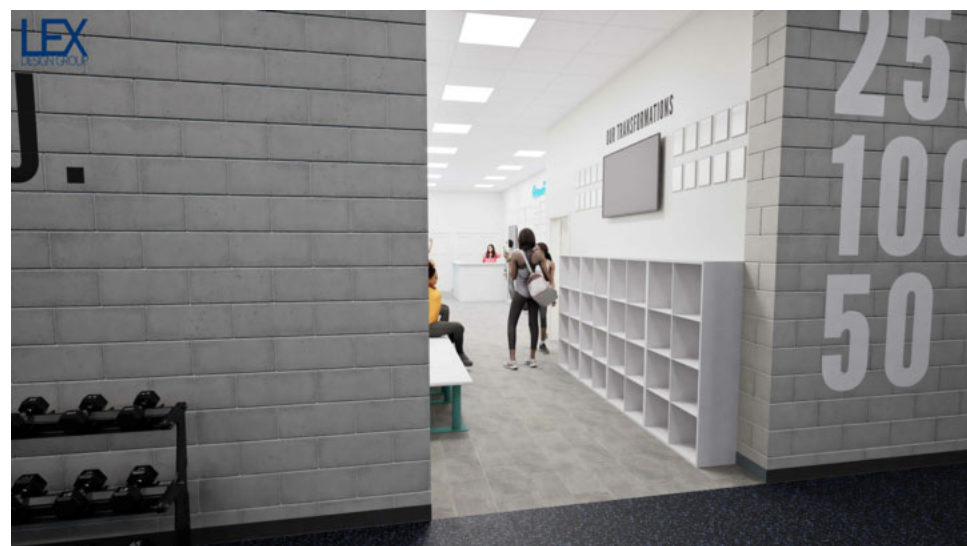
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**CONDITIONAL USE**

Renderings

**G011**

Burn Boot Camp GIS Aerial Map View 2024



## PLANNERS REPORT

To: City of Cedarburg Plan Commission

By: Mary Censky

Date Prepared: December 1, 2025

### General Information:

Agenda Item: **6.C.**

Applicant:

Sally Bretsch

Property Owner:

S Duane Sroebel Jr.

Request:

Approval of tourist rooming house conditional use permit (CUP).

Current Zoning:

B-3 Central Business District w/ HPD Historic Preservation District Overlay

Current Master Plan Classification:

Commercial

Surrounding Zoning/Land Use:

North: B-3/HPD

South: B-3/HPD

East: B-3/HPD

West: B-3/HPD

Lot Size:

~9,583 sq. ft. (i.e., .22 acres)

Location:

W64 N713 Washington Avenue

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### Discussion:

There is an existing two-bedroom upper dwelling unit located in the principal building on this site. The first floor use is occupied by the Chiselled Grape Winery. The applicant, with consent of the property owner, requests permission to utilize this upper dwelling unit as a 'tourist rooming house' (i.e., short-term rental).

Tourist Rooming House is listed as a conditional use that can be considered for approval in the B-3 Central Business District.

A DRAFT of the proposed Conditional Use Permit (CUP) is attached for the Commissions consideration.

**Recommendation:**

The Planner recommends the following conditions be considered for attachment to any approval the Plan Commission is inclined toward granting in this matter:

- 1) Applicant to receive an Occupancy Permit and Room Tax Permit from the City prior to the start of rentals at this location.
- 2) Applicant commits to payment of their ¼'ly room tax payments to the City Treasurer as required pursuant to City of Cedarburg Ordinance #94-39 Room Tax.

<b>DOCUMENT NUMBER</b>	<b>CONDITIONAL USE PERMIT</b> Tourist Rooming House	
Before the Plan Commission of the City of Cedarburg, Ozaukee County, Wisconsin, in regard to the premises at W64 N713 Washington Avenue, located in Section 27, Town 10 North, Range 21 East, Ozaukee County, State of Wisconsin, further described as follows:		
Lot Eight (8), Block One (1), ASSESSOR'S PLAT of the City of Cedarburg, Ozaukee County, Wisconsin.		
		Return to: City Clerk City of Cedarburg W63N645 Washington Avenue PO Box 49 Cedarburg WI 53012-0049

13-050-01-09-000  
Parcel Identification No.

Zoning Classification of the Premises is: B-3 Central Business District w/ HPD Historic Preservation Overlay District  
Mailing Address of the Premises is: W64 N713 Washington Avenue

WHEREAS, a petition has been filed by Sally Bretsch (hereinafter "Permittee") with consent of S Duane Stroebel Jr. (hereinafter "Owner") for the purpose of operating a Tourist Rooming House at W64 N713 Washington Avenue; and

WHEREAS, Tourist Rooming Houses are permitted as a conditional use in Section 13-1-55(e)(20) of Zoning Code; and

WHEREAS, upon careful consideration of information received in this matter, including information received at the public hearing, and in consideration of the particular nature, character and circumstances of the proposed use, and of the specific and contemporary conditions, the City of Cedarburg Plan Commission hereby finds that the proposed use will not be hazardous, harmful, offensive, or otherwise adverse to the environment or the value of the neighborhood or the community, and will be in accordance with the purpose and intent of the City of Cedarburg Zoning Code and the City of Cedarburg Smart Growth Comprehensive Land Use Plan - 2050, provided the conditional use is operated pursuant to the following conditions and in strict conformance therewith.

NOW, THEREFORE, the Plan Commission of the City of Cedarburg held a Public Hearing on December 1, 2025, and approved the issuance of this conditional use permit (hereinafter "CUP") for the premises for the above-stated purposes.

The CUP is subject to initial and continued compliance with the City of Cedarburg Municipal Zoning Code and with the following conditions:

1. This CUP is being issued to Sally Bretsch (Permittee). The CUP shall terminate if and when the Permittee terminates their tenancy at the subject property.
2. The CUP shall not be transferrable to another location.
3. All required Federal, State and Local licenses for Tourist Rooming Houses as regulated under Wisconsin Chapter DHS 195 shall be obtained and maintained.
4. Cedarburg Fire Department will follow the State Licensing Bureau for Rooming Houses, NFPA 1 Section 20.10 and NFPA 101 Life Safety Code.
5. Smoke detectors and carbon monoxide detectors are to be installed and properly maintained.
6. Any Signage proposed to be added to this site in support of the Tourist Rooming House use must first be approved by the Landmarks Commission and City Building Inspector, and a Sign Permit must first be issued.
7. The second floor, two-bedroom dwelling unit in the building, as per Exhibit A (attached hereto and made a part hereof by reference) at W64 N713 Washington Avenue, is approved as a Tourist Rooming House.
8. Outdoor amenities associated with the Tourist Rooming House use at this site shall not include a fire pit(s).
9. Onsite parking in support of, and access to, the Tourist Rooming House use shall be in accordance with Exhibit A.
10. The Property Owner is required to sign below, before a notary, to approve the issuance of this CUP and to indicate their acceptance of the terms and conditions of this CUP.
11. No modifications to the interior or exterior of the building are proposed at this time in support of the Tourist Rooming House use.

- 12. Any future changes to the dwelling unit, site plan, or building exterior not included in the CUP shall require approval by the City as an amendment to this CUP.
- 13. Any substantiated material problems with noise, health, safety, etc. associated with the Tourist Rooming House use at W64 N713 Washington Avenue shall be the responsibility of the Owner to correct. Failure to correct the problem in a timely manner may result in the partial or complete revocation of this Conditional Use Permit.
- 14. Minimum duration of rental period for this dwelling unit as a Tourist Rooming House shall be not less than 1-day.

**SIGNATURES OF PERMITTEE(S) AND PROPERTY OWNERS:**

As **PERMITTEE(S)** of the subject property, I/we approve the issuance of the CUP with the above-described conditions.

\_\_\_\_\_  
Signature Date Signature Date

Sally Bretsch  
Printed Name/Title  
\_\_\_\_\_  
Printed Name/Title

STATE OF WISCONSIN }  
OZAUKEE COUNTY } SS

Personally, came before me this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, the above-named Sally Bretsch and \_\_\_\_\_ to me known to be the person(s) who executed the foregoing instrument and acknowledge the same.

\_\_\_\_\_  
Printed Name  
Notary Public, Ozaukee County, Wisconsin  
My Commission Expires: \_\_\_\_\_

As **PROPERTY OWNER(S)** of the subject property, I/we approve the issuance of the CUP with the above-described conditions.

\_\_\_\_\_  
Signature Date Signature Date

S Duane Stroebel Jr.  
Printed Name/Title  
\_\_\_\_\_  
Printed Name/Title

STATE OF WISCONSIN }  
OZAUKEE COUNTY } SS

Personally came before me this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, the above-named S Duane Stroebel Jr. and \_\_\_\_\_, to me known to be the person(s) who executed the foregoing instrument and acknowledge the same.

\_\_\_\_\_  
Printed Name  
Notary Public, Ozaukee County, Wisconsin  
My Commission Expires: \_\_\_\_\_

**CITY OF CEDARBURG**

On behalf of the City of Cedarburg Plan Commission, I/we do hereby approve the issuance of the CUP with the above-described conditions.

\_\_\_\_\_  
Patricia Thome, Mayor

STATE OF WISCONSIN }  
OZAUKEE COUNTY } SS

Personally came before me this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, the above-named Patricia Thome, to me known to be the person(s) who executed the foregoing instrument and acknowledge the same.

\_\_\_\_\_  
Printed Name  
Notary Public, Ozaukee County, Wisconsin  
My Commission Expires: \_\_\_\_\_

*THIS INSTRUMENT WAS DRAFTED BY:  
Mary Censky, City Planner*

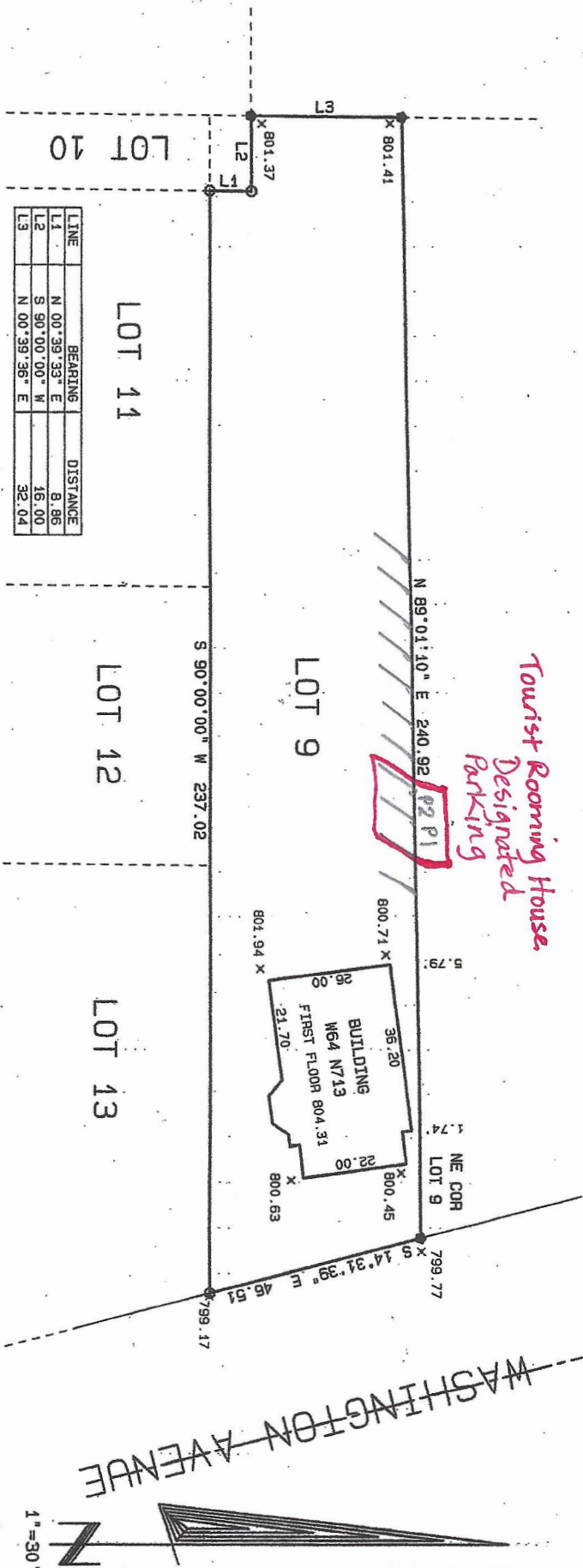
EXHIBIT "A" to Tourist Rooming House  
Conditional Use Permit - Page 1 of 4

D & H LAND SURVEYS LLC  
526 S. 8th STREET  
SHEBOYGAN, WISCONSIN

W64N713 Washington Ave, Cedarburg

FOR DUEY STROEBEL  
BEING PART OF LOT 9, BLOCK 4 OF THE ASSESSOR'S PLAT TO THE CITY OF CEDARBURG,  
BEING PART OF THE NE 1/4 OF SECTION 27, T. 10 N., R. 21 E., CITY OF CEDARBURG,  
DZAUKEE COUNTY, WISCONSIN FURTHERMORE DESCRIBED AS BEGINNING AT THE NORTHEAST  
CORNER OF SAID LOT 9; THENCE S. 14° 31' 39" E., 46.51 FEET; THENCE  
S 90° 00' 00" W., 237.02 FEET; THENCE N 00° 39' 33" E., 8.86 FEET; THENCE  
S 90° 00' 00" W., 16.00 FEET; THENCE N 00° 39' 36" E., 32.04 FEET; THENCE  
N 89° 01' 10" E., 240.92 FEET TO THE POINT OF BEGINNING.

NOTE: 100 YEAR FLOOD ELEVATION 798.0 PER FEMA MAP NO. 55089C0064 D, DATED  
MARCH 18, 1991.



LINE	BEARING	DISTANCE
L1	N 00° 39' 33" E	8.86
L2	S 90° 00' 00" W	16.00
L3	N 00° 39' 36" E	32.04

THIS IS TO CERTIFY THAT THE INFORMATION SHOWN HEREON  
IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

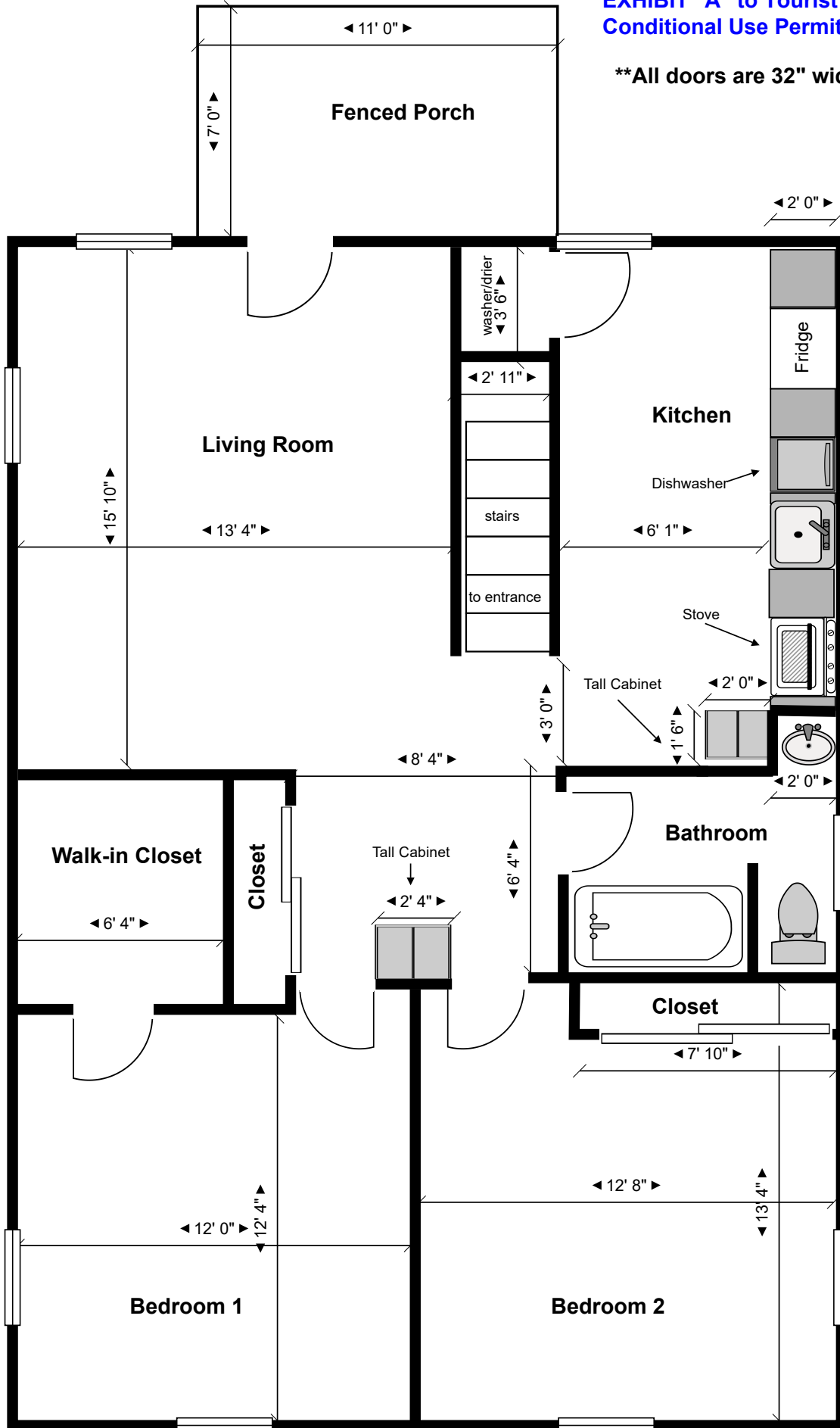
Dennis J Van Stuyves S-1238

Dated this 20th day of Oct, 2004.

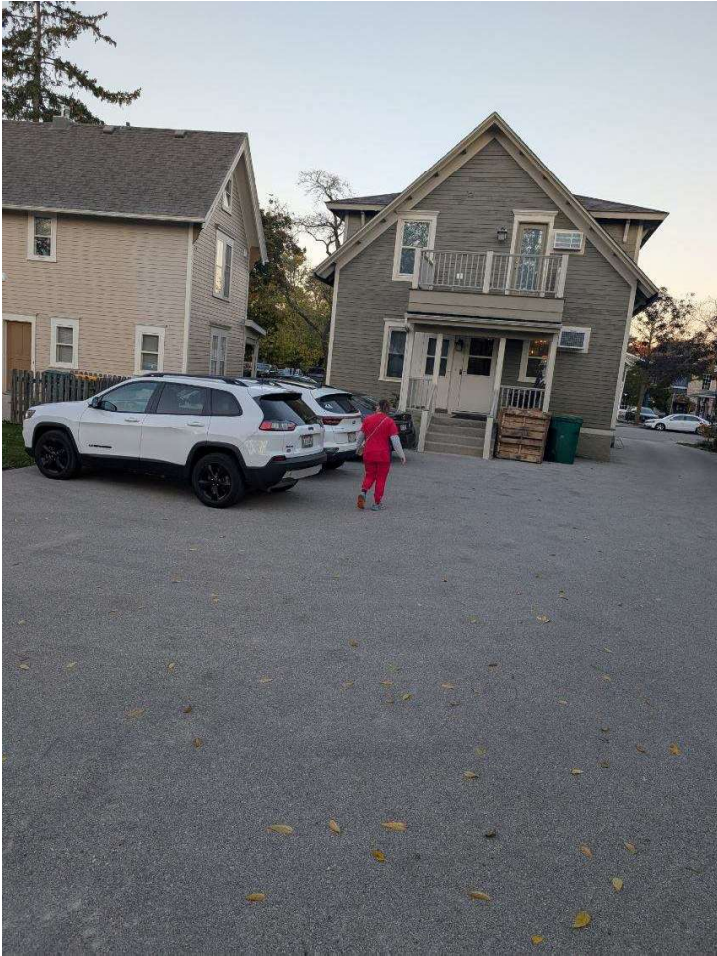
DATA/CDRBURG/FUNERAL/984ASS.MAP/COMPAG L-19, 42E

- = IRON PIPE FOUND
- = IRON PIPE SET
- x = EXISTING ELEVATION

**\*\*All doors are 32" wide**



Entrance to unit is in the back



Back deck (1) – from outside



Back deck (2) – from inside, showing parking



Kitchen



EXHIBIT "A" to Tourist Rooming House Conditional Use Permit Page 4 of 4

Bedroom 1



Bedroom 2



Living Room





**LAND DEVELOPMENT APPLICATION**

PROPERTY LOCATION/ADDRESS: W64N713 A Washington Ave, Cedarburg, WI 53012

APPLICANT/BUSINESSNAME: Chiselled Grape Winery LLC

APPLICANT/BUSINESS ADDRESS: [REDACTED]

STATUS OF APPLICANT:  OWNER  AGENT  BUYER  OTHER \_\_\_\_\_

PHONE: [REDACTED] EMAIL: [REDACTED]

PROPERTY OWNER (IF DIFFERENT): Duey Stroebel

PROPERTY OWNER MAILING ADDRESS: [REDACTED]

PROPERTY OWNER PHONE: [REDACTED] PROPERTY OWNER EMAIL: [REDACTED]

**REQUEST FOR (CHECK ALL THAT APPLY):**

- CONCEPT REVIEW
- SITE/ARCHITECTURAL PLAN APPROVAL
- SUBDIVISION PLAT OR CSM REVIEW
- ZONING DISTRICT CHANGE
- CONDITIONAL USE ZONING
- ANNEXATION REQUEST
- VARIANCE/BOARD OF APPEALS
- OTHER \_\_\_\_\_

DESCRIBE REQUEST: Chiselled Grape Winery is requesting a Tourist Rooming House Permit for the second floor unit of this location.

Chiselled Grape Winery LLC occupies the first floor of this same location. Chiselled Grape wants to offer tourist room housing for our many loyal patrons from Chicago as well as Cedarburg tourists in general. This is a perfect offering to accompany our current business.

PLEASE SUBMIT: **FIVE (5) COPIES OF WRITTEN DESCRIPTION OF PROPOSAL OR REQUEST FOR CITY STAFF REVIEW -PLUS ELECTRONIC FIVE (5) FULL SETS OF SUPPORTING DRAWINGS, SKETCHES OR SURVEY MAPS FOR CITY STAFF REVIEW PLUS ELECTRONIC TEN (10) SETS OF PLANS (11" x 17" MAX) FOR PLAN COMMISSION REVIEW -PLUS ELECTRONIC**

**ELECTRONIC COPIES MAY BE SENT TO [THANAMAN@CITYOCFEDARBURG.WI.GOV](mailto:THANAMAN@CITYOCFEDARBURG.WI.GOV)**

The undersigned certifies that he/she has familiarized themselves with the State and Local codes and procedures pertaining to this application. The undersigned further hereby certifies that the information contained in this application is true and correct. This application shall be signed by the property owner(s).

DocuSigned by: Duey Stroebel DATE: 10/27/2025  
PROPERTY OWNER(S) SIGNATURE: [Signature]

**FOR CITY STAFF USE ONLY**

TOTAL FEE: \$ \_\_\_\_\_ (SEE FEE SCHEDULE ON REVERSE PAGE) DATE FEE PAID: \_\_\_\_\_

APPLICATION AND FEE RECEIVED BY: \_\_\_\_\_ PLAN COMMISSION MEETING DATE: \_\_\_\_\_

ATTACHMENTS (CHECK IF RECEIVED):

- FIVE DESCRIPTIONS
- FIVE FULL-SIZE SETS
- THIRTEEN PLAN SETS

PROPERTY TAX KEY NO/PLAN COMMISSION FILE NO: \_\_\_\_\_

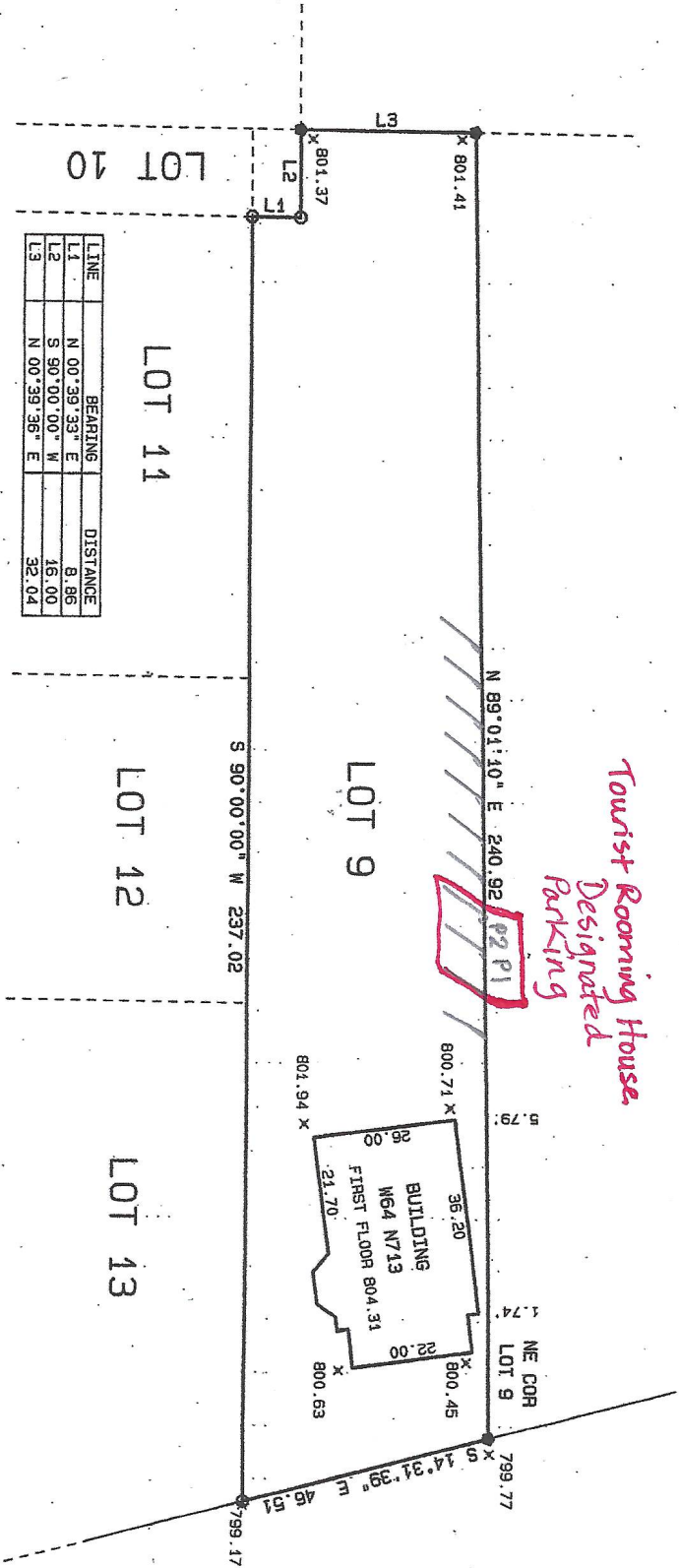
ZONING: \_\_\_\_\_ ALDERMANIC DISTRICT: \_\_\_\_\_ PREVIOUS MEETING: \_\_\_\_\_

W64N713 Washington Ave, Cedarburg

D & H LAND SURVEYS LLC  
 526 S. 8th STREET  
 SHEBOYGAN, WISCONSIN

FOR DUEY STROEBEL  
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*Dennis J Van Stuyvesant*  
 Dennis J Van Stuyvesant S-1238

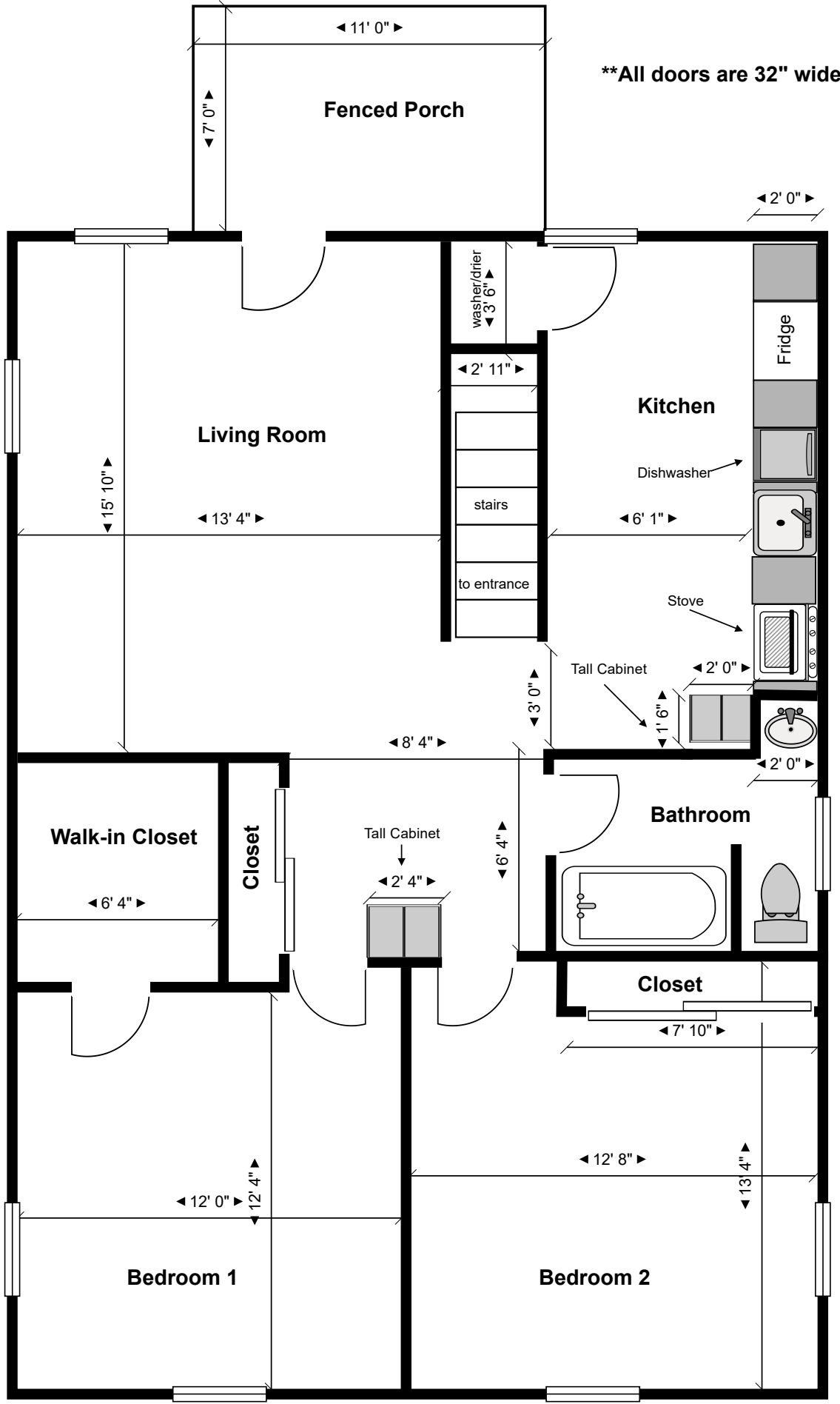
Dated this 20<sup>th</sup> day of Oct 2004.

DATA/CEDARBURG/FUNERAL/L9B4A55.MAP/COMPAG L-19, 42E

● = IRON PIPE FOUND  
 ○ = IRON PIPE SET  
 x = EXISTING ELEVATION

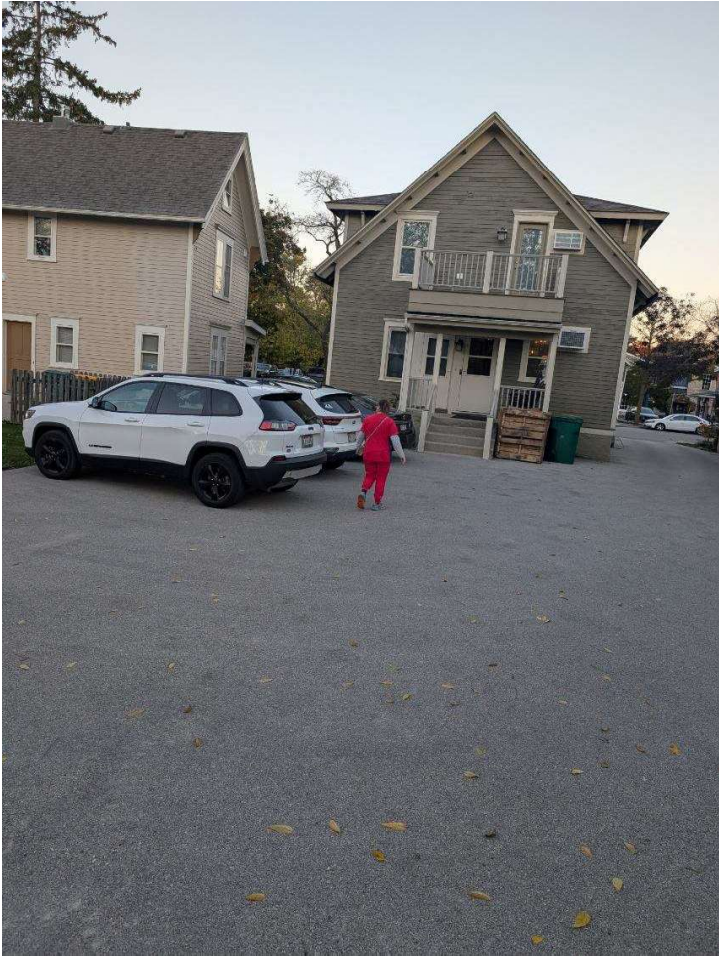


Floor Plan



W64N713 A Washington Ave

Entrance to unit is in the back



Back deck (1) – from outside



Back deck (2) – from inside, showing parking



Kitchen



Bedroom 1



Bedroom 2



Living Room



# Chiseled Grape GIS Aerial Map Image



10/23/2025, 2:08:12 PM

2015 Contour Lines Local Roads

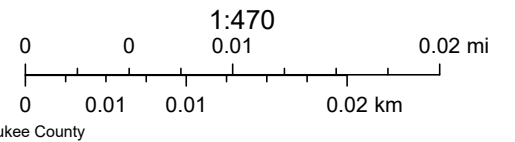
- Index
- Local
- Intermediate
- Historical Parcel Lines

Parcels

- Tax Parcel
- PLSS Townships

□ PLSS Sections

- PLSS Quarter Sections
- Control Survey Diagram





HOTEL/MOTEL/BED & BREAKFAST ROOM TAX ORDINANCE REPORTING FORM

YEAR: \_\_\_\_\_ QUARTER (Circle one): 1st 2nd 3rd 4th

FIRM: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

MAILING ADDRESS: (If different from above) \_\_\_\_\_

CONTACT PERSON: \_\_\_\_\_ PHONE: \_\_\_\_\_

SIGNED: \_\_\_\_\_ DATE: \_\_\_\_\_

DUE LAST DAY OF MONTH FOLLOWING QUARTER BEING REPORTED. UNPAID TAXES BEAR INTEREST AT 12% per annum from due date until 1st day of month following month of payment.

COMPLETE ALL SECTIONS:

- 1. Gross Room Receipts \_\_\_\_\_                      Airbnb/VRBO
  - 2. Deduct non-transient room receipts \_\_\_\_\_
  - 3. Deduct tax exempt \_\_\_\_\_
  - 4. Taxable Room Receipts \_\_\_\_\_
  - 5. Gross Tax: 5% of Line 4 \_\_\_\_\_
  - 6. Less Amount Retained by Owner  
for administration (2% of Line 5) \_\_\_\_\_
  - 7. Net Room Tax to be paid \_\_\_\_\_
  - 8. Delinquent Filing Fee \$10 \_\_\_\_\_
  - 9. Interest at 1% per month of Line 7 \_\_\_\_\_
- Total Tax Due (Line 7 plus Lines 8 & 9) \_\_\_\_\_

CHECKS SHOULD BE MADE PAYABLE TO THE CITY TREASURER AT THE ADDRESS BELOW. COPY OF YOUR STATE SALES TAX REPORT SHOULD ACCOMPANY REPORTING FORM.

QUESTIONS CONCERNING REPORT SHOULD BE DIRECTED TO THE CITY TREASURER'S OFFICE AT 375-7607.



**City of Cedarburg  
Application for Hotel/Motel Room Tax Permit  
City Ordinance #94-39**

Name of Establishment: \_\_\_\_\_  
 Address of Establishment: \_\_\_\_\_  
 Telephone Number: \_\_\_\_\_  
 Fax Number: \_\_\_\_\_  
 Mailing Address: \_\_\_\_\_  
 E-mail Address: \_\_\_\_\_

Legal Organization: Sole Proprietorship \_\_\_\_\_ Wisconsin Seller's Permit Number: \_\_\_\_\_  
 Partnership \_\_\_\_\_ Federal Identification Number: \_\_\_\_\_  
 Corporation \_\_\_\_\_ Date of Opening: \_\_\_\_\_

Local Manager/Agent Name: \_\_\_\_\_  
 Mailing Address: \_\_\_\_\_  
 Telephone Number: \_\_\_\_\_

Number of Rooms in each category		Average Room Rates	
1. One Single Bed:		\$	single occupancy
2. Two Single Beds:		\$	double occupancy
3. One Double, Queen or King Bed:		\$	double occupancy
4. Two Double, Queen or King Beds:		\$	double occupancy

I certify that the information included above is true and correct to the best of my knowledge and belief and that the above-described business is subject to the City of Cedarburg Hotel/Motel Room Tax per City of Cedarburg Ordinance #94-39 Room Tax.

\_\_\_\_\_  
 Print or Type Name of Authorized Agent \_\_\_\_\_  
 Title of Authorized Agent

\_\_\_\_\_  
 Signature of Authorized Agent \_\_\_\_\_  
 Date Completed

Mail to: City Treasurer's Office  
 PO Box 49  
 Cedarburg, WI 53012-0049

# PLANNERS REPORT

**To:** City of Cedarburg Plan Commission

**By:** Mary Censky

**Date Prepared:** December 1, 2025

## General Information:

**Agenda Item:** 7.A.

**Property Owner/Applicant:**

Jo Ann L. Hofhine/ Eric L Hofhine  
(Trustees) of the Duane & Jo Ann  
Hofhine Rev Trus

**Request:**

Recommendation to Common  
Council to approve 2-lot Certified  
Survey Map (CSM).

**Current Zoning:**

Rs-5 Single-Family Residential  
District

**Current Master Plan Classification:**

Medium Density Residential

**Surrounding Zoning/Land Use:**

North: Rs-5 Single-Family

South: Rs-5 Single-Family

East: Rs-5 Single-Family

West: Rs-5 Single-Family

**Lot Size:**

~.49 Acres (~21,258 sq. ft.)

**Location:**

N50 W6678 Western Road

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## Discussion:

This property has an existing home and detached garage on it. The site is large enough that they can split a vacant, Code compliant lot off on the west side of the property, with its frontage and access along Western Road. This division of land would create a serviceable new lot, compliant with the bulk and spatial standards of the Rs-5 Single-Family Residential District (i.e., minimum lot size required is 8,400 sq. ft. and minimum lot width required is 50-feet). The remnant, homestead lot and structures are also fully compliant with the bulk and spatial requirements of the Rs-5 district standards such as with respect to the setbacks, max floor area ratio, max building coverage ratio,...

The survey map reveals that there is an existing “hut” on the property. If the Building Inspector, on examination of the “hut”, finds that it meets the City Code definition of a structure (ref [Section](#)

[13-1-240](#) and/or [Section 15-1-17](#)), then the “hut” must be removed from this site prior to recording the CSM. Accessory structures are not permitted on a lot until a principal structure is first present.

This land division is subject to [Section 6-4-14 of the City Code - Tree Preservation](#). As previously requested by the SARB, the City Forester will be performing a site review and survey to identify any specimen trees which may need to be preserved on the property.

The new, vacant lot to be created by this CSM will meet the definition of an infill lot under the City Code.

**Recommendation:**

On November 18, 2025, the Site and Architectural Review Board (SARB) recommended to the Plan Commission in favor of the applicants plans (see draft SARB minutes excerpt attached).

If the Plan Commission is inclined toward a favorable recommendation to the Common Council in this matter, the Planner recommends the following conditions be considered for attachment to that recommendation:

- 1) A note shall be placed on the face of the CSM informing that the vacant Lot 1 meets the definition of an “Infill Lot” under the City of Cedarburg Code. Therefore, any future plans for construction of a structure on Lot 1 will be subject to prior review and approval of the site and architectural plans by the City of Cedarburg Plan Commission prior to issuance of a building permit.
- 2) All specimen trees field located by the City Forester on Lot 1 of the CSM shall be added to the face of the CSM along with a note stating that the specimen trees are required to be preserved in accordance with [Section 6-4-14 of the City Code of Ordinances](#) and the City’s Tree Preservation Guidelines.



**LAND DEVELOPMENT APPLICATION**

PROPERTY LOCATION/ADDRESS: N50 W6678 Western Rd, Cedarburg WI 53012

APPLICANT/BUSINESSNAME: Jo Ann L. Hofhine / Eric L. Hofhine (Trustee)

APPLICANT/BUSINESS ADDRESS: Self

STATUS OF APPLICANT:  OWNER  AGENT  BUYER  OTHER

PHONE: [REDACTED] EMAIL: [REDACTED]

PROPERTY OWNER (IF DIFFERENT): [REDACTED]

PROPERTY OWNER MAILING ADDRESS: [REDACTED]

PROPERTY OWNER PHONE: [REDACTED] PROPERTY OWNER EMAIL: [REDACTED]

REQUEST FOR (CHECK ALL THAT APPLY):

- CONCEPT REVIEW
- SITE/ARCHITECTURAL PLAN APPROVAL
- SUBDIVISION PLAT OR CSM REVIEW
- ZONING DISTRICT CHANGE
- CONDITIONAL USE ZONING
- ANNEXATION REQUEST
- VARIANCE/BOARD OF APPEALS
- OTHER \_\_\_\_\_

DESCRIBE REQUEST: Approval for land division, West portion of existing lot.

Certified Survey of Lot 1. 8992 Sq. Ft with 75.33 feet of frontage on Western Rd.

PLEASE SUBMIT: FIVE (5) COPIES OF WRITTEN DESCRIPTION OF PROPOSAL OR REQUEST FOR CITY STAFF REVIEW -PLUS ELECTRONIC FIVE (5) FULL SETS OF SUPPORTING DRAWINGS, SKETCHES OR SURVEY MAPS FOR CITY STAFF REVIEW PLUS ELECTRONIC TEN (10) SETS OF PLANS (11" x 17" MAX) FOR PLAN COMMISSION REVIEW -PLUS ELECTRONIC

**ELECTRONIC COPIES MAY BE SENT TO THANAMAN@CITYOFCEDARBURG.WI.GOV**

The undersigned certifies that he/she has familiarized themselves with the State and Local codes and procedures pertaining to this application. The undersigned further hereby certifies that the information contained in this application is true and correct. This application shall be signed by the property owner(s).

PROPERTY OWNER(S) SIGNATURE: Jo Ann L. Hofhine DATE: 10/27/2025

**FOR CITY STAFF USE ONLY**

TOTAL FEE: \$ 300.00 (SEE FEE SCHEDULE ON REVERSE PAGE) DATE FEE PAID: Oct 27-2025

APPLICATION AND FEE RECEIVED BY: Theresa Hanaman PLAN COMMISSION MEETING DATE: 10-1-25 PC  
11-18-25 SARB

ATTACHMENTS (CHECK IF RECEIVED):

- FIVE DESCRIPTIONS
- FIVE FULL-SIZE SETS
- THIRTEEN PLAN SETS

PROPERTY TAX KEY NO./PLAN COMMISSION FILE NO: 13-020-07-13-000

ZONING: R5-5 ALDERMANIC DISTRICT: 3 PREVIOUS MEETING: SARB 8/19/25

**Certified Survey Map No. \_\_\_\_\_**

All of Lot 13 Block 7 in the Assessor's Plat of the City of Cedarburg, being part of the Southwest 1/4 of the Southeast 1/4 of Section 27, Township 10 North, Range 21 East, City of Cedarburg, Ozaukee County, Wisconsin

Lot 12 and Part of Lot 14 Block 7  
Assessor's Plat of Cedarburg

**Surveyor:**

Richard Simon  
Cornerstone Land Surveying, Inc.  
5080 Fairy Chasm  
West Bend, WI 53095  
r1s2698@gmail.com  
(262) 424-5630

Scale 1" = 30'

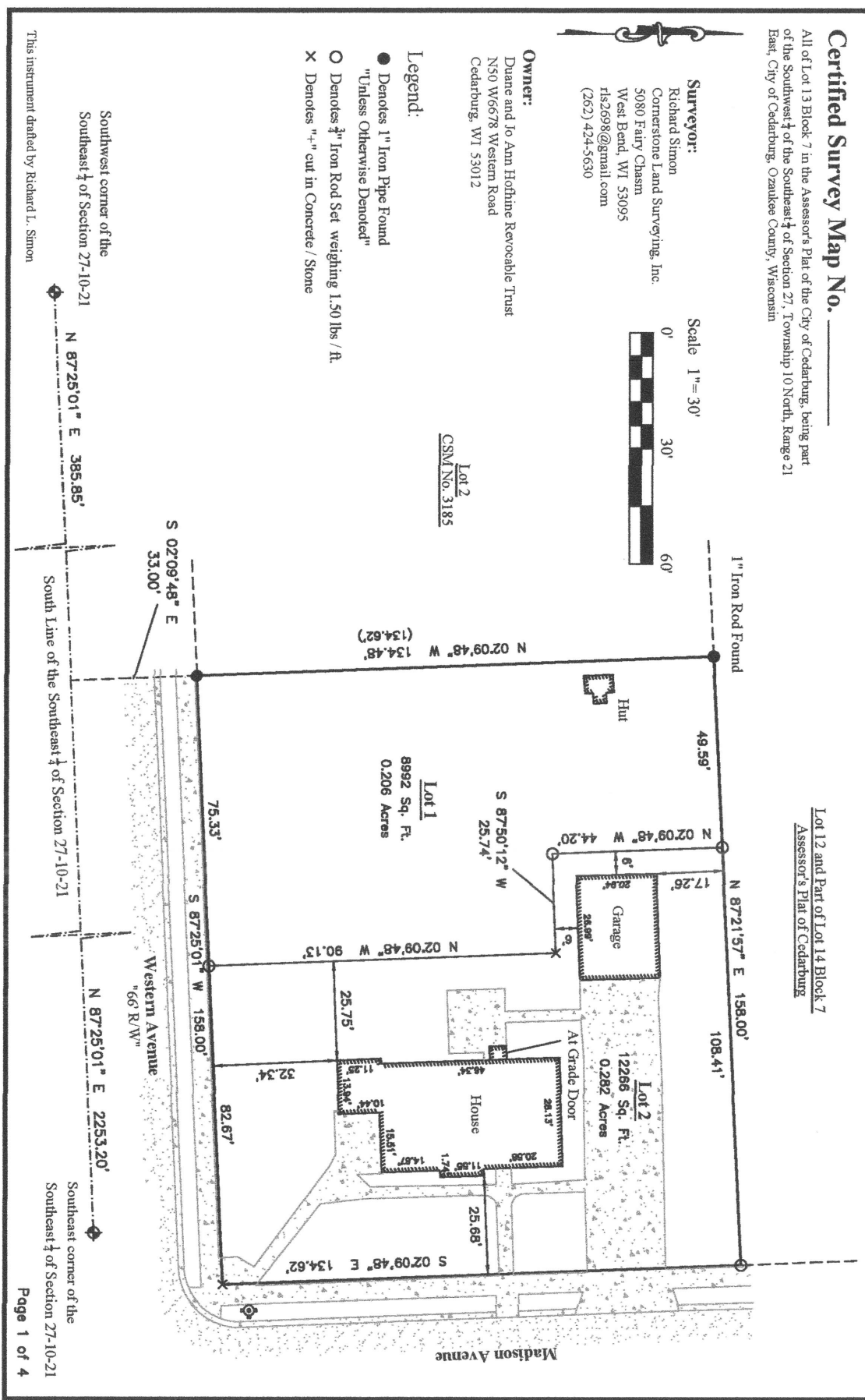


**Owner:**

Duane and Jo Ann Hoffhine Revocable Trust  
N50 W6678 Western Road  
Cedarburg, WI 53012

**Legend:**

- Denotes 1" Iron Pipe Found
- "Unless Otherwise Denoted"
- Denotes 3/4" Iron Rod Set weighing 1.50 lbs / ft.
- × Denotes "+" cut in Concrete / Stone



This instrument drafted by Richard L. Simon

**Certified Survey Map No. \_\_\_\_\_**

All of Lot 13 Block 7 in the Assessor's Plat of the City of Cedarburg, being part of the Southwest  $\frac{1}{4}$  of the Southeast  $\frac{1}{4}$  of Section 27, Township 10 North, Range 21 East, City of Cedarburg, Ozaukee County, Wisconsin

**Surveyor's Certificate**

I, Richard L Simon, Professional Land Surveyor, hereby certify that I have Surveyed:

All of Lot 13 Block 7 in the Assessor's Plat of the City of Cedarburg, being part of the Southwest  $\frac{1}{4}$  of the Southeast  $\frac{1}{4}$  of Section 27, Township 10 North, Range 21 East, City of Cedarburg, Ozaukee County, Wisconsin

**Described as follows:**

All of Lot 13 Block 7 in the Assessor's Plat of the City of Cedarburg, being part of the Southwest  $\frac{1}{4}$  of the Southeast  $\frac{1}{4}$  of Section 27, Township 10 North, Range 21 East, City of Cedarburg, Ozaukee County, Wisconsin.

Said description contains 21258 Sq. Ft or 0.488 Acres

That I have made such survey, division, dedication, and map by the direction of Jo Ann Hofhine.

That this map is a correct representation of all exterior boundaries of the land surveyed and the land division thereof made.

That I have fully complied with provisions of s. 236.34 of the Wisconsin Statutes and the City of Cedarburg in in surveying, dividing, and mapping the same.

Dated this 24th day of October, 2025

Richard L Simon, P.L.S. #2698  
Cornerstone Land Surveying  
5080 Fairy Chasm Road  
West Bend, WI 53095  
262-424-5630

**Notes:**

1) Bearings are referenced to the South Line of the Southeast  $\frac{1}{4}$  of Section 27, Township 10 North, Range 21 East, City of Cedarburg, bearing N 87°25'01" E (State Plane Coordinate System South Zone (NAD 83)).

**Certified Survey Map No. \_\_\_\_\_**

All of Lot 13 Block 7 in the Assessor's Plat of the City of Cedarburg, being part of the Southwest  $\frac{1}{4}$  of the Southeast  $\frac{1}{4}$  of Section 27, Township 10 North, Range 21 East, City of Cedarburg, Ozaukee County, Wisconsin

**Owner's Certificate**

I, Jo Ann Hofhine, Inc. do hereby certify that I caused the land described in the foregoing affidavit of Richard L. Simon, Surveyor, to be surveyed, divided, and mapped as represented on this Certified Survey Map.

WITNESS the hand and seal of said Signer, this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_

\_\_\_\_\_  
Jo Ann Hofhine

State of Wisconsin ) SS  
\_\_\_\_\_ County)

Personally came before me this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_, the above named Jo Ann Hofhine, to me, known to be the person who executed the foregoing instrument and acknowledge the same.

\_\_\_\_\_  
Notary Public  
\_\_\_\_\_ County, State of Wisconsin

My commission expires: \_\_\_\_\_

**Certified Survey Map No. \_\_\_\_\_**

All of Lot 13 Block 7 in the Assessor's Plat of the City of Cedarburg, being part of the Southwest  $\frac{1}{4}$  of the Southeast  $\frac{1}{4}$  of Section 27, Township 10 North, Range 21 East, City of Cedarburg, Ozaukee County, Wisconsin

**City of Cedarburg Planning Commission Approval**

This Certified Survey Map is hereby approved by the Planning Commission of the City of Cedarburg on this

\_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

\_\_\_\_\_  
Patricia Thome, Chairperson Dated

\_\_\_\_\_  
Theresa Hanaman, Secretary Dated

**City of Cedarburg Common Council Approval**

This Certified Survey Map, having been approved by the Planning Commission being the same, is hereby approved and accepted by the City of Cedarburg on this

\_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_

\_\_\_\_\_  
Patricia Thome, Chairperson Dated

\_\_\_\_\_  
Tracie Sette, City Clerk Dated



**Excerpt of DRAFT MINUTES for Site and Architectural Review Board meeting 11-18-25**

**A. Review, discussion, and possible action/recommendation to the Plan Commission on the request of property owners/applicants Jo Ann Hofhine and Eric Hofhine, as Trustees for the Duane and Jo Ann Hofhine Rev Trust, to divide an 8,992 sq. ft. vacant lot off from their existing .49-acre homestead parcel located at N50 W6678 Western Road. This property is zoned Rs-5 Single-Family Residential.**

Planner Censky summarized her written report to the Board. She reported that this division of land would create a serviceable new lot, compliant with the bulk and spatial standards of the Rs-5 Single-Family Residential District and the remnant, homestead lot, and structures will also be fully compliant with the bulk and spatial requirements of the Rs-5 district standards, such as with respect to the setbacks, max floor area ratio, max building coverage ratio,...

There is an existing “hut” accessory structure that may have to be removed before recording the CSM. Section 6-4-14 of the City Code - Tree Preservation will apply to the new lot. The City Forester will schedule a site review and survey to identify any specimen trees that may need to be preserved on the property. The new, vacant lot to be created by this CSM will meet the definition of an infill lot under the City Code.

Board members agreed that when architectural plans are available, they should be fitting to the neighborhood.

**ACTION:** Council member Burkart made a motion, seconded by Architect member Rushing, to recommend approval of this request to the Plan Commission, subject to the following conditions:

- 1) A note shall be placed on the face of the CSM informing that the vacant Lot 1 meets the definition of an “Infill Lot” under the City of Cedarburg Code. Therefore, any future plans for the construction of a structure on Lot 1 will be subject to prior review and approval of the site and architectural plans by the City of Cedarburg Plan Commission prior to issuance of a building permit.
- 2) All specimen trees field located by the City Forester on Lot 1 of the CSM shall be added to the face of the CSM along with a note stating that the specimen trees are required to be preserved in accordance with Section 6-4-14 of the City Code of Ordinances and the City’s Tree Preservation Guidelines.

Motion carried without a negative vote.

# PLANNERS REPORT

To: City of Cedarburg Plan Commission

By: Mary Censky

Date Prepared: December 1, 2025

## General Information:

Agenda Item: **7.B.**

<b>Property Owner:</b>	James Moe and Laura Scott
<b>Applicant:</b>	Sue Thierfelder/Thierfelder Builders, Inc.
<b>Request:</b>	Approval of infill residence site and architectural plans.
<b>Current Zoning:</b>	Rs-5 Single-Family Residential District
<b>Current Master Plan Classification:</b>	Medium Density Residential
<b>Surrounding Zoning/Land Use:</b>	<u>North:</u> Cedar Creek <u>South:</u> Rs-5 Single-Family <u>East:</u> Rs-5 Single-Family <u>West:</u> Rs-5 Single-Family
<b>Lot Size:</b>	~.58 Acres (~25,265 sq. ft.)
<b>Location:</b>	W60 N810 Riveredge Drive

---

## Discussion:

This existing vacant lot meets the City's definition of an infill lot (i.e., a single vacant lot located in a predominately built-up area, which is bounded on two or more sides by existing development). Prior to issuance of a building permit, the site and architectural plans for construction on an infill lot must be reviewed and approved by the Plan Commission, taking into consideration the review and recommendation of the Site and Architectural Review Board.

As presented, this plan complies in all respects with the bulk and spatial requirements of the Rs-5 Single-Family Residential Zoning District, such as setbacks, maximum floor area ratio, maximum lot coverage, minimum home size, and maximum building height, among other things.

The proposed greenhouse accessory structure also complies with respect to permitted size and quantity of accessory structures. Accessory structures are required to be located in the rear yard.

Given the proposed positioning of the home on this lot, the Planner views the greenhouse location as compliant with that requirement.

**Recommendation:**

On November 18, 2025, the Site and Architectural Review Board (SARB) recommended to the Plan Commission in favor of the applicants plans (see draft SARB minutes excerpt attached).

If the Plan Commission is inclined toward an approval in this matter, the Planner recommends the following conditions be considered for attachment thereto:

- 1) Applicant to satisfy any conditions/requirements of the various City Departments in their review of this project, including for instance but not necessarily limited to:
  - a. Try to keep slopes at less than 3:1.
- 2) Issuance of a building permit prior to the start of any site work or construction in support of this project.



**LAND DEVELOPMENT APPLICATION**

PROPERTY LOCATION/ADDRESS: W60N810 Riveredge Drive

APPLICANT/BUSINESSNAME: Thierfelder Builders, Inc.

APPLICANT/BUSINESS ADDRESS: [REDACTED]

STATUS OF APPLICANT:  OWNER  AGENT  BUYER  OTHER builder

PHONE: [REDACTED] EMAIL: [REDACTED]

PROPERTY OWNER (IF DIFFERENT): Jaime and Laura Moe

PROPERTY OWNER MAILING ADDRESS: [REDACTED]

PROPERTY OWNER PHONE: [REDACTED] PROPERTY OWNER EMAIL: [REDACTED]

REQUEST FOR (CHECK ALL THAT APPLY):

- CONCEPT REVIEW
- SITE/ARCHITECTURAL PLAN APPROVAL
- SUBDIVISION PLAT OR CSM REVIEW
- ZONING DISTRICT CHANGE
- CONDITIONAL USE ZONING
- ANNEXATION REQUEST
- VARIANCE/BOARD OF APPEALS
- OTHER \_\_\_\_\_

DESCRIBE REQUEST: new residential home and greenhouse

PLEASE SUBMIT: **FIVE (5) COPIES OF WRITTEN DESCRIPTION OF PROPOSAL OR REQUEST FOR CITY STAFF REVIEW -PLUS ELECTRONIC**  
**FIVE (5) FULL SETS OF SUPPORTING DRAWINGS, SKETCHES OR SURVEY MAPS FOR CITY STAFF REVIEW**  
**PLUS ELECTRONIC**  
**TEN (10) SETS OF PLANS (11" x 17" MAX) FOR PLAN COMMISSION REVIEW -PLUS ELECTRONIC**

2 FULL  
8 11x17

ELECTRONIC COPIES MAY BE SENT TO [THANAMAN@CITYOFCEDARBURG.WI.GOV](mailto:THANAMAN@CITYOFCEDARBURG.WI.GOV)

The undersigned certifies that he/she has familiarized themselves with the State and Local codes and procedures pertaining to this application. The undersigned further hereby certifies that the information contained in this application is true and correct. This application shall be signed by the property owner(s).

PROPERTY OWNER(S) SIGNATURE: Sue Thierfelder DATE: 10.20.2025  
BUILDER Sue Thierfelder

**FOR CITY STAFF USE ONLY**

TOTAL FEE: \$ N/A (SEE FEE SCHEDULE ON REVERSE PAGE) DATE FEE PAID: N/A

APPLICATION AND FEE RECEIVED BY: N/A PLAN COMMISSION MEETING DATE: 12/1/25

ATTACHMENTS (CHECK IF RECEIVED):

- FIVE DESCRIPTIONS
- FIVE FULL-SIZE SETS
- THIRTEEN PLAN SETS

PROPERTY TAX KEY NO/PLAN COMMISSION FILE NO: 13-050-05-01-000 W60N810 Riveredge Drive

ZONING: Rs-5 Single Family Residential ALDERMANIC DISTRICT: 6 PREVIOUS MEETING: \_\_\_\_\_



FRONT ELEVATION - B  
SCALE: 1/4" = 1'-0"



LEFT ELEVATION  
SCALE: 1/4" = 1'-0"

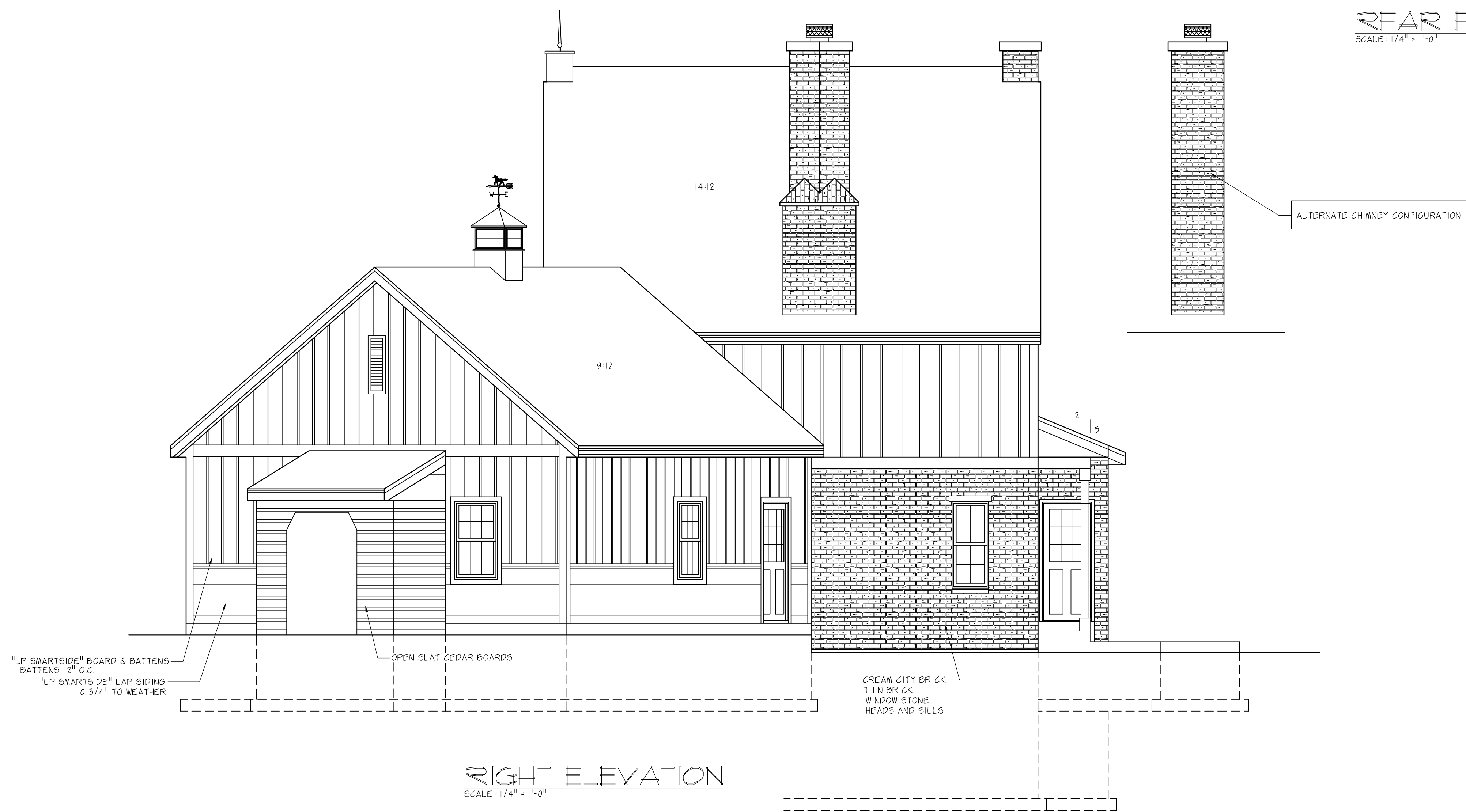
PROJECT  
MOE 2  
NEW RESIDENCE FOR:  
LAURA & JAMIE MOE

NEW HORIZON  
VENTURES, L.L.C.  
ARCHITECTS/PLANNERS  
P.O. BOX 202, CRAFTON, WI 53024  
<http://www.nhv-arch.com/>  
262-377-7730 or 262-375-2397

JOB NUMBER MCE-3578-325	DATE 5/30/2025	REVISIONS
SHEET 01	CHECKED BY D-6	DRAWN BY D-6

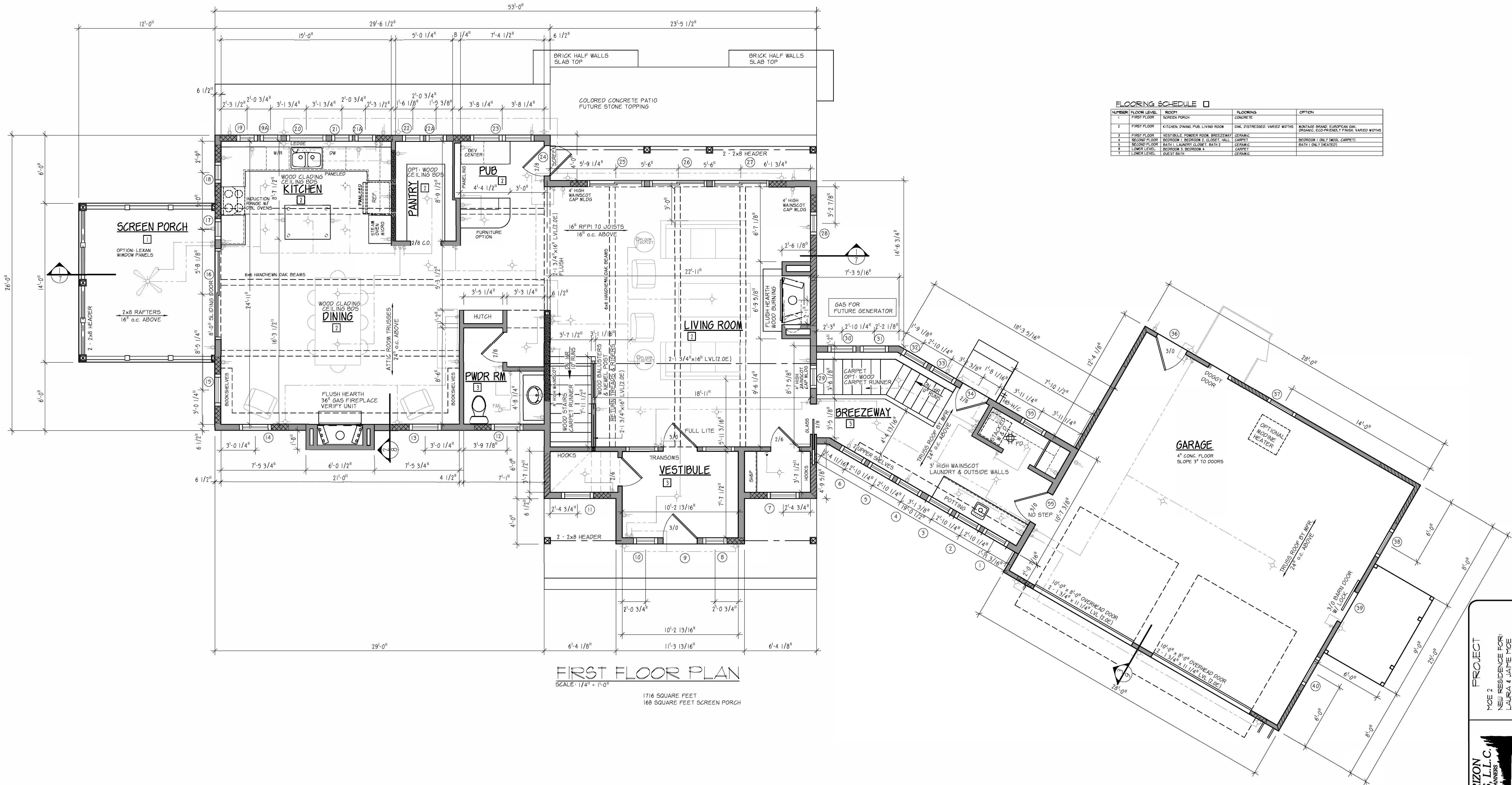


REAR ELEVATION  
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION  
SCALE: 1/4" = 1'-0"

<b>PROJECT</b> MCE 2 NEW RESIDENCE FOR LAURA & JAIME MCE	
<b>NEW HORIZON VENTURES, L.L.C.</b> ARCHITECTS/PLANNERS P.O. BOX 292, GRAFTON, WI 53024 <a href="http://www.nhv-arch.com/">http://www.nhv-arch.com/</a> 262-377-4730 or 262-375-2397	
<b>JOB NUMBER</b> MCE-3576-325	<b>DATE</b> 5/30/2025
<b>REVISIONS</b>	
<b>SHEET</b> 02 OF 03	<b>CHECKED BY:</b> D.S.
<b>DRAWN BY:</b> D.S.	



**FLOORING SCHEDULE**

NUMBER	FLOOR LEVEL	ROOM	FLOORING	OPTION
1	FIRST FLOOR	SCREEN PORCH	CONCRETE	
2	FIRST FLOOR	KITCHEN, DINING, PUB, LIVING ROOM	ONX DISTRESSED VARED WPTG	BOATLAGE BRAND EUROPEAN ONX ORGANIC ECO-FRIENDLY FINISH VARED WPTG
3	FIRST FLOOR	VESTIBULE, POWDER ROOM, BREEZEWAY	CERAMIC	BEDROOM 1 ONLY (WOOL CARPET)
4	SECOND FLOOR	BEDROOM 1, BEDROOM 2, CLOSET, HALL	CARPET	BATH 1 ONLY (WOOL CARPET)
5	SECOND FLOOR	BATH 1, LAUNDRY CLOSET, BATH 2	CERAMIC	BATH 2 ONLY (HEATED)
6	LOWER LEVEL	BEDROOM 3, BEDROOM 4	CARPET	
7	LOWER LEVEL	GUEST BATH	CERAMIC	

**FIRST FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"  
 1716 SQUARE FEET  
 168 SQUARE FEET SCREEN PORCH

**NOTE:**  
 SEE WINDOW SCHEDULE SHEET 9

**BRACED WALL PANEL SUPPORT:**  
 BRACED WALL PANELS SHALL BE SUPPORTED ON FLOOR FRAMING OR FOUNDATIONS AS FOLLOWS:  
 1. PROVIDE BLOCKING WHERE JOISTS ARE PERPENDICULAR TO BRACED WALL LINES.  
 2. PROVIDE A RIM JOIST OR OTHER FRAMING MEMBER WHERE JOISTS ARE PARALLEL TO BRACE WALL LINES.

**WALL BRACING KEY**

	3/8" - 4/8" (8" WALL HT) OR 4" - 4/8" (9" WALL HT) WOOD STRUCTURAL PANEL SHEATHING OR 1/2" STRUCTURAL FIBERBOARD SHEATHING PER TABLE 21.25-G
	4/8" OF GYPSUM WALLBOARD (BOTH SIDES)
	SHEATHED 6:1 ASPECT RATIO W/ EXTENDED HEADERS [SEE DETAIL SHT 9]

**PROJECT**  
 MCE 2  
 NEW RESIDENCE FOR:  
 LAURA & JAYME MCE

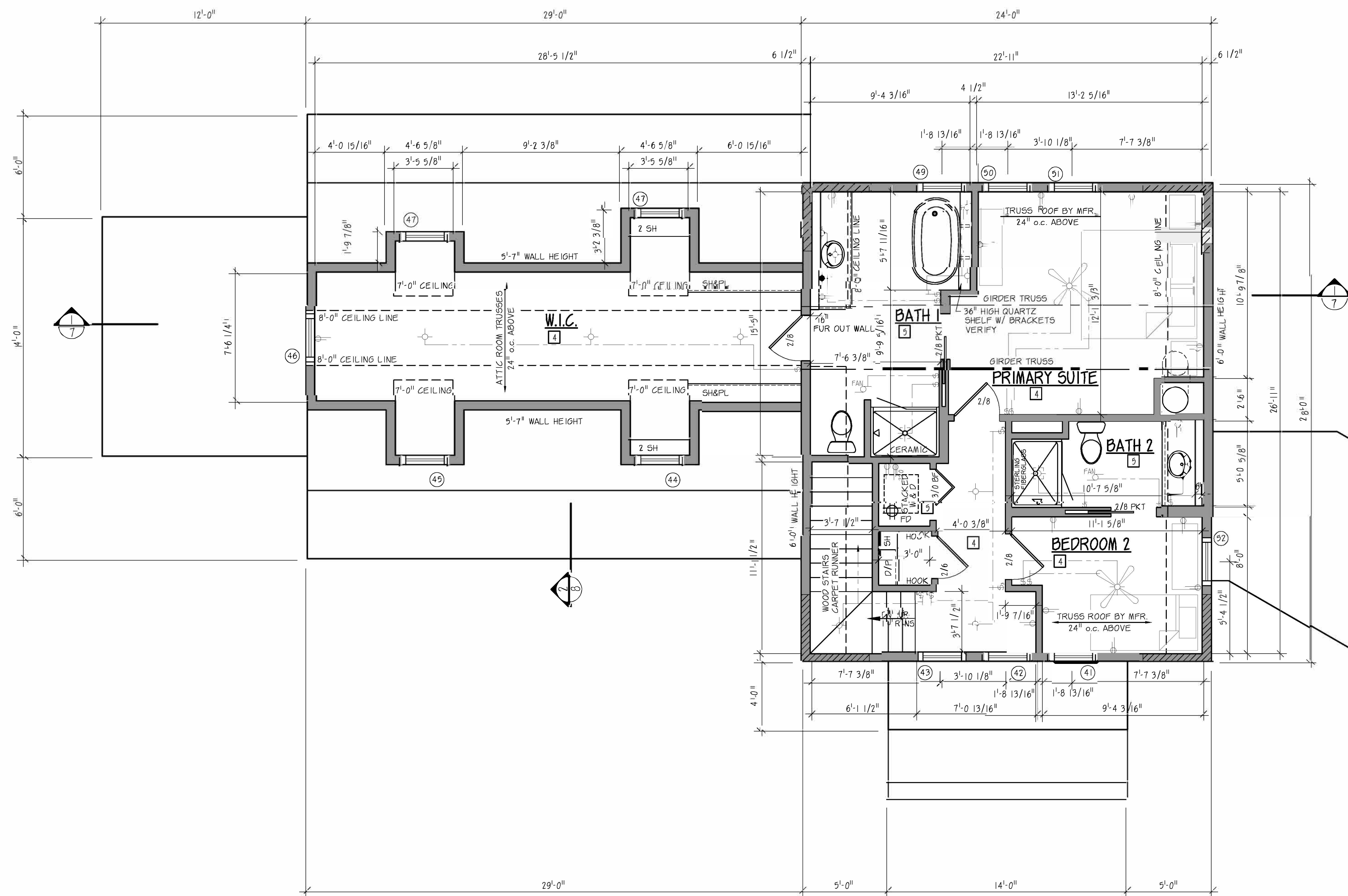
**NEW HORIZON VENTURES, L.L.C.**  
 ARCHITECTS/PLANNERS  
 P.O. BOX 992, CRAFTON, WI 53024  
 http://www.nhv-arch.com/ 262-377-2130 or 262-375-2397

**JOB NUMBER:** MCE-3578-325  
**DATE:** 5/30/2025  
**REVISIONS:**

**SHEET:** R/W  
**CHECKED BY:** D.S.  
**DRAWN BY:** D.S.

FLOORING SCHEDULE □

NUMBER	FLOOR LEVEL	ROOM	FLOORING	OPTION
1	FIRST FLOOR	KITCHEN DINING PUB LIVING ROOM	CONCRETE	
2	FIRST FLOOR	KITCHEN DINING PUB LIVING ROOM	OSK. DISTRESSED VARNISHED WOTHS	MONTAGE BRAND EUROPEAN OAK
3	FIRST FLOOR	VESTIBULE PORCH ROOM BREAKFAST	CERAMIC	ORGANIC ECO-FRIENDLY FINISH VARNISHED WOTHS
4	SECOND FLOOR	BEDROOM 1 BEDROOM 2 CLOSET WALL	CARPET	BEDROOM 1 ONLY WOOL CARPET 1
5	SECOND FLOOR	BATH 1 HALLWAY CLOSET BATH 2	CERAMIC	BATH 1 ONLY HEATED
6	LOWER LEVEL	BEDROOM 3 BEDROOM 4	CARPET	
7	LOWER LEVEL	GUEST BATH	CERAMIC	



SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"

973 SQUARE FEET

NOTE:  
SEE WINDOW SCHEDULE SHEET 9

WALL BRACING KEY	
	36" - 48" (8' WALL HT) OR 42" - 48" (9' WALL HT) WOOD STRUCTURAL PANEL SHEATHING OR 1/2" STRUCTURAL FIBERBOARD SHEATHING PER TABLE 21.25-G
	48" OF GYPSUM WALLBOARD (BOTH SIDES)
	SHEATHED 6:1 ASPECT RATIO W/ EXTENDED HEADERS [SEE DETAIL SHT 9]

PROJECT  
MCE 2  
NEW RESIDENCE FOR:  
LAURA & JAYME MOE

NEW HORIZON  
VENTURES, L.L.C.  
ARCHITECTS/PLANNERS

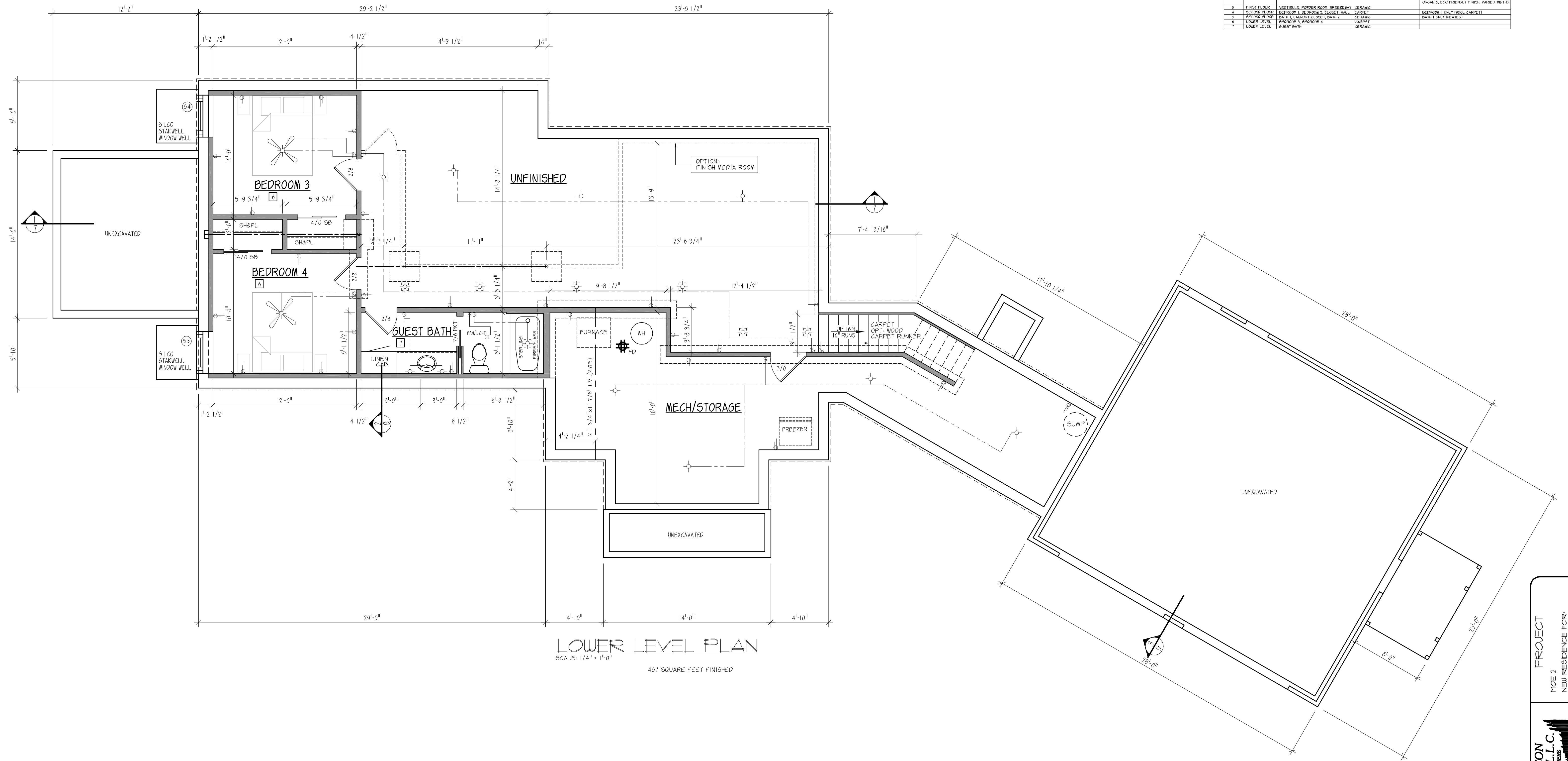
P.O. BOX 992, GRAFTON, WI 53024  
http://www.nhv-arch.com/  
262-377-4730 or 262-375-2397

JOB NUMBER: MCE-3516-375  
DATE: 5/30/2015  
REVISIONS:

SHEET: 4  
CHECKED BY: D.S.  
DRAWN BY: D.S.

FLOORING SCHEDULE □

NUMBER	FLOOR LEVEL	ROOM	FLOORING	OPTION
1	FIRST FLOOR	SCREEN PORCH	CONCRETE	
2	FIRST FLOOR	KITCHEN, DINING, PUB, LIVING ROOM	OAK, DISTRESSED, VARIOUS WIDTHS	MONTEAGUE BRASS, EUROPEAN OAK, ORGANIC, ECO FRIENDLY FINISH, VARIOUS WIDTHS
3	FIRST FLOOR	VESTIBULE, POWDER ROOM, BREAKFAST	CERAMIC	
4	SECOND FLOOR	BEDROOM 1, BEDROOM 2, CLOSET, HALL	CARPET	BEDROOM 1 ONLY (WOOL CARPET)
5	SECOND FLOOR	BATH 1, LAUNDRY, CLOSET, BATH 2	CERAMIC	
6	LOWER LEVEL	BEDROOM 3, BEDROOM 4	CARPET	BATH 1 (W/L HEATED)
7	LOWER LEVEL	GUEST BATH	CERAMIC	



LOWER LEVEL PLAN

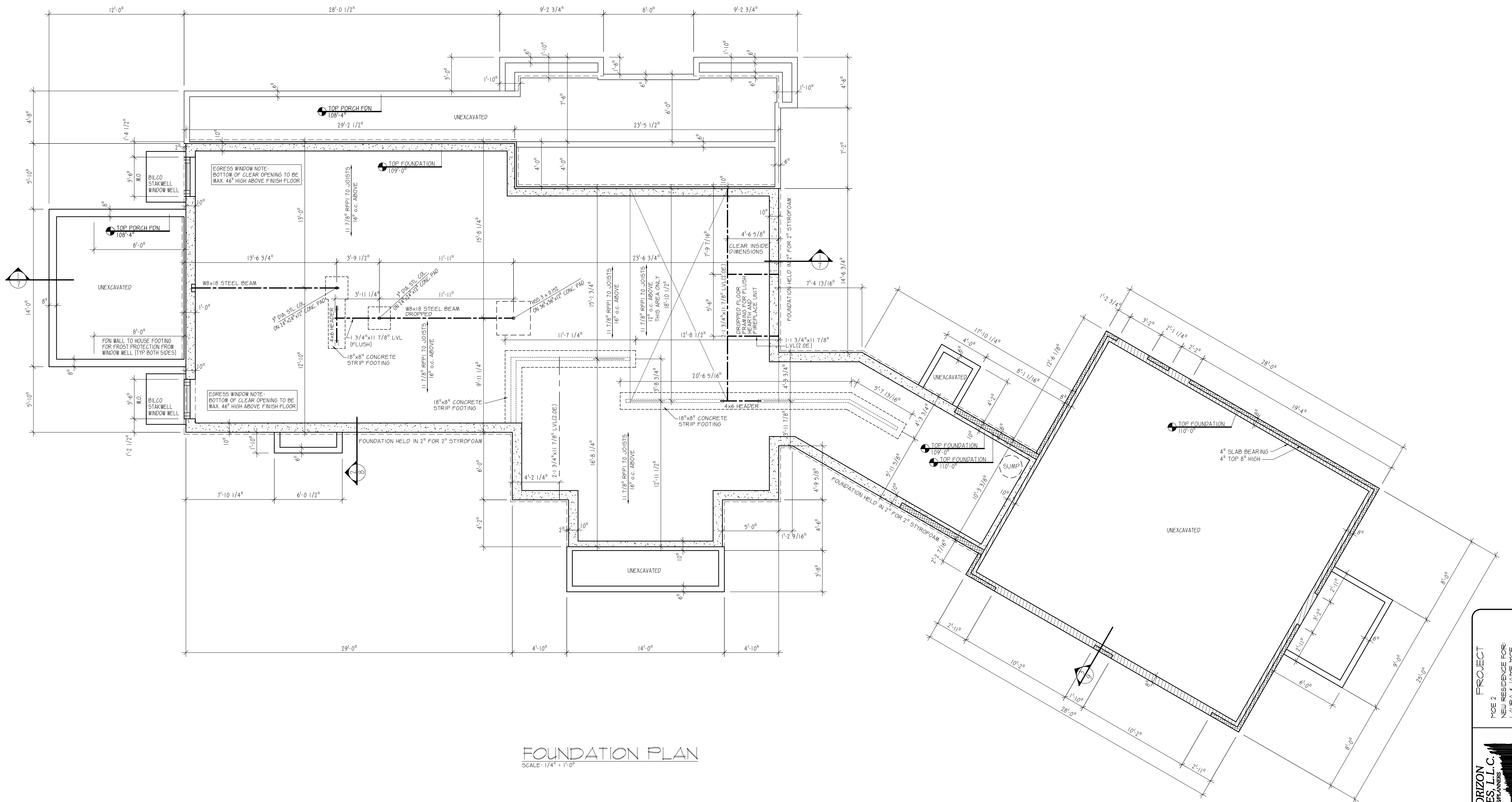
SCALE: 1/4" = 1'-0"  
457 SQUARE FEET FINISHED

**PROJECT**  
MCE 2  
NEW RESIDENCE FOR  
LAURA & JAIME MCE

**NEW HORIZON VENTURES, L.L.C.**  
ARCHITECTS/PLANNERS  
P.O. BOX 292, GRAFTON, WI 53024  
http://www.nh-vrch.com/ 262-377-4730 or 262-375-2397

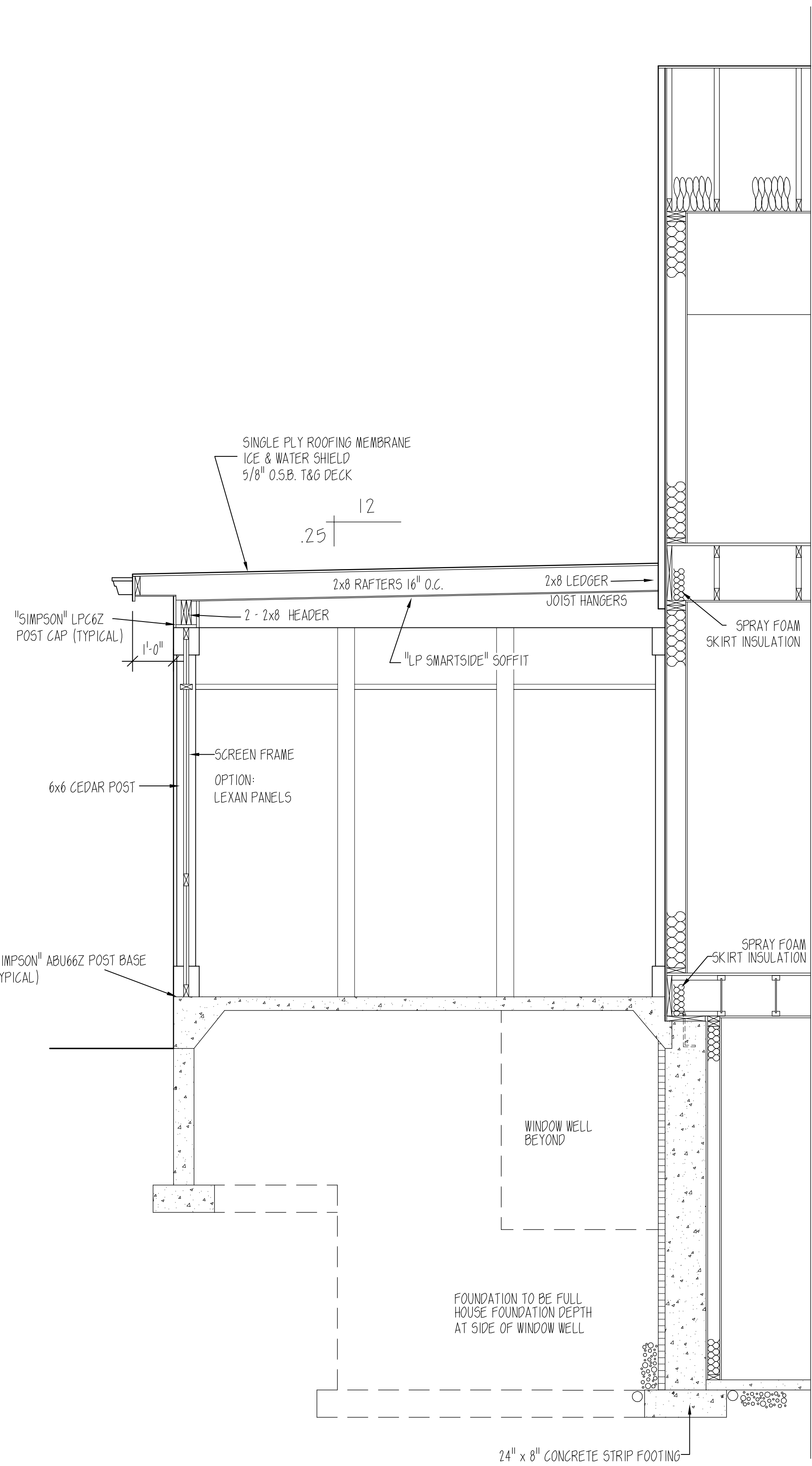
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**DATE:** 5/30/2025  
**REVISIONS:**

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**DRAWN BY:** D.S.

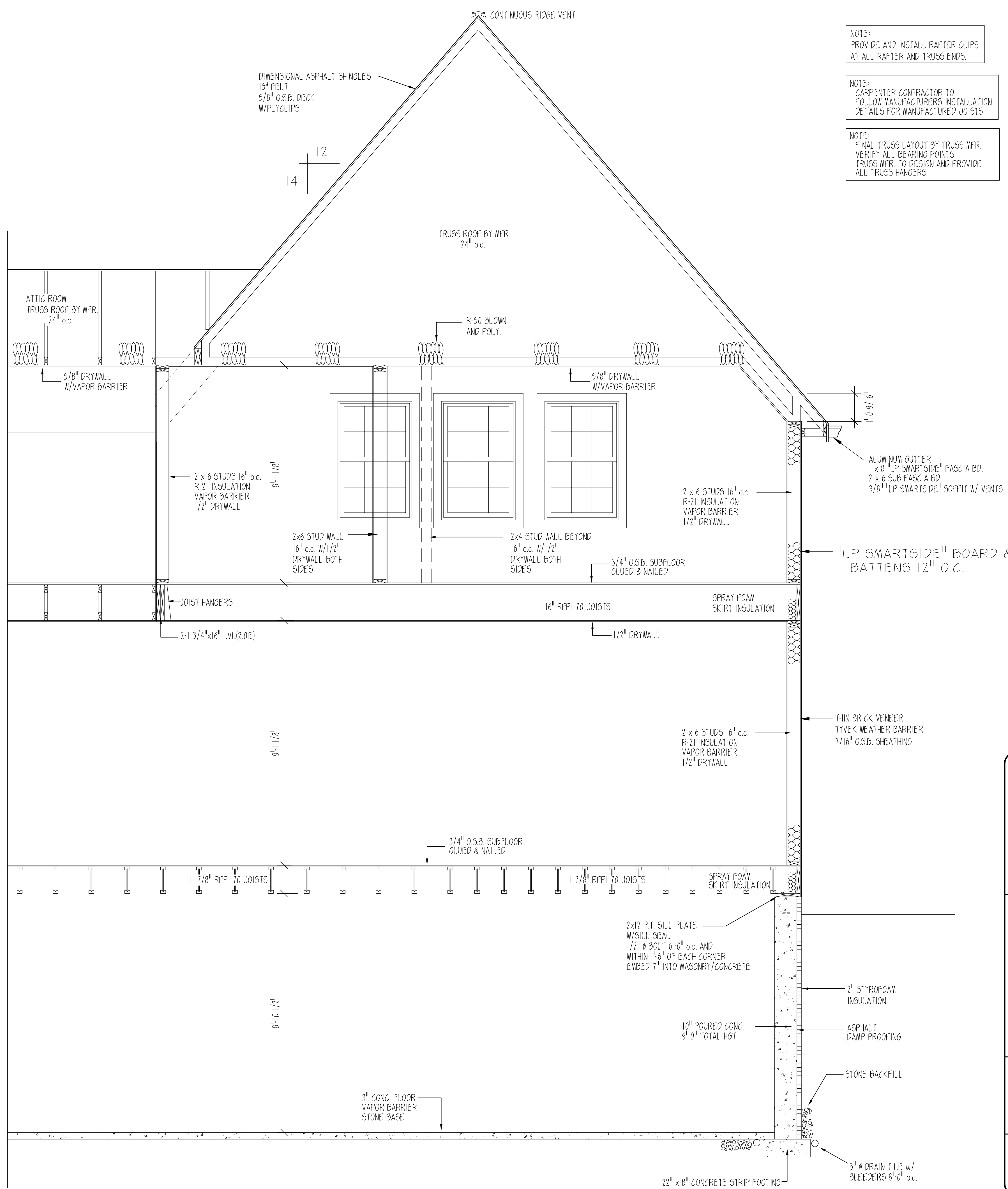


FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"

	<b>PROJECT</b> MCE 2 NEW RESIDENCE FOR LAURA & JAMIE MCE
	<b>JOB NUMBER</b> MCE-3576-325 <b>DATE</b> 5/30/2025 <b>REVISIONS</b>
<b>SHEET</b> 08	<b>CHECKED BY:</b> D.S. <b>DRAWN BY:</b> D.S.
<b>NEW HORIZON VENTURES, L.L.C.</b> ARCHITECTS/PLANNERS P.O. BOX 292, GRAFTON, WI 53024 <a href="http://www.nhv-arch.com/">http://www.nhv-arch.com/</a> 262-377-4730 or 262-375-2397	



**SECTION 1**  
SCALE: 1/2" = 1'-0"



NOTE:  
PROVIDE AND INSTALL RAFTER CLIPS  
AT ALL RAFTER AND TRUSS ENDS.

NOTE:  
CARPENTER CONTRACTOR TO  
FOLLOW MANUFACTURERS INSTALLATION  
DETAILS FOR MANUFACTURED JOISTS

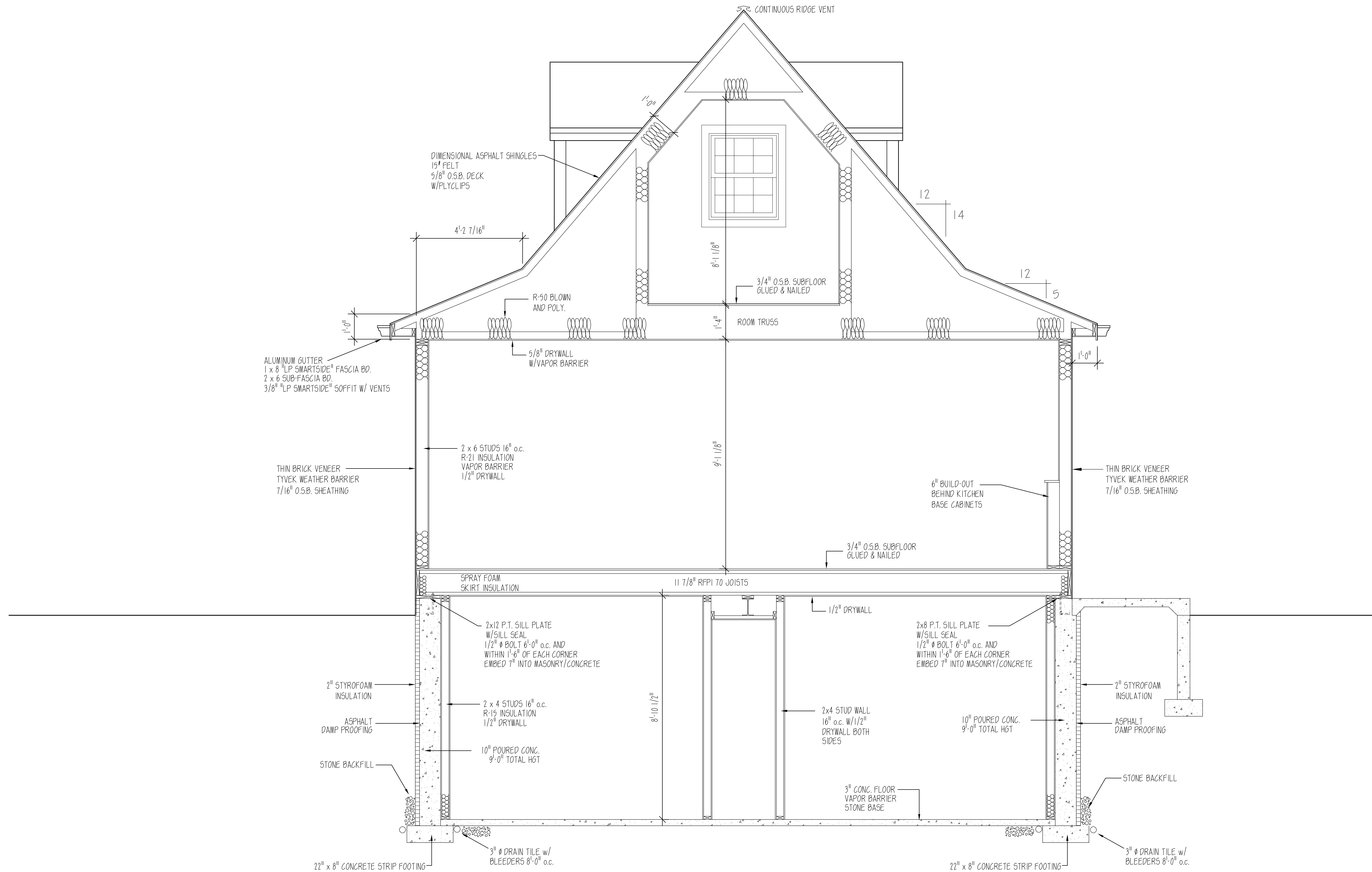
NOTE:  
FINAL TRUSS LAYOUT BY TRUSS MFR.  
VERIFY ALL BEARING POINTS  
TRUSS MFR. TO DESIGN AND PROVIDE  
ALL TRUSS HANGERS

PROJECT	
MCE 2 NEW RESIDENCE FOR LAURA & JAYME MCE	
P.O. BOX 292, CRAFTON, WI 53024 http://www.nhv-arch.com/ 262-377-4730 or 262-375-2397	
JOB NUMBER	MCE-3576-325
DATE	5/30/2025
REVISIONS	
SHEET	7
OF	10
CHECKED BY:	D.S.
DRAWN BY:	D.S.

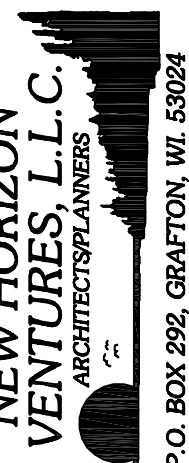
NOTE:  
PROVIDE AND INSTALL RAFTER CLIPS  
AT ALL RAFTER AND TRUSS ENDS.

NOTE:  
CARPENTER CONTRACTOR TO  
FOLLOW MANUFACTURERS INSTALLATION  
DETAILS FOR MANUFACTURED JOISTS

NOTE:  
FINAL TRUSS LAYOUT BY TRUSS MFR.  
VERIFY ALL BEARING POINTS  
TRUSS MFR. TO DESIGN AND PROVIDE  
ALL TRUSS HANGERS



**SECTION 2**  
SCALE: 1/2" = 1'-0"

PROJECT	
MCE 2 NEW RESIDENCE FOR LAURA & JAIME MCE	
	
P.O. BOX 292, GRAFTON, WI 53024 http://www.nhv-arch.com/ 262-377-4730 or 262-375-2397	
JOB NUMBER	MCE-3576-325
DATE	5/30/2025
REVISIONS	
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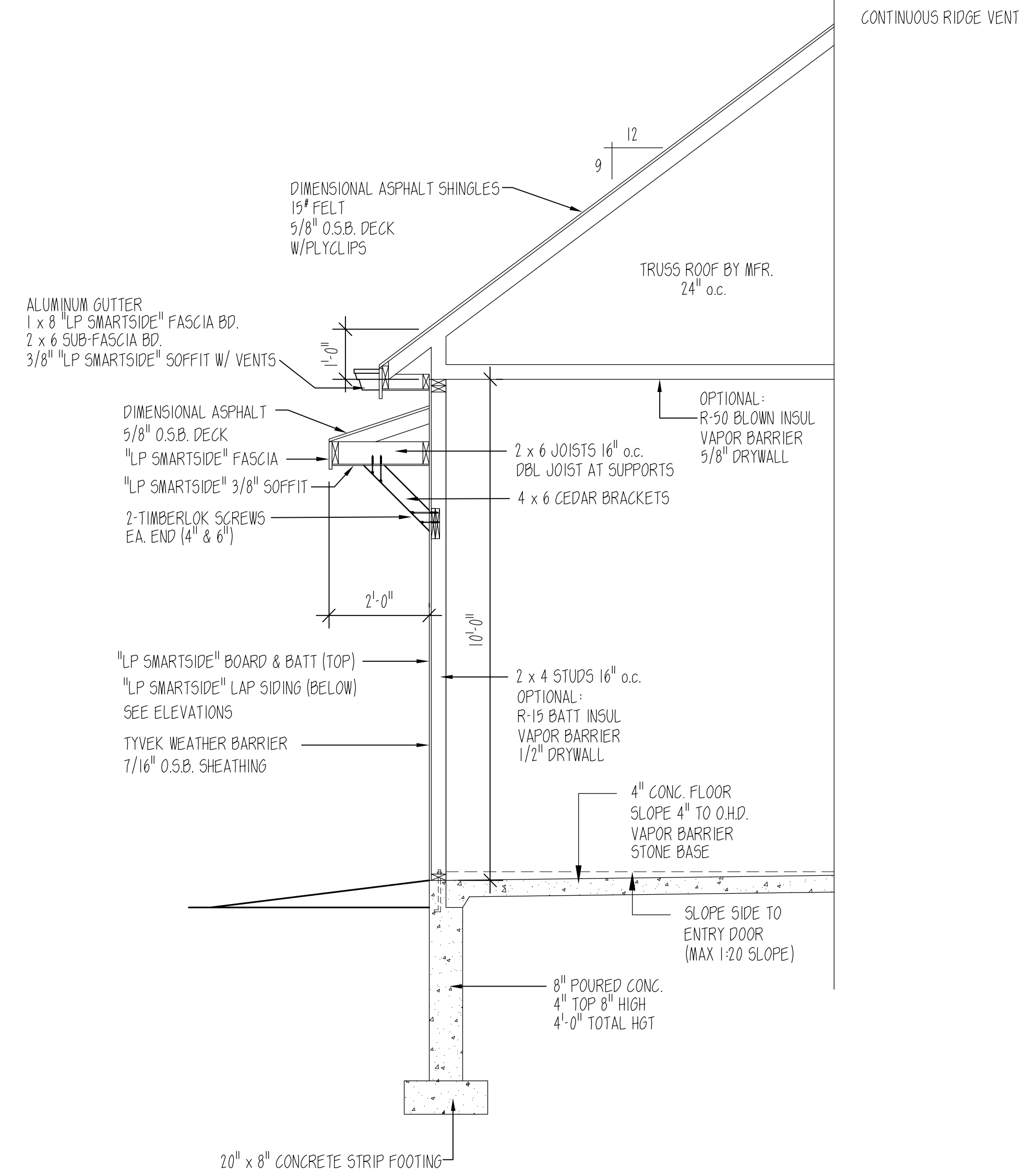
WINDOW & DOOR SCHEDULE O

WIN. NUM.	UNIT NUM.	ROUGH OPENING	HEADER SIZE	FRAME MATERIAL	WIN. GRDS	NOTES
1	2947	2'-5 3/4" x 3'-11 3/4"	6 x 4 HF.	ALUMINUM CLAD	X	
2	2947	2'-5 3/4" x 3'-11 3/4"	6 x 4 HF.	ALUMINUM CLAD	X	
3	2947	2'-5 3/4" x 3'-11 3/4"	6 x 4 HF.	ALUMINUM CLAD	X	
4	2947	2'-5 3/4" x 3'-11 3/4"	6 x 4 HF.	ALUMINUM CLAD	X	
5	2947	2'-5 3/4" x 3'-11 3/4"	6 x 4 HF.	ALUMINUM CLAD	X	
6	2947	2'-5 3/4" x 3'-11 3/4"	6 x 4 HF.	ALUMINUM CLAD	X	
7	3359	2'-9 3/4" x 4'-11 3/4"	2 - 2x12 S.P.F.	ALUMINUM CLAD	X	
8	2959	2'-1 3/4" x 4'-11 3/4"	2 - 2x12 S.P.F.	ALUMINUM CLAD	X	
9	3/0 ENTRY	VERIFY	6 x 4 HF.	ALUMINUM CLAD	X	
10	2959	2'-1 3/4" x 4'-11 3/4"	6 x 4 HF.	ALUMINUM CLAD	X	
11	3359	2'-9 3/4" x 4'-11 3/4"	2 - 2x12 S.P.F.	ALUMINUM CLAD	X	
12	3359	2'-9 3/4" x 4'-11 3/4"	2 - 2x12 S.P.F.	ALUMINUM CLAD	X	
13	3359	2'-9 3/4" x 4'-11 3/4"	2 - 2x12 S.P.F.	ALUMINUM CLAD	X	
14	3359	2'-9 3/4" x 4'-11 3/4"	2 - 2x12 S.P.F.	ALUMINUM CLAD	X	
15	3359	2'-9 3/4" x 4'-11 3/4"	2 - 2x12 S.P.F.	ALUMINUM CLAD	X	
16	9682 SGD	7'-11 1/4" x 6'-10"	2 - 2x10 S.P.F.	ALUMINUM CLAD	X	
17	2141	1'-9 3/4" x 3'-5 3/4"	2 - 2x12 S.P.F.	ALUMINUM CLAD	X	
18	2141	1'-9 3/4" x 3'-5 3/4"	2 - 2x12 S.P.F.	ALUMINUM CLAD	X	
19 & 19A	2153	1'-9 3/4" x 4'-5 3/4"	2 - 2x12 S.P.F.	ALUMINUM CLAD	X	8'-0" HEADER HGT
20	4153 FIXED	3'-5 3/4" x 4'-5 3/4"	2 - 2x8 S.P.F.	ALUMINUM CLAD	X	8'-0" HEADER HGT
21 & 21A	2153	1'-9 3/4" x 4'-5 3/4"	2 - 2x12 S.P.F.	ALUMINUM CLAD	X	8'-0" HEADER HGT
22 & 22A	2153	1'-9 3/4" x 4'-5 3/4"	6 x 4 HF.	ALUMINUM CLAD	X	8'-0" HEADER HGT
23	3353-2	1'-9 3/4" x 5'-6 3/4"	2 - 2x12 S.P.F.	ALUMINUM CLAD	X	8'-0" HEADER HGT
24	3/0 SERVICE	VERIFY	6 x 4 HF.	ALUMINUM CLAD	X	
25	6082 SGD	5'-0" x 6'-10"	2 - 2x12 S.P.F.	ALUMINUM CLAD	X	
TRANSOM	CUSTOM - TOTAL SGD + TRANSOM R.O.	HGT TO BE 8'-0"		ALUMINUM CLAD	X	
26	6082 SGD	5'-0" x 6'-10"	2 - 2x8 S.P.F.	ALUMINUM CLAD	X	
TRANSOM	CUSTOM - TOTAL SGD + TRANSOM R.O.	HGT TO BE 8'-0"		ALUMINUM CLAD	X	
27	6082 SGD	5'-0" x 6'-10"	2 - 2x12 S.P.F.	ALUMINUM CLAD	X	
TRANSOM	CUSTOM - TOTAL SGD + TRANSOM R.O.	HGT TO BE 8'-0"		ALUMINUM CLAD	X	
28	2959	2'-1 3/4" x 4'-11 3/4"	6 x 4 HF.	ALUMINUM CLAD	X	
29	2959	2'-1 3/4" x 4'-11 3/4"	6 x 4 HF.	ALUMINUM CLAD	X	
30	2947	2'-5 3/4" x 3'-11 3/4"	6 x 4 HF.	ALUMINUM CLAD	X	
31	2947	2'-5 3/4" x 3'-11 3/4"	6 x 4 HF.	ALUMINUM CLAD	X	
32	2947	2'-5 3/4" x 3'-11 3/4"	6 x 4 HF.	ALUMINUM CLAD	X	
33	2947	2'-5 3/4" x 3'-11 3/4"	6 x 4 HF.	ALUMINUM CLAD	X	
34	3/0 SERVICE	VERIFY	6 x 4 HF.	ALUMINUM CLAD	X	
35	2947	2'-5 3/4" x 3'-11 3/4"	6 x 4 HF.	ALUMINUM CLAD	X	
36	3/0 SERVICE	VERIFY	6 x 4 HF.	ALUMINUM CLAD	X	
37	2953	2'-5 3/4" x 4'-5 3/4"	6 x 4 HF.	ALUMINUM CLAD	X	
38	2953	2'-5 3/4" x 4'-5 3/4"	6 x 4 HF.	ALUMINUM CLAD	X	
39	3/0 SERVICE	VERIFY	6 x 4 HF.			BARN DOOR W/ LOCK
40	2953	2'-5 3/4" x 4'-5 3/4"	6 x 4 HF.	ALUMINUM CLAD	X	
41	3353	2'-9 3/4" x 4'-5 3/4"	6 x 4 HF.	ALUMINUM CLAD	X	
42	3353	2'-9 3/4" x 4'-5 3/4"	6 x 4 HF.	ALUMINUM CLAD	X	
43	3353	2'-9 3/4" x 4'-5 3/4"	6 x 4 HF.	ALUMINUM CLAD	X	
44	3341	2'-9 3/4" x 3'-5 3/4"	6 x 4 HF.	ALUMINUM CLAD	X	
45	3341	2'-9 3/4" x 3'-5 3/4"	6 x 4 HF.	ALUMINUM CLAD	X	
46	3341	2'-9 3/4" x 3'-5 3/4"	6 x 4 HF.	ALUMINUM CLAD	X	
47	3341 FIXED	2'-9 3/4" x 2'-1 3/4"	6 x 4 HF.	ALUMINUM CLAD	X	
48	3341	2'-9 3/4" x 3'-5 3/4"	6 x 4 HF.	ALUMINUM CLAD	X	
49	3353	2'-9 3/4" x 4'-5 3/4"	6 x 4 HF.	ALUMINUM CLAD	X	
50	3353	2'-9 3/4" x 4'-5 3/4"	6 x 4 HF.	ALUMINUM CLAD	X	
51	3353	2'-9 3/4" x 4'-5 3/4"	6 x 4 HF.	ALUMINUM CLAD	X	
52	3353	2'-9 3/4" x 4'-5 3/4"	6 x 4 HF.	ALUMINUM CLAD	X	
53	3-0/5-0 CSMT	3'-0" x 5'-0"	6 x 4 HF.	ALUMINUM CLAD	X	
54	3-0/5-0 CSMT	3'-0" x 5'-0"	6 x 4 HF.	ALUMINUM CLAD	X	
55	3/0 SERVICE	VERIFY	6 x 4 HF.	ALUMINUM CLAD	X	20 MIN. FIRE RATED

NOTE: PROVIDE AND INSTALL RAFTER CLIPS AT ALL RAFTER AND TRUSS ENDS.

NOTE: CARPENTER CONTRACTOR TO FOLLOW MANUFACTURERS INSTALLATION DETAILS FOR MANUFACTURED JOISTS

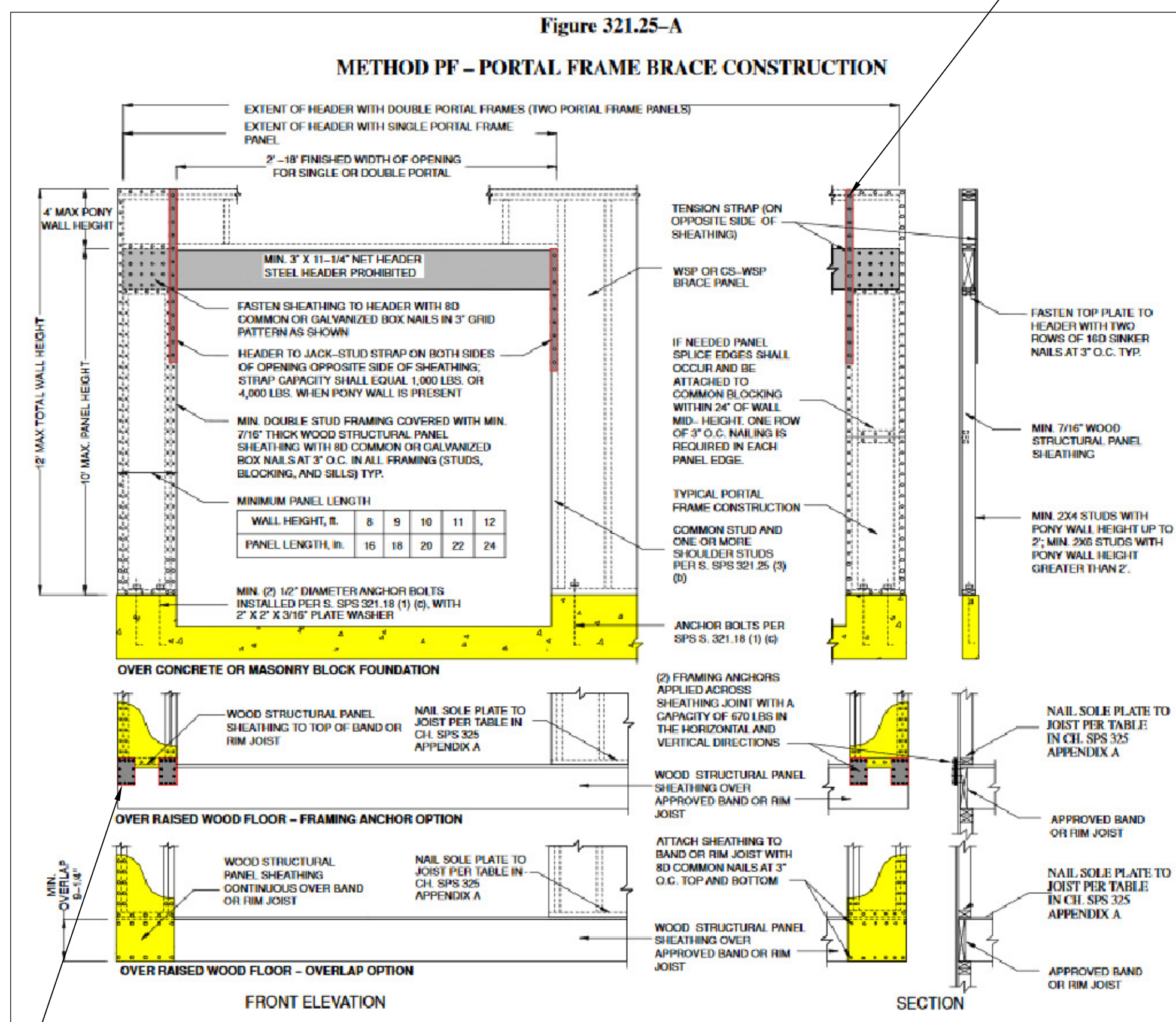
NOTE: FINAL TRUSS LAYOUT BY TRUSS MFR. VERIFY ALL BEARING POINTS TRUSS MFR. TO DESIGN AND PROVIDE ALL TRUSS HANGERS



ABOVE ROUGH OPENINGS BASED ON PELLA WINDOWS. IF OTHER WINDOW BRAND SUBSTITUTED - VERIFY ROUGH OPENINGS WINDOW SUPPLIER TO VERIFY ALL ROUGH OPENINGS

S.P.F. - SPRUCE PINE FIR #2  
H.F. - HEM FIR #2  
L.V.L. - LAMINATED VENEER LUMBER (2.0E)  
R.L. - RIDGID PLAM LVL 1.3E (FLOOR RIM JOIST)

1/2\"/>



1/2\"/>

PORTAL FRAME BRACE

SECTION 3  
SCALE: 1/2\"/>

PROJECT  
MCE 2  
NEW RESIDENCE FOR  
LAURA & JAMIE MCE

NEW HORIZON VENTURES, L.L.C.  
ARCHITECTS/PLANNERS

P.O. BOX 292, GRAFTON, WI 53024  
http://www.nhv-arch.com/ 262-377-4730 or 262-375-2397

JOB NUMBER: MCE-3576-325  
DATE: 5/30/2025  
REVISIONS:

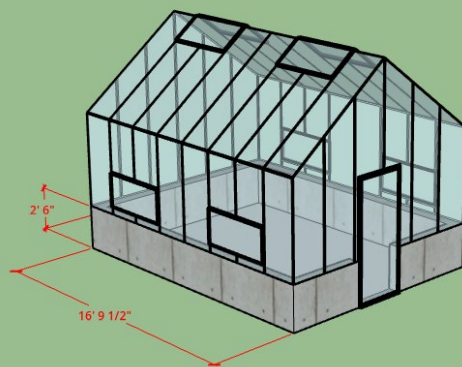
SHEET: 010  
CHECKED BY: D.S.  
DRAWN BY: D.S.

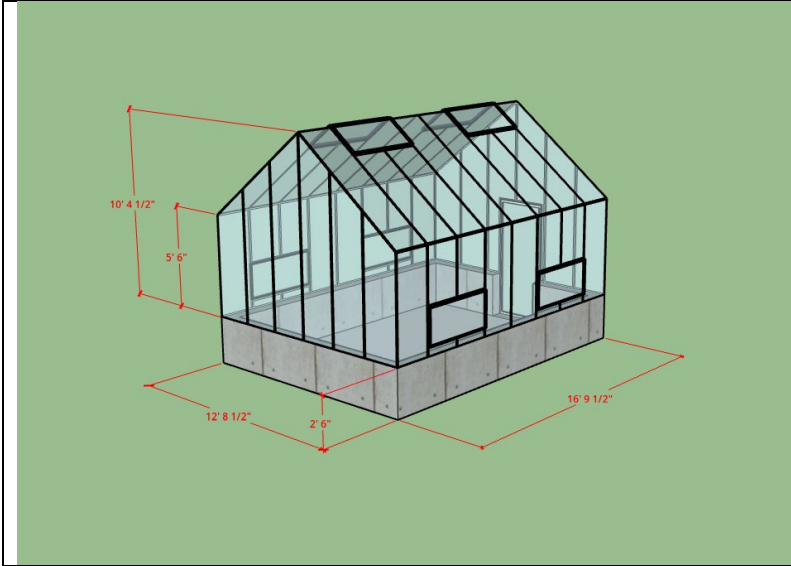
10.20.2025

## MOE GREENHOUSE

PROVIDED BY WISCONSIN GREENHOUSE COMPANY

- 12 X 16 STRAIGHT EVE, CROSS COUNTRY FRAME GREENHOUSE, COTTAGE STYLE,
- ALUMINUM FRAME, BLACK
- SINGLE GLASS, 6 MM FULL SHEET, TEMPERED, TINTED (TINT COLOR TBD)
- WALL GLAZING, SINGLE GLASS 6MM, FULL SHEET, TEMPERED
- GREENHOUSE RATED FOR 85 MPH WIND AND 32 PSF SNOWLOAD
- ACCESSORIES TO INCLUDE
  - DOUBLE BAY ROOF VENTS WITH ELECTRICAL THERMOSTAT CONTROLLED OPENERS
  - STOREFRONT DOOR 36" X 84", DOUBLE GLASS
  - DOUBLE BAY SIDE VENT WITH AUTOMATIC MK7 OPENER
  - DECORATIVE PRESSURE CAP
  - CEILING FAN BRACKET - 2 X 4 CHANNEL SUPPORTED BETWEEN ROOF PURLINS
  - PENETRATION PANEL, 6 MM ALUMINUM SHEET 24 X 24" WITH HEATER HANGER
  - INSTALLATION OF GREENHOUSE
  - INSECT SCREENS FOR ROOF AND SIDE VENTS
  - CURBSIDE DELIVERY, SHIPPING AND WOOD CRATING





PICTURE PROVIDED BY WISCONSIN GREENHOUSE CO.

# The Moe Residence W60 N810 Riveredge Drive, Cedarburg

**Atlas Roofing  
Summit 60'  
Black Shadow**



**Thierfelder  
BUILDERS, INC.**

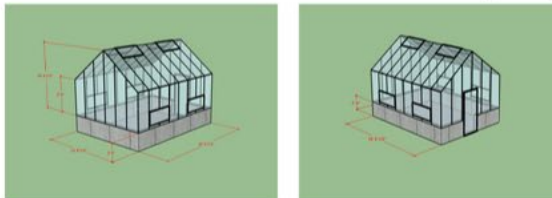
**Reclaimed Cream City Brick**



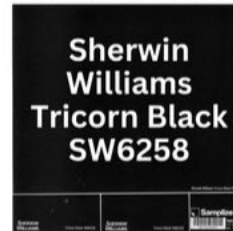
**Inspiration Picture**



**Wisconsin Greenhouse Company**



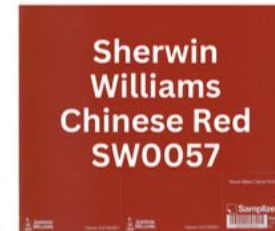
**LP Smartside  
Siding trim  
Exterior Doors  
Pella Windows**



**Cupola, Spire,  
Screen Doors &  
Misc. Architectural  
Details**



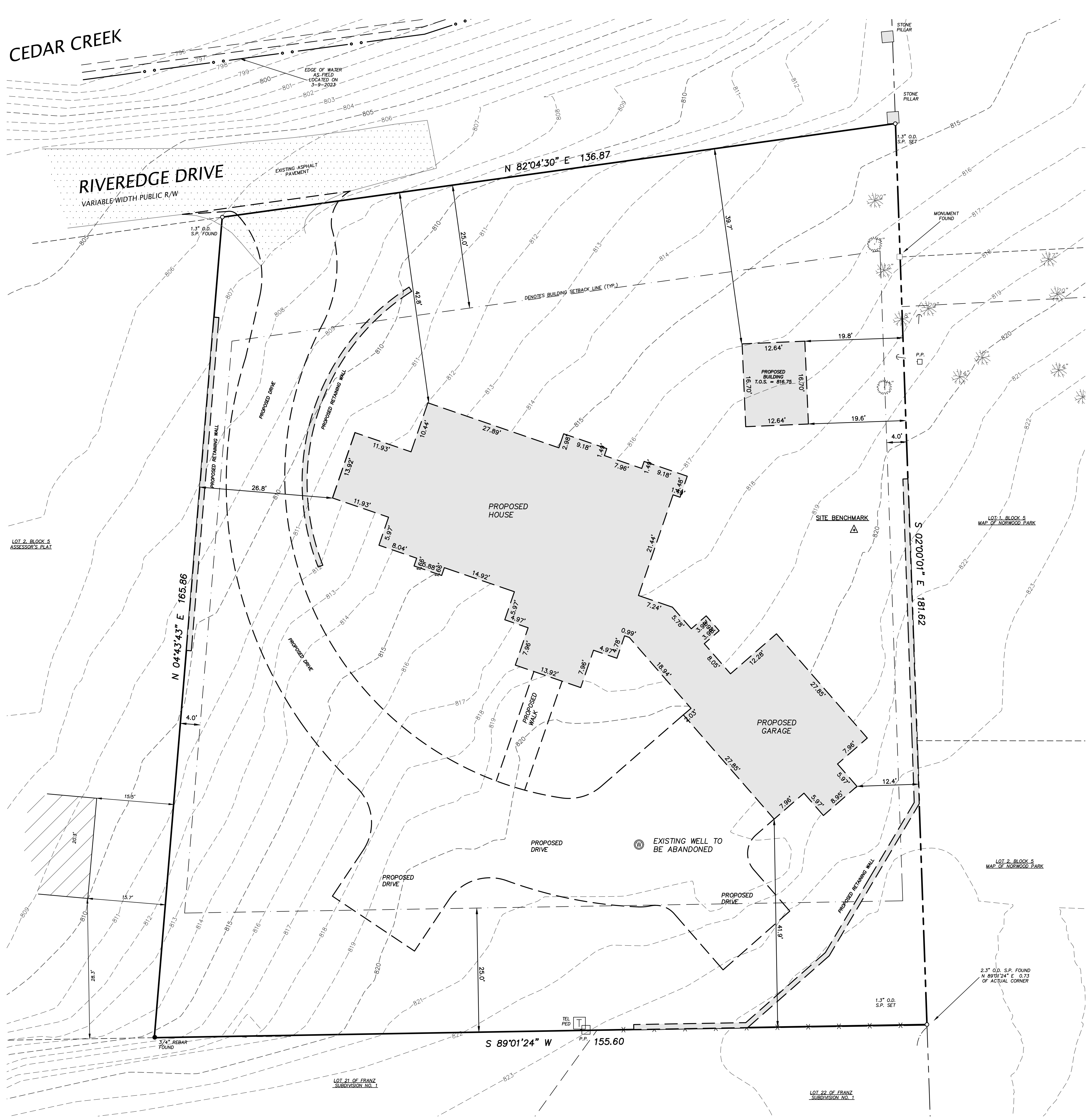
**Front Entry Door**



**Screen Porch,  
Haas American  
Tradition  
Overhead Garage  
Doors - White**

CEDAR CREEK

**LEGAL DESCRIPTION :**  
 Lot One (1), in Block Five (5) of the Assessor's Plat of the City of Cedarburg, being part of the NE 1/4 of Section 27, Township 10 North, Range 21 East, City of Cedarburg, Ozaukee County, Wisconsin.  
 Said Parcel containing 25,203 sq. ft./0.58 acres of land, more or less.



**Rs-5 Zoning Statistics:**

Setbacks:  
 Front Yard = 25'  
 Side Yard = 4'  
 Rear Yard = 25'

Maximum Floor Area Ratio = 36%  
 Maximum Permitted Lot Coverage = 30.0%  
 Minimum Required Home Size = 1,100 sq. ft.  
 Maximum Building Height = 35'

**Proposed Statistics:**

Total Property Area = 25,203 sq. ft./0.579 acres (100%)  
 Proposed Floor Area Ratio = 2,341 sq. ft. (9.3%)  
 Proposed Lot Coverage Area = 7,477 sq. ft. (29.7%)  
 Proposed Building Height = 33.42'

**Proposed Grade Statistics:**

Top Garage Slab = 818.00  
 Yard Grade (Garage) = 818.00  
 Yard Grade (House) = 817.00  
 First Floor Elevation = 818.85  
 Top of Foundation Wall = 817.67  
 Top of Basement Footing = 808.67

**NOTES :**

- ALL BEARINGS REFERENCED TO GRID NORTH OF THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE (EAST LINE OF THE NE 1/4 OF SECTION 27-10-21 WHICH BEARS N2°00'01"W).
- SITE BENCHMARK IS REBAR ROD NEAR EAST PROPERTY LINE AS SHOWN ON SURVEY, ELEVATION = 819.72

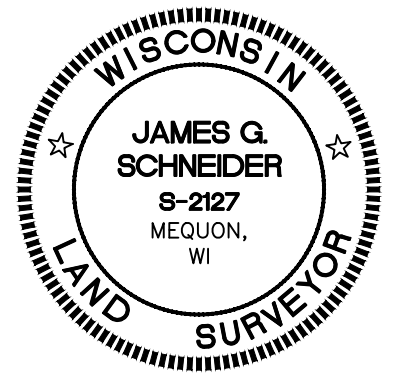
**SURVEY CERTIFICATE**

I have surveyed the above described property and the above map is a true representation thereof and shows the size and location of the property, its exterior boundaries, the location and dimensions of all visible structures thereon, boundary fences, apparent easements, roadway, and visible encroachments, if any.

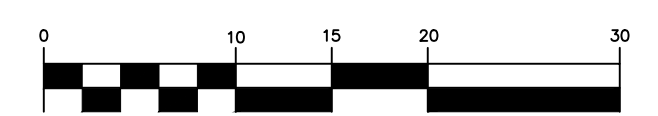
This survey is made for the exclusive use of the present owners of the property, and also those who purchase mortgage, or guarantee the title thereto within one (1) year form date hereof.

Dated at City of Mequon, State of Wisconsin this 27th day of October, 2025

*James G. Schneider*  
 James G. Schneider  
 Surveyor - S-2127



www.thesigmagroup.com  
 1300 West Canal Street  
 Milwaukee, WI 53233  
 Phone: 414-643-4200  
 Fax: 414-643-4210



MARK	DATE	REVISION	BY	APVD
<b>"PROPERTY SURVEY"</b>				
for <b>Thierfelder Builders</b>				
<b>W60 N810 River Edge Drive Cedarburg, WI</b>				
DATE:	OCTOBER 27, 2025	DRAWN BY:	J.G.S.	
FIELD CREW:	E.A.J. & S.F.Z.	Plat No.	24455	

CEDAR CREEK

RIVEREDGE DRIVE  
VARIABLE WIDTH PUBLIC R/W

INSTALL TRACKING PAD AT SITE ENTRANCE PER DETAIL AT LEFT

DENOTES RETAINING WALL BY OTHERS (TYP.) REFER TO GENERAL NOTES

LOT 2, BLOCK 5 ASSESSOR'S PLAT

MATCH DRIVEWAY TO EXIST. ROADWAY PAVEMENT

DENOTES SILT FENCE (TYP.) REFER TO DETAIL AT LEFT

PROPOSED HOUSE

PROPOSED BUILDING  
T.O.S. = 816.75

PROPOSED GARAGE

PROPOSED DRIVE

EXISTING WELL TO BE ABANDONED

PROPOSED DRIVE

PROPOSED DRIVE

PROPOSED DRIVE

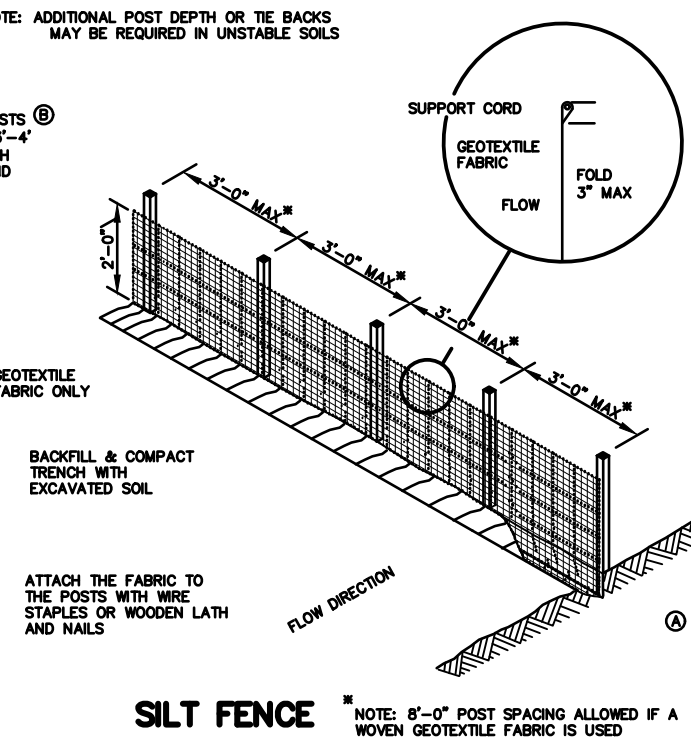
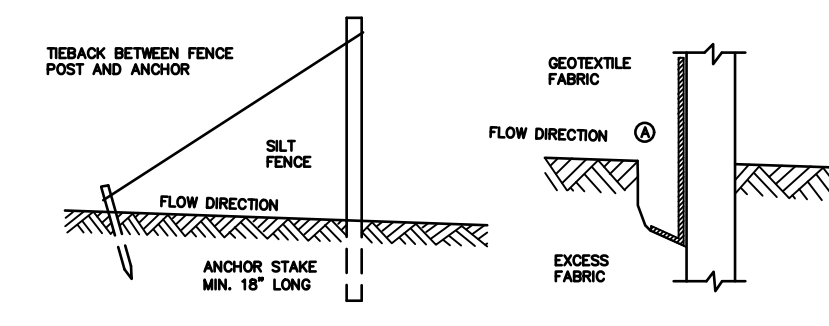
PROPOSED DRIVE

PROPOSED DRIVE

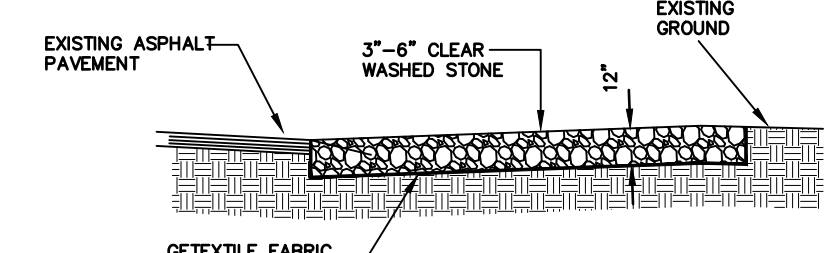
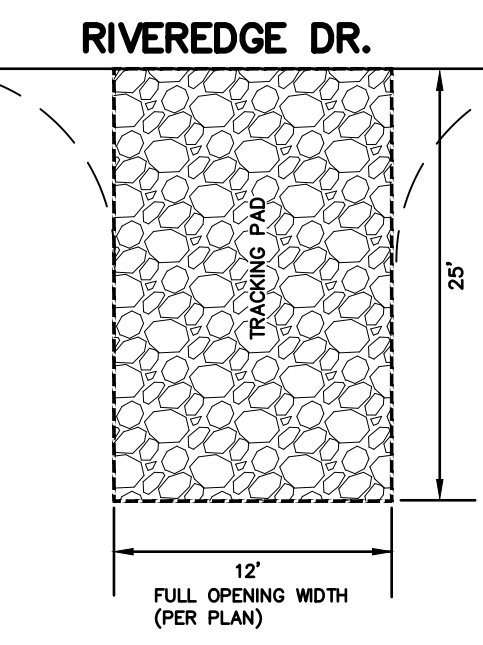
**GENERAL NOTES & DETAIL- SILT FENCE**

- Ⓐ TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
- Ⓑ WOOD POSTS SHALL BE A MINIMUM SIZE OF 1 1/8" X 1 1/8" OF OAK OR HICKORY.
- Ⓒ CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING 20" DEPTH LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS: A) OVERLAP THE END POSTS AND TWIST, OR ROTATE AT LEAST 180 DEGREES. DO NOT HOOK THE END OF EACH SILT FENCE LENGTH.

NOTE: ADDITIONAL POST DEPTH OR THE BACKS MAY BE REQUIRED IN UNSTABLE SOILS



**TRACKING PAD DETAIL**



**Erosion Control & Restoration Notes:**

1. EROSION CONTROL SHALL CONFORM TO WISCONSIN DEPARTMENT OF NATURAL RESOURCES CURRENT TECHNICAL STANDARDS AND CURRENT CITY OF CEDARBURG EROSION CONTROL ORDINANCE.
2. KEEP A COPY OF THE CURRENT EROSION CONTROL PLAN ON SITE AND MAINTAIN UNTIL CONSTRUCTION ACTIVITIES HAVE CEASED, AND THE SITE IS STABILIZED.
3. CONTRACTOR IS RESPONSIBLE FOR ROUTINE SITE INSPECTIONS AT LEAST ONCE EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. KEEP INSPECTION REPORTS ON-SITE AND MAKE THEM AVAILABLE UPON REQUEST.
4. RESTORE ALL DISTURBED LAWN AREAS WITH 4 IN. OF CLEAN TOPSOIL, STARTER FERTILIZER, SEEDINGS OR SOD. FOR SEEDING USE GRAIN STRAW OR TACK.
5. INSPECT AND MAINTAIN ALL INSTALLED EROSION CONTROL PRACTICES UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED. STABILIZATION IS DEFINED AS AN ESTABLISHED UNIFORM PERENNIAL VEGETATIVE COVER WITH AN OVERALL SITE DENSITY OF AT LEAST 70 %.
6. INSTALL PERIMETER EROSION CONTROLS AND ROCK TRACKING PAD CONSTRUCTION ENTRANCE(S) PRIOR TO ANY LAND-DISTURBING ACTIVITIES, INCLUDING CLEARING AND GRUBBING.
7. STAGE CONSTRUCTION GRADING ACTIVITIES TO MINIMIZE THE CUMULATIVE EXPOSED AREA.
8. INSTALL AND MAINTAIN SILT FENCING PER WDNr TECHNICAL STANDARD SILT FENCE #1056. REMOVE SEDIMENT FROM BEHIND SILT FENCES AND SEDIMENT BARRIERS BEFORE SEDIMENT REACHES A DEPTH THAT IS EQUAL TO ONE-HALF OF THE FENCE AND/OR BARRIER HEIGHT.
9. REPAIR BREAKS AND GAPS IN SILT FENCES AND BARRIERS IMMEDIATELY. REPLACE DECOMPOSING STRAW BALES (TYPICAL BALE LIFE IS 3 MONTHS). LOCATE, INSTALL, AND MAINTAIN STRAW BALES PER WDNr TECHNICAL STANDARD DITCH CHECKS #1062.
10. IMMEDIATELY STABILIZE STOCKPILES AND SURROUND STOCKPILES AS NEEDED WITH SILT FENCE OR OTHER PERIMETER CONTROL IF STOCKPILES WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.
11. IMMEDIATELY STABILIZE ALL DISTURBED AREAS THAT WILL REMAIN INACTIVE FOR 14 DAYS OR LONGER. BETWEEN SEPTEMBER 15 AND OCTOBER 15: STABILIZE WITH MULCH, TACKIFIER, AND A PERENNIAL SEED MIXED WITH WINTER WHEAT, ANNUAL OATS, OR ANNUAL RYE. AS APPROPRIATE FOR REGION AND SOIL TYPE OCTOBER 15 THROUGH COLD WEATHER: STABILIZE WITH A POLYMER AND DORMANT SEED MIX, AS APPROPRIATE FOR REGION AND SOIL TYPE.
12. STABILIZE AREAS OF FINAL GRADING WITHIN 7 DAYS OF REACHING FINAL GRADE.
13. SWEEP/CLEAN UP ALL SEDIMENT/TRASH THAT MOVES OFF-SITE DUE TO CONSTRUCTION ACTIVITY OR STORM EVENTS BEFORE THE END OF THE SAME WORKDAY OR AS DIRECTED BY CITY OF MEQUON, USE ONLY MECHANICAL MEANS, NO FLUSHING. SEPARATE SWEEP MATERIALS (SOILS AND TRASH) AND DISPOSE OF APPROPRIATELY.
14. CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST PER WDNr TECHNICAL STANDARD DUST CONTROL ON CONSTRUCTION SITES # 1068.
15. FOR NON-CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED SLOPES, PROVIDE CLASS I, TYPE A, SINGLE NETTED LIGHT DUTY EROSION CONTROL MATTING. SELECT EROSION MATTING FROM APPROPRIATE MATRIX IN WDNr'S WDOT PRODUCT ACCEPTABILITY LIST (PAL); INSTALL AND MAINTAIN PER WDNr TECHNICAL STANDARD NON-CHANNEL EROSION MAT #1052.
16. FOR CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED AREAS, PROVIDE HAY BALES OR APPROVED ALTERNATIVES LISTED IN WDNr'S WDOT PRODUCT ACCEPTABILITY LIST (PAL); INSTALL AND MAINTAIN PER WDNr TECHNICAL STANDARD CHANNEL EROSION MAT #1053.
17. MAKE PROVISIONS FOR WATERING DURING THE FIRST 8 WEEKS FOLLOWING SEEDING OR PLANTING OF DISTURBED AREAS WHENEVER MORE THAN 7 CONSECUTIVE DAYS OF DRY WEATHER OCCUR.

**Proposed Grade Statistics:**

Top Garage Slab = 818.00  
Yard Grade (Garage) = 818.00  
Yard Grade (House) = 817.00  
First Floor Elevation = 818.85  
Top of Foundation Wall = 817.67  
Top of Basement Footing = 808.67

**Site Area:**  
Total Property Area = 25,203 sq. ft./0.579 acres  
Total Disturbed Area = 19,691 sq. ft./0.4521 ac.  
Total Existing Impervious Area = 2,849 sq. ft./0.065 acres (Removed Previously)  
Total Proposed Impervious Area = 7,518 sq. ft./0.172 acres  
Net New Impervious Area = 4,669 sq. ft./0.107 acres

**NOTES:**

1. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO ANY LAND DISTURBING ACTIVITIES.
2. SITE BENCHMARK IS REBAR ROD NEAR EAST PROPERTY LINE AS SHOWN ON SURVEY, ELEVATION = 819.72
3. RETAINING WALL DESIGN BY OTHERS. PROPOSED RETAINING WALLS ON PROPERTY LINES SHALL NOT EXCEED A HEIGHT OF THREE (3) FEET. THE TOTAL HEIGHT MAY EXCEED THREE FEET PROVIDED THAT THE WALL SHALL BE TERRACED IN A MANNER THAT FOR EACH THREE FOOT SECTION OF WALL HEIGHT THERE SHALL BE A THREE FOOT HORIZONTAL TERRACE TO THE NEXT THREE FOOT SECTION OF WALL HEIGHT.

**Legend**

- 699 --- DENOTES EXISTING MINOR CONTOUR
- 700 --- DENOTES EXISTING MAJOR CONTOUR
- 699 --- DENOTES PROPOSED MINOR CONTOUR
- 700 --- DENOTES PROPOSED MAJOR CONTOUR
- --- DENOTES PROPERTY LINE
- Ⓢ DENOTES PROPOSED SPOT ELEVATION
- SF --- DENOTES PROPOSED SILT FENCE

**THE SIGMA GROUP**  
Single Source. Sound Solutions.

www.thesigmagroup.com  
1300 West Canal Street  
Milwaukee, WI 53233  
Phone: 414-643-4200  
Fax: 414-643-4210

**CITY OF CEDARBURG**  
OZAUKEE COUNTY WISCONSIN

THIERFELDER BUILDERS  
PROPOSED MOE RESIDENCE  
W60 N810 RIVEREDGE DRIVE

**EROSION/SEDIMENTATION CONTROL & SITE GRADING PLAN**

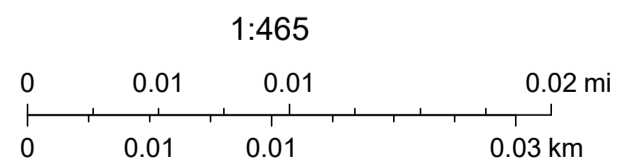
DESIGNED: J.W.H.	DRAWN: J.M.B.	CHECKED: J.W.H.	SHEET
DATE: 10/15/2025	SCALE: H: 1"=10'	V:	<b>C-1</b>
APPROVED:	PROJECT: #24455		of 1

# Moe Infill Residence 2024 Aerial Map View of Site

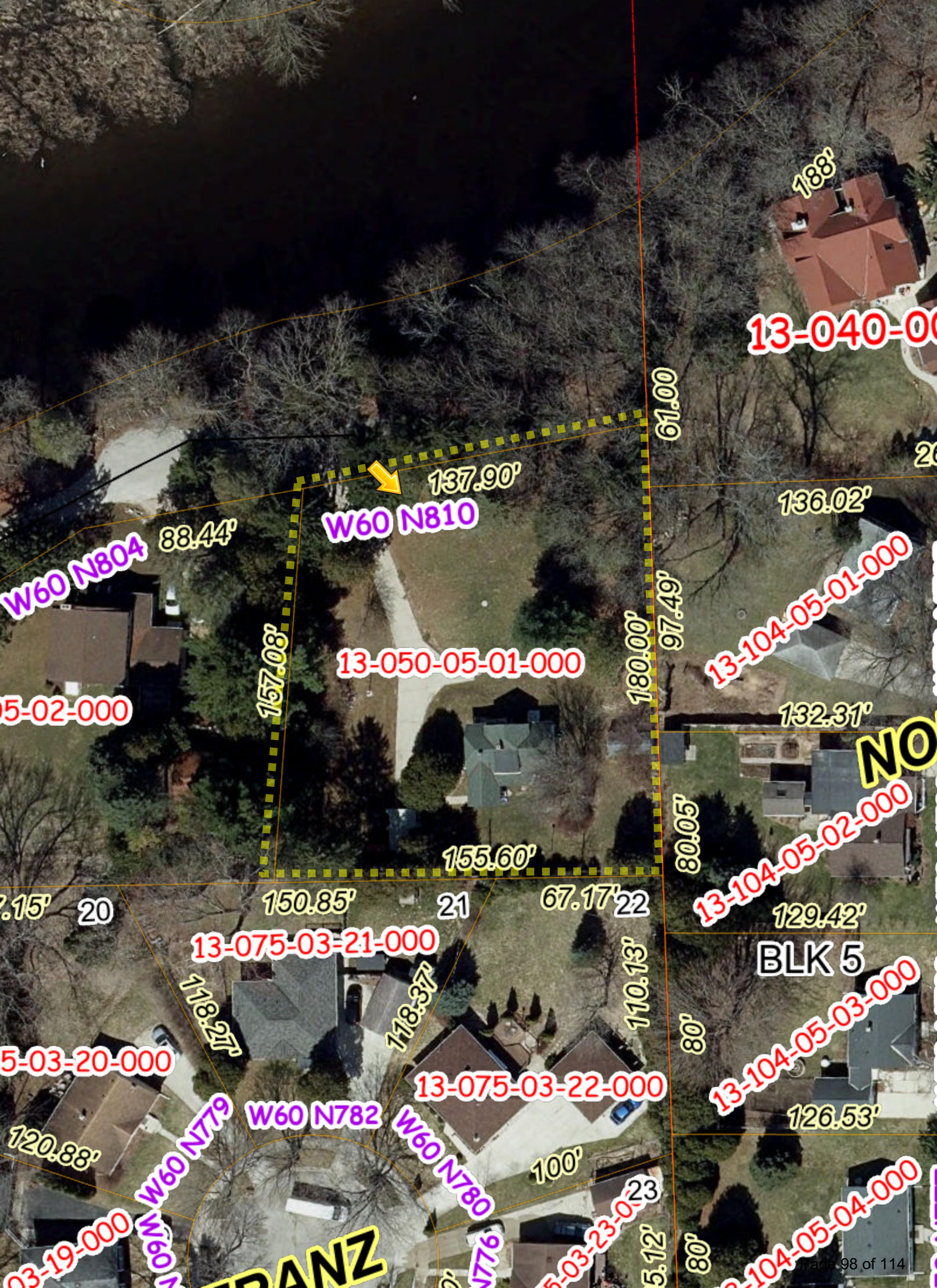


11/14/2025, 5:50:36 AM

- Local Roads
  - PLSS Townships
  - PLSS Sections
  - PLSS Quarter Sections
  - Control Survey Diagram
- Local
  - Local
- Parcels
  - Road Right-of-Way
  - Tax Parcel



Ozaukee County



188'  
13-040-00

W60 N804 88.44'

137.90'  
W60 N810

13-050-05-01-000

15-02-000

157.08'

61.00  
180.00'

136.02'  
13-104-05-01-000

NO

132.31'  
13-104-05-02-000

20

150.85'

21

67.17'

13-075-03-21-000

80.05'

129.42'

BLK 5

15-03-20-000

118.21'

118.37'

110.13'

13-104-05-03-000

126.53'

120.88'

W60 N782

W60 N780

13-075-03-22-000

100'

13-19-000

W60 N779

DANZ

22

15-03-23-023

5.12'

80'

13-104-05-04-000

**Excerpt of DRAFT MINUTES for Site and Architectural Review Board meeting 11-18-25**

**B. Review, discussion, and possible action/recommendation to the Plan Commission as to the architecture and site plan for an infill house proposed to be constructed on the vacant, Rs-5 Single-Family Residential zoned, .58-acre lot located at W60 N810 Riveredge Drive. Property owners are James Moe and Laura Scott. The applicant on their behalf is Sue Thierfelder/Thierfelder Builders, Inc.**

Planner Censky reported that this existing vacant lot meets the City's definition of an infill lot (i.e., a single vacant lot located in a predominantly built-up area, which is bounded on two or more sides by existing development). Prior to issuance of a building permit, the site and architectural plans for construction on an infill lot must be reviewed and approved by the Plan Commission, taking into consideration the review and recommendation of the Site and Architectural Review Board.

As presented, this plan complies in all respects with the bulk and spatial requirements of the Rs-5 Single-Family Residential Zoning District, such as setbacks, maximum floor area ratio, maximum lot coverage, minimum home size, and maximum building height, among other things.

The proposed greenhouse accessory structure also complies with respect to the permitted size and quantity of accessory structures. Accessory structures are required to be located in the rear yard. Given the proposed positioning of the home on this lot, the Planner views the greenhouse location as compliant with that requirement.

Chairperson Voltz recommended being cautious of grading and ensuring that slopes remain flat enough to avoid needing a guardrail on the driveway.

**ACTION:** Council member Burkart made a motion, seconded by Chairperson Voltz, to recommend approval of this infill house plan and related site/grading plan to the Plan Commission, subject to the following conditions:

- 1) Applicant to satisfy any conditions/requirements of the various City Departments in their review of this project, including, for instance, but not necessarily limited to:
  - a. Try to keep slopes at less than 3:1.
- 2) Issuance of a building permit prior to the start of any site work or construction in support of this project.

Motion carried without a negative vote.

# PLANNERS REPORT

To: City of Cedarburg Plan Commission

By: Mary Censky

Date Prepared: December 1, 2025

## General Information:

Agenda Item: **7.C.**

Property Owner/Applicant:

Patricia Thiel in c/o Sandie and Kevin Heinecke

Request:

Review, discussion and feedback to applicant on their concept plan to split a back/off-street lot into two parcels with no direct public road frontage.

Current Zoning:

Rs-5 Single-Family Residential District

Current Master Plan Classification:

Medium Density Residential

Surrounding Zoning/Land Use:

North: Rs-5 Single-Family

South: Rs-5 Single-Family

East: Rs-5 Single-Family

West: Rs-5 Single-Family

Lot Size:

~.8 Acres (~34,848 sq. ft.)

Location:

N56 W5543 Sunnyside Lane

---

## Discussion:

This applicant owns one street fronting lot with home and garage on it at this location. They also own the .8-acre back lot directly south of this. They would like to create a driveway and utility accessway along the east side of their street front property to serve the back lot, and divide the back lot into two Rs-5 Single-Family Residential compliant lots for future home(s) construction.

The various City Departments have reviewed this concept request and offer the following comments/concerns for consideration by the applicant:

- The new garage/accessory structure shall be placed not less than 3-feet from the property line./Building Inspector.

- There is a pole line on the south side of N56 W5543 Sunnyside Lane that can serve electric to the north side of the new homes or possibly the east/west side depending on the orientation and location of the homes./Electric Utility.
- Historically the lot to the south has had flooding issues. I would require that any development in this area to prove that their development is causing the stormwater runoff to be no worse than the existing condition./City Engineer-Director of Public Works.
- The developer would be expected to follow City specifications for the installation of the sanitary lateral. This would involve digging into a road that was reconstructed 2 years ago. We generally have a 5-year moratorium on excavating in new streets, but this could be
- waived if deemed essential./City Engineer-Director of Public Works.
- These lots would be subject to impact fees./City Engineer-Director of Public Works.
- If these lots will be owned by separate owners, each lot will need its own water service from the water main in Sunnyside to include individual curbstops at the property line at Sunnyside. Clearly documented easements will be needed as well since the utilities look to be crossing a couple lot lines./Water Department.
- It appears that they have already considered fire department vehicle access to the proposed buildings on the South side of the property, in addition to a turnaround option for fire apparatus. The plans don't indicate exactly how the driveways up to the homes will look, but just wanted to make sure that fire department access is considered as the project progresses./Fire Department.

Section 13-1-27(b) of the City Code provides that “all lots shall abut upon a public street, and each lot shall have a minimum frontage of 30 feet”. While the existing platted vacant lot is presumed to have buildable status as a legal nonconforming lot, creation of a new lot(s) lacking this minimum frontage would require approval of a variance.

**Recommendation:**

On November 18, 2025, the Site and Architectural Review Board (SARB) discussed and considered this concept plan. Their recommendation to the Plan Commission was to oppose the plan as presented due to the narrow driveway, so close to the existing homes, which could not support cars passing in/out simultaneously. It was further recommended that the applicant consider a different approach to utilizing this back lot, such as by taking out the front house entirely and using that space to create a proper access way or frontage for multiple new lots. They supported the Planner’s recommended conditions as follows:

- 1) Applicant to secure a variance or alternate solution to exempt them from the 30-foot minimum public street frontage requirement before returning to the SARB and Plan Commission with a Certified Survey Map (CSM) in support of this project.
- 2) Applicant is on notice that the existing and proposed new vacant lots meet the City’s Code definition of an infill lot. Accordingly, any future plans to construct a home on these lot(s) will require review and approval by the Site and Architectural Review Board (SARB) and the Plan Commission prior to issuance of a building permit.
- 3) Applicant to satisfy the requirements of the various departments as set forth in their concept review/comments (see list above).



**LAND DEVELOPMENT APPLICATION**

PROPERTY LOCATION/ADDRESS: N56 W5543 Sunnyside Lane, Cedarburg, WI 53012

APPLICANT/BUSINESSNAME: Sandie & Kevin Heinecke

APPLICANT/BUSINESS ADDRESS: [REDACTED]

STATUS OF APPLICANT:  OWNER  AGENT  BUYER  OTHER Joint Trustee

PHONE: [REDACTED] EMAIL: [REDACTED]

PROPERTY OWNER (IF DIFFERENT): Patricia Thiel

PROPERTY OWNER MAILING ADDRESS: [REDACTED]

PROPERTY OWNER PHONE: [REDACTED] PROPERTY OWNER EMAIL: [REDACTED]

REQUEST FOR (CHECK ALL THAT APPLY):

- CONCEPT REVIEW
- SITE/ARCHITECTURAL PLAN APPROVAL
- SUBDIVISION PLAT OR CSM REVIEW
- ZONING DISTRICT CHANGE
- CONDITIONAL USE ZONING
- ANNEXATION REQUEST
- VARIANCE/BOARD OF APPEALS
- OTHER \_\_\_\_\_

DESCRIBE REQUEST: Split an existing .8-acre, off-street/back lot into two single-family residential building sites (~.4-acres/each) and provide private drive access to serve these lots across an adjoining lot owned by applicant that fronts upon the public street. Replace garage on existing adjacent lot.

PLEASE SUBMIT: **FIVE (5) COPIES OF WRITTEN DESCRIPTION OF PROPOSAL OR REQUEST FOR CITY STAFF REVIEW -PLUS ELECTRONIC FIVE (5) FULL SETS OF SUPPORTING DRAWINGS, SKETCHES OR SURVEY MAPS FOR CITY STAFF REVIEW PLUS ELECTRONIC TEN (10) SETS OF PLANS (11" x 17" MAX) FOR PLAN COMMISSION REVIEW -PLUS ELECTRONIC**

ELECTRONIC COPIES MAY BE SENT TO [THANAMAN@CITYOFCEDARBURG.WI.GOV](mailto:THANAMAN@CITYOFCEDARBURG.WI.GOV)

The undersigned certifies that he/she has familiarized themselves with the State and Local codes and procedures pertaining to this application. The undersigned further hereby certifies that the information contained in this application is true and correct. This application shall be signed by the property owner(s).

PROPERTY OWNER(S) SIGNATURE: Patricia C. Thiel DATE: 10/27/25

**FOR CITY STAFF USE ONLY**

TOTAL FEE: \$ 100<sup>00</sup> CK #16 (SEE FEE SCHEDULE ON REVERSE PAGE) DATE FEE PAID: 10-27-2025

APPLICATION AND FEE RECEIVED BY: Theresa Hanaman PLAN COMMISSION MEETING DATE: 12-1-25

ATTACHMENTS (CHECK IF RECEIVED): SARB " " 11-18-25

FIVE DESCRIPTIONS  FIVE FULL-SIZE SETS  THIRTEEN PLAN SETS

PROPERTY TAX KEY NO/PLAN COMMISSION FILE NO: 13-072-04-07-000

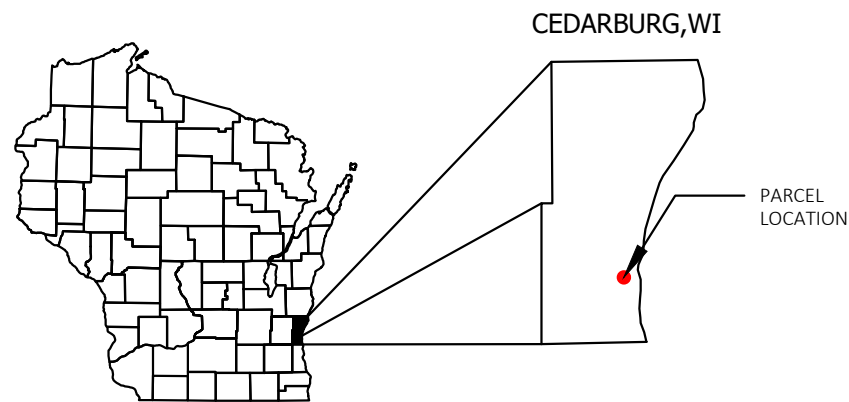
ZONING: R5-5 ALDERMANIC DISTRICT: 4 PREVIOUS MEETING: NA

# SUNNYSIDE LN. DEVELOPMENT

N56 W5543 SUNNYSIDE LN  
CEDARBURG, WI

## INDEX:

- C101: TITLE SHEET
- C102: EXISTING CONDITION
- C103: CONCEPT PLAN



VICINITY MAP  
N.T.S.



Dial **811** or (800)242-8511  
www.DiggersHotline.com

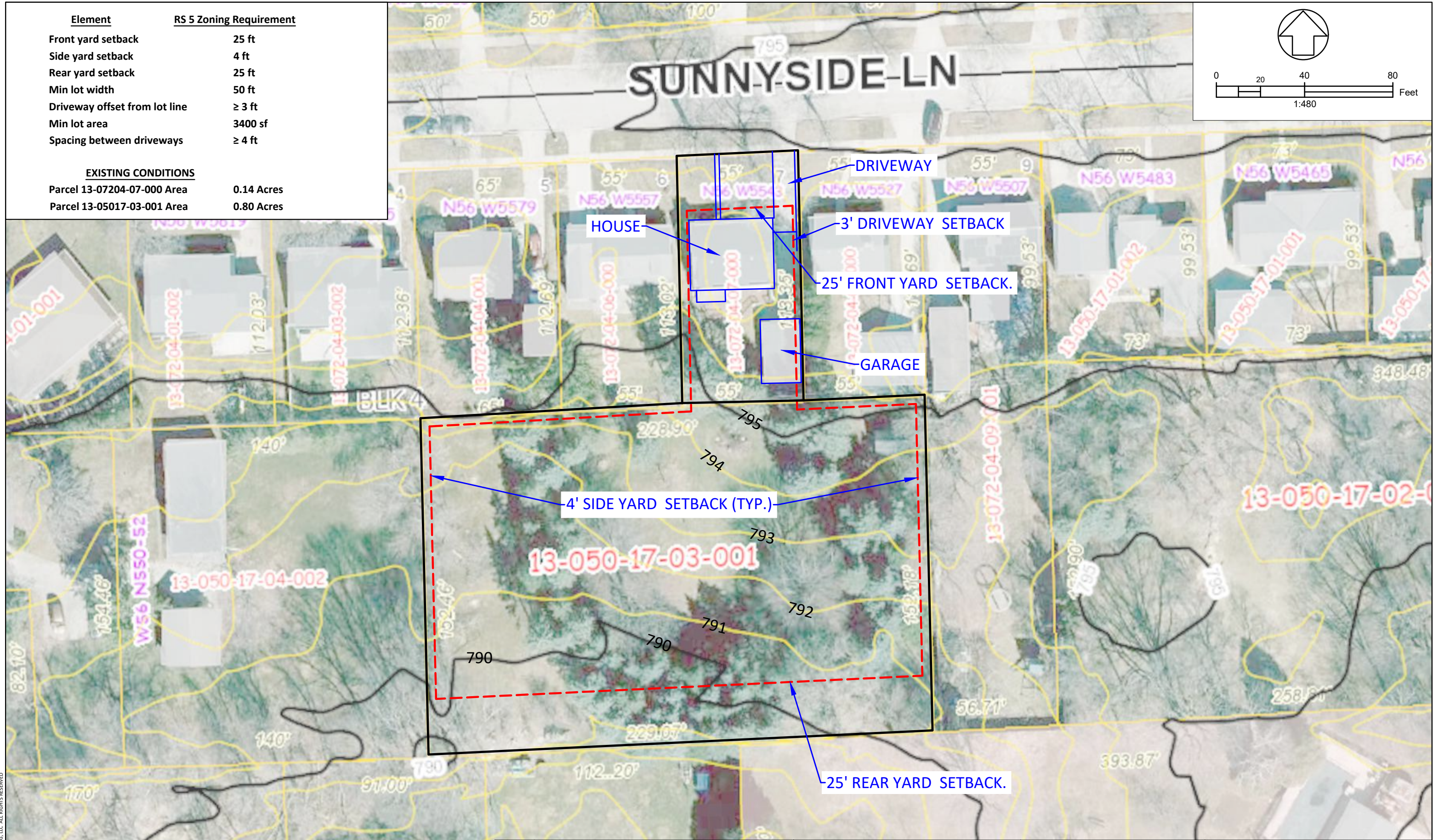
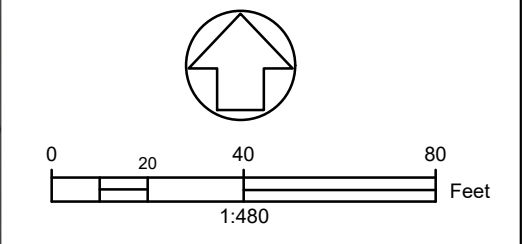
THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING UTILITY PROPERTY DURING CONSTRUCTION OPERATION AS OUTLINED IN THE SPECIFICATIONS. DIGGER'S HOTLINE NUMBER IS 1-800-242-8511. THESE UTILITIES LOCATED WITHIN THE PROJECT LIMITS OR IMMEDIATELY ADJACENT TO THE PROJECT CONSTRUCTION LIMITS ARE MEMBERS OF DIGGER'S HOTLINE.

# NOT FOR CONSTRUCTION

DATE	DESCRIPTION OF REVISION	NORTH ARROW:	PROJECT:	PREPARED BY:	CLIENT:
			<b>SUNNYSIDE LN DEVELOPMENT</b> CEDARBURG, WI		 MS SQUARED ENGINEERING LLC MSQUAREDENGINEERING.COM CEDARBURG - (262) 376-4246
			PROJECT #: 25-516      DATE: 07/30/2025	PARCEL 13-072-04-000 N56W5543 SUNNYSIDE LN. CEDARBURG, WI	
			DRAWN BY: O.RIAD      CHECKED BY: M.HAHM	DRAWING TITLE: TITLE SHEET      SHEET: C101	

Element	RS 5 Zoning Requirement
Front yard setback	25 ft
Side yard setback	4 ft
Rear yard setback	25 ft
Min lot width	50 ft
Driveway offset from lot line	≥ 3 ft
Min lot area	3400 sf
Spacing between driveways	≥ 4 ft

EXISTING CONDITIONS	
Parcel 13-07204-07-000 Area	0.14 Acres
Parcel 13-05017-03-001 Area	0.80 Acres



E:\PROJECTS\25-516 SUNNYSIDE DEVELOPMENT\ENGINEERING\CONCEPT PLANS\REVISIONS\EXISTING CONDITION.DWG DATE OF PLOT: 8/2/2025 12:48 PM  
 COPYRIGHT 2023, M SQUARED ENGINEERING, LLC. ALL RIGHTS RESERVED

DATE	DESCRIPTION OF REVISION



PROJECT: SUNNYSIDE LN DEVELOPMENT CEDARBURG, WI	
PROJECT #: 25-516	DATE: 07/30/2025
DRAWN BY: O.RIAD	CHECKED BY: M.HAHM

PREPARED BY:



**M SQUARED ENGINEERING LLC**  
 MSQUAREDENGINEERING.COM  
 CEDARBURG - (262) 376-4246

CLIENT: PARCEL 13-072-04-000 N56W5543 SUNNYSIDE LN. CEDARBURG, WI	
DRAWING TITLE: EXISTING CONDITION	SHEET: C102

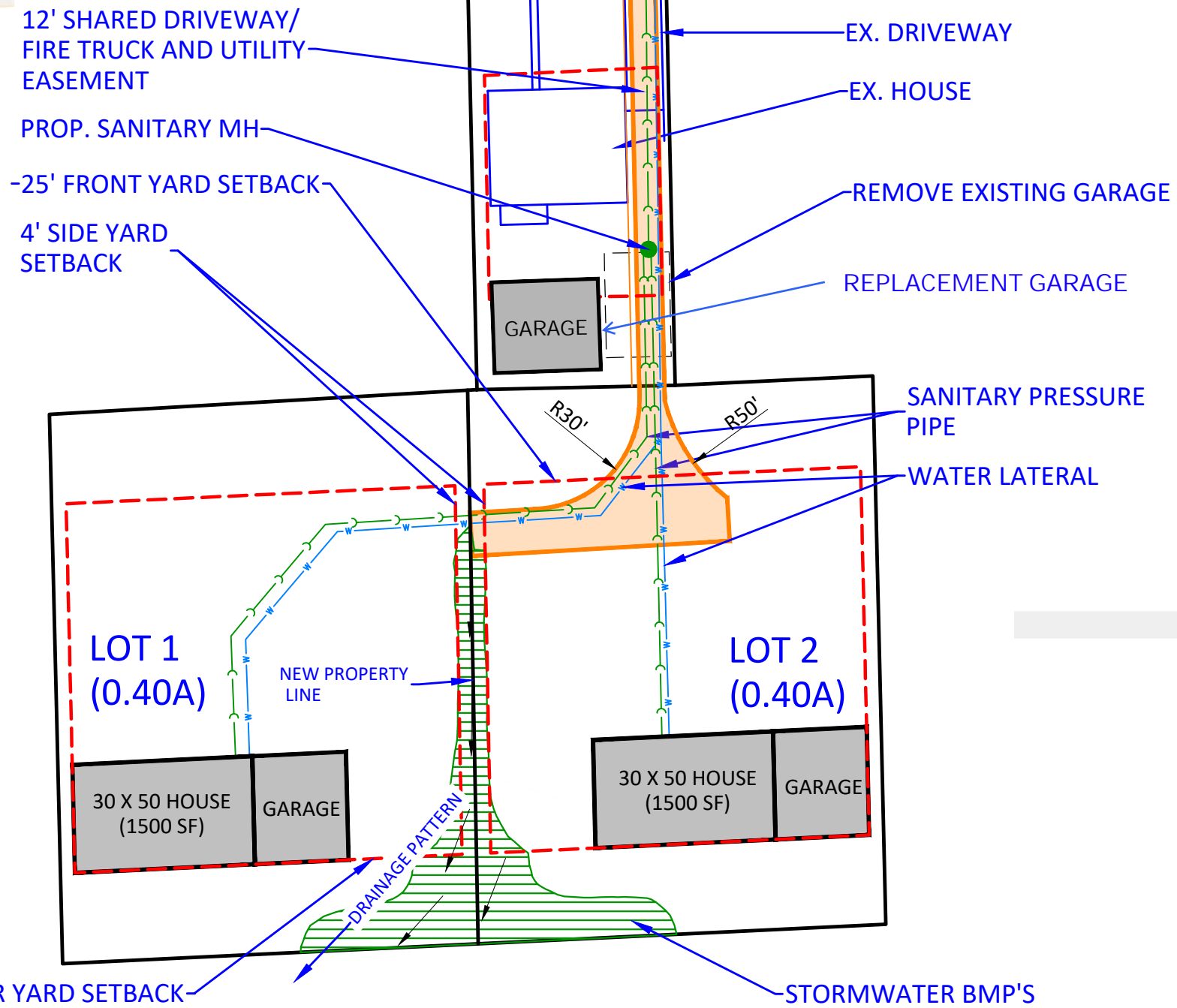
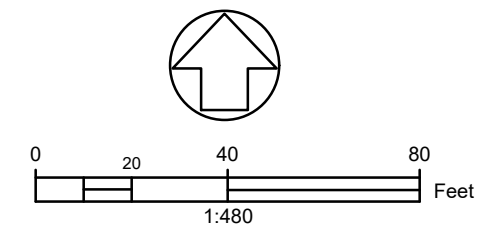
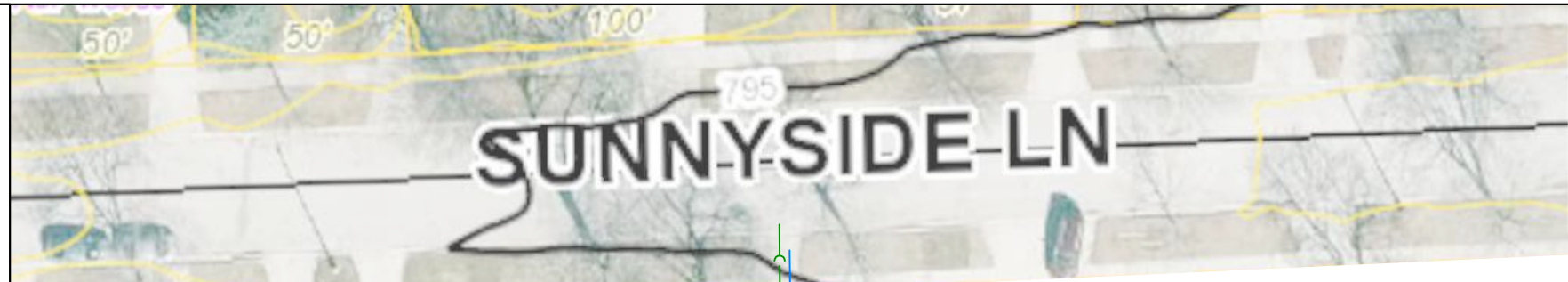
Element	RS 5 Zoning Requirement
Front yard setback	25 ft
Side yard setback	4 ft
Rear yard setback	25 ft
Min lot width	50 ft
Driveway offset from lot line	≥ 3 ft
Min lot area	3400 sf
Spacing between driveways	≥ 4 ft

**EXISTING CONDITIONS**

Parcel 13-07204-07-000 Area	0.14 Acres
Parcel 13-05017-03-001 Area	0.80 Acres

**PROPOSED CONDITIONS**

Parcel 13-07204-07-000 Area	0.14 Acres
LOT-1	0.40 Acres
LOT-2	0.40 Acres

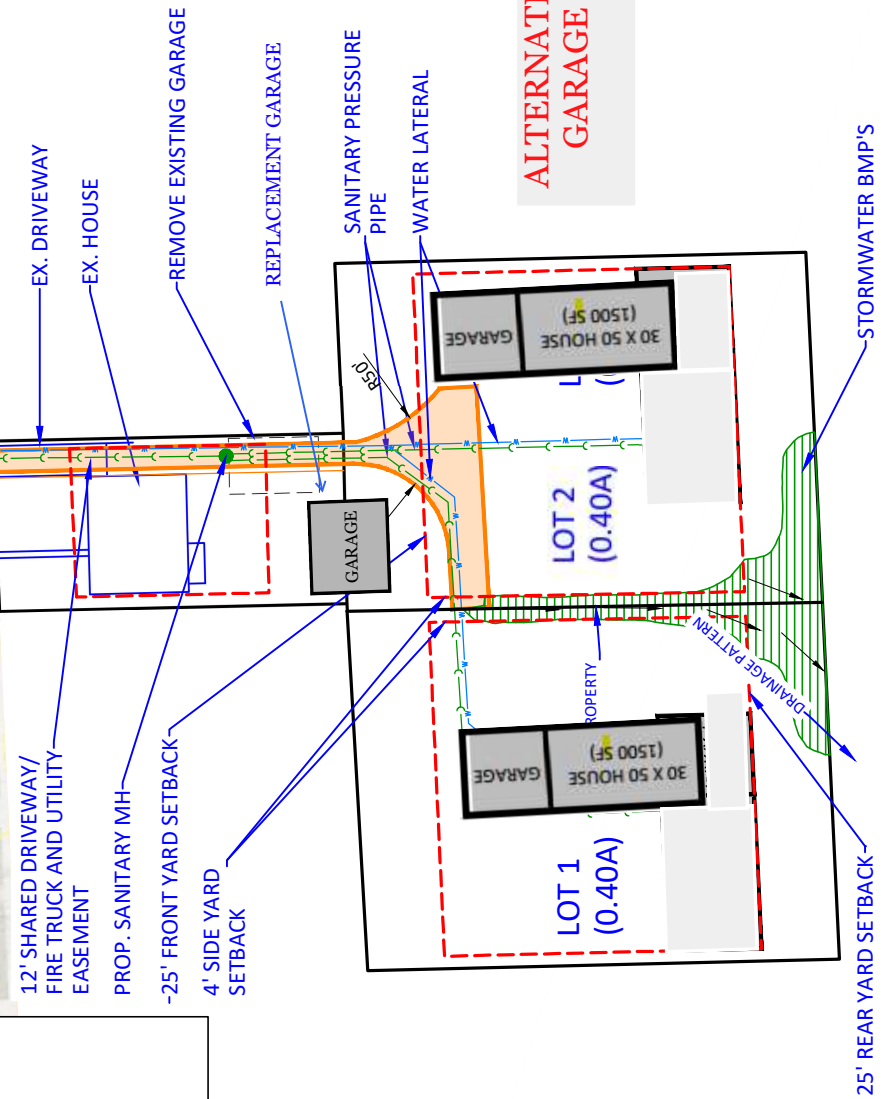
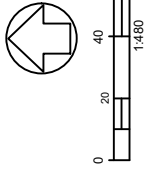


**LEGEND**

- - - SET BACK
- WATER LINE
- SANITARY LINE (PRESSURE PIPE)
- DRIVEWAY EASEMENT
- DRAINAGE EASEMENT

F:\PROJECTS\25-516 SUNNYSIDE LN DEVELOPMENT\DESIGN\CONCEPT PLANS\25-516 SUNNYSIDE LN DEVELOPMENT\CONCEPT PLANS\25-516 SUNNYSIDE LN DEVELOPMENT.DWG DATE OF PLOT: 8/4/2025 12:48 PM  
 COPYRIGHT 2025, M SQUARED ENGINEERING, LLC. ALL RIGHTS RESERVED.

DATE	DESCRIPTION OF REVISION	NORTH ARROW:	PROJECT:	PREPARED BY:	CLIENT:
		 NORTH	SUNNYSIDE LN DEVELOPMENT CEDARBURG, WI	 M SQUARED ENGINEERING LLC <small>MSQUAREDENGINEERING.COM CEDARBURG - (262) 376-4246</small>	PARCEL 13-072-04-000 <small>N56W5543 SUNNYSIDE LN. CEDARBURG, WI</small>
			PROJECT #: 25-516      DATE: 07/30/2025 DRAWN BY: O.RIAD      CHECKED BY: M.HAHM		DRAWING TITLE: CONCEPT PLAN      SHEET: C103



**ALTERNATE HOUSE AND GARAGE LOCATIONS**

RS 2 Zoning Requirement	
Element	Requirement
Front yard setback	25 ft
Side yard setback	4 ft
Rear yard setback	25 ft
Min lot width	50 ft
Driveway offset from lot line	≥ 3 ft
Min lot area	3400 sf
Spacing between driveways	≥ 4 ft
<b>EXISTING CONDITIONS</b>	
Parcel 13-07204-07-000 Area	0.14 Acres
Parcel 13-05017-03-001 Area	0.80 Acres
<b>PROPOSED CONDITIONS</b>	
Parcel 13-07204-07-000 Area	0.14 Acres
LOT-1	0.40 Acres
LOT-2	0.40 Acres

**LEGEND**

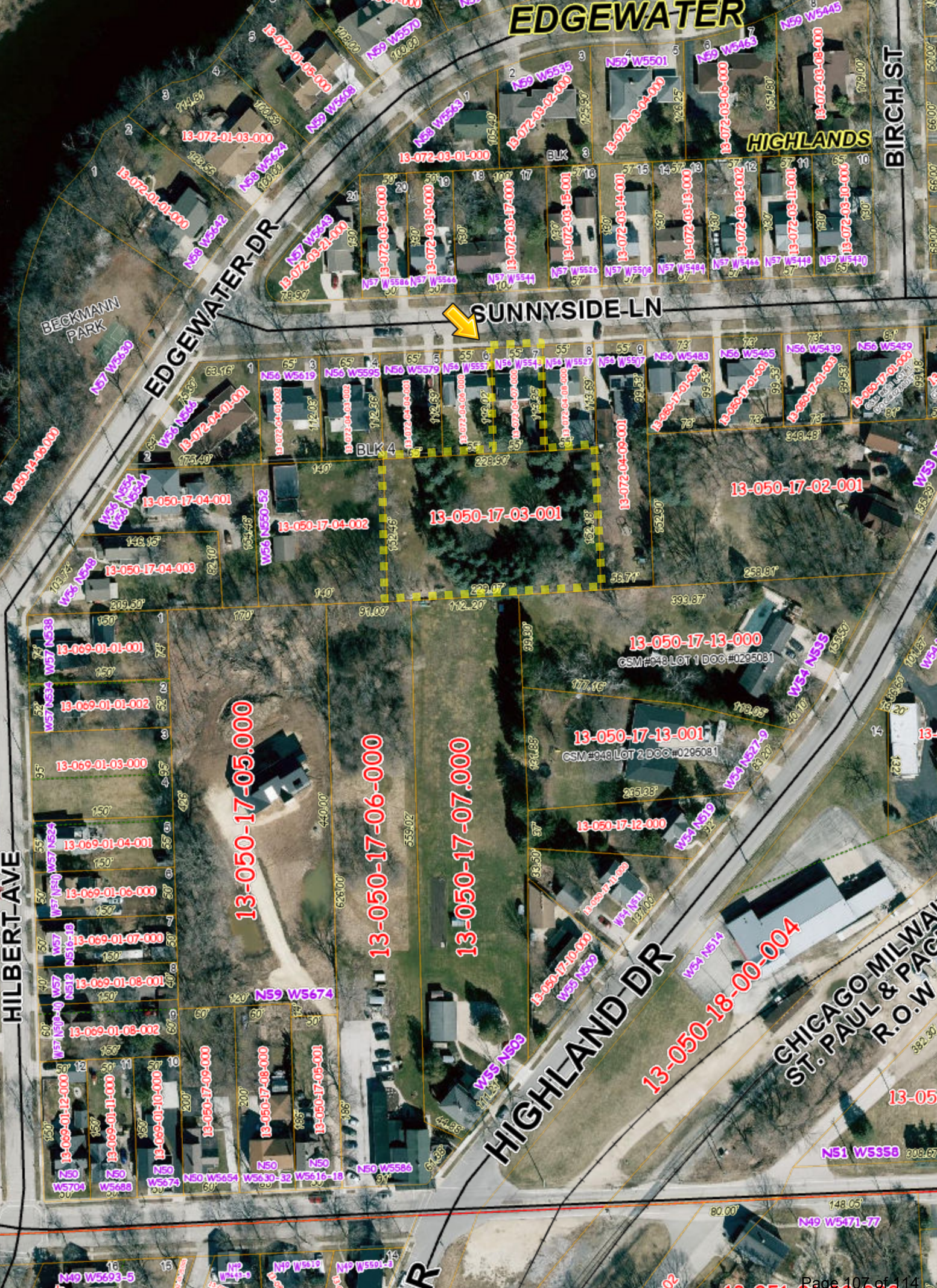
--- (Red dashed line)	SET BACK
— (Blue line)	WATER LINE
— (Green line)	SANITARY LINE (PRESSURE PIPE)
— (Orange line)	DRIVEWAY EASEMENT
— (Yellow line)	DRAINAGE EASEMENT

DATE	DESCRIPTION OF REVISION

<b>CLIENT:</b>	PARCEL 13-072-04-000 SUNNYSIDE LN CEDARBURG, WI
<b>PREPARED BY:</b>	M SQUARED ENGINEERING LLC MSENGR@MENGINEERING.COM CEDARBURG - (262) 376-6486
<b>PROJECT:</b>	SUNNYSIDE LN DEVELOPMENT CEDARBURG, WI
<b>DATE:</b>	07/09/2025
<b>CHECKED BY:</b>	M/AMM
<b>PROJECT #:</b>	25-516
<b>DRAWN BY:</b>	C/PLD
<b>DRAWING TITLE:</b>	CONCEPT PLAN
<b>SHEET:</b>	C103

# EDGEWATER

# HIGHLANDS



HILBERT AVE

EDGEWATER DR

SUNNYSIDE LN

HIGHLAND DR

CHICAGO MILWAU  
ST. PAUL & PACIFIC  
R.O.W

BIRCH ST

**Excerpt of DRAFT MINUTES for Site and Architectural Review Board meeting 11-18-25**

**C. Review, discussion, and consultative feedback to the applicant and Plan Commission regarding the request of property owner/applicants Patricia Thiel in c/o Sandie and Kevin Heinecke, to split their existing back/off-street lot located adjacent to their homestead property at N56 W5543 Sunnyside Lane, into two back/off-street lots. This existing, vacant, ~.8-acre back lot is zoned Rs-5 Single-Family Residential.**

Planner Censky reported that this applicant owns one street fronting lot with a home and garage on it at this location. They also own the .8-acre back lot directly south of this. They would like to create a driveway and utility accessway along the east side of their street front property to serve the back lot and divide the back lot into two Rs-5 Single-Family Residential compliant lots for future home(s) construction.

Several City Departments have reviewed the request and provided their comments and concerns for consideration. Section 13-1-27(b) of the City Code states that "all lots must abut a public street and must have a minimum frontage of 30 feet." Although the existing platted back lot is considered buildable as a legal nonconforming lot, creating a new lot that does not meet this minimum frontage requirement would necessitate obtaining a variance.

Board members are concerned about the narrow width of the driveway between houses, which makes it difficult for cars to pass. Architect Rushing proposed the idea of removing the front house and creating more back lots with ranch-style homes, similar to those in the neighborhood. Council Member Burkhart does not support the idea of developing new homes/sites in the backyard of existing homes.

**ACTION:** Architect Damsgaard made a motion, seconded by Council member Burkart, recommending to the Plan Commission that the concept presented be opposed due to the narrow driveway, so close to the existing homes, which could not support cars passing in/out simultaneously. It was further recommended that the applicant consider a different approach by taking out the front house entirely and using that space to create a proper access way for multiple lots. The Board supported the Planner's recommended conditions as follows:

- 1) Applicant to secure a variance or alternate solution to exempt them from the 30-foot minimum public street frontage requirement before returning to the SARB and Plan Commission with a Certified Survey Map (CSM) in support of this project.
- 2) Applicant is on notice that the existing and proposed new vacant lots meet the City's Code definition of an infill lot. Accordingly, any future plans to construct a home on these lot(s) will require review and approval by the Site and Architectural Review Board (SARB) and the Plan Commission prior to issuance of a building permit.
- 3) Applicant to satisfy the requirements of the various departments as set forth in their concept review/comments as follows:
  - The new garage/accessory structure shall be placed not less than 3-feet from the property line./Building Inspector

- There is a pole line on the south side of N56 W5543 Sunnyside Lane that can serve electric to the north side of the new homes or possibly the east/west side depending on the orientation and location of the homes./Electric Utility.
- Historically, the lot to the south has had flooding issues. I would require that any development in this area to prove that their development is causing the stormwater runoff to be no worse than the existing condition./City Engineer-Director of Public Works.
- The developer would be expected to follow City specifications for the installation of the sanitary lateral. This would involve digging into a road that was reconstructed 2 years ago. We generally have a 5-year moratorium on excavating new streets, but this could be waived if deemed essential./City Engineer—Director of Public Works.
- These lots would be subject to impact fees./City Engineer—Director of Public Works.
- If these lots will be owned by separate owners, each lot will need its own water service from the water main in Sunnyside to include individual curbstops at the property line at Sunnyside. Clearly documented easements will be needed as well, since the utilities look to be crossing a couple lot lines./Water Department.

Motion carried without a negative vote.

# PLANNERS REPORT

To: City of Cedarburg Plan Commission

By: Mary Censky

Date Prepared: December 1, 2025

## General Information:

**Agenda Item: 7.D.**

**Property Owner/Applicant:**

City Initiated Item

**Request:**

Correction to recently adopted Ordinance 2025-28 regarding permitted size of A-Frame Signs placed in the Washington Avenue sidewalk right-of-way.

**Location:**

Washington Avenue sidewalk ROW in B-3 Central Business District.

## Background:

The Plan Commission and Common Council recently recommended/adopted changes to how individuals and businesses can utilize the Washington Avenue Sidewalk right-of-way.

It was not intended that the new regulations would change the permitted *size* of A-frame/Sandwich board signs that can be placed in the sidewalk right-of-way. Rather, it was only intended to specify the permitted location.

The permitted A-Frame sign size was inadvertently written into the new Ordinance as 4 square feet maximum size per sign face. The Sign Code currently permits up to 8 square feet per sign face. The Code needs to be consistent in this respect.

## Recommendation:

To correct this issue, the Plan Commission may recommend that the changes shown below (in red) be placed into ordinance format and sent on to the Common Council for adoption.

ORDINANCE NO. 2025-28

An Ordinance to create Section 13-1-55(d)(7) To Allow Limited Encroachments to be placed upon Washington Avenue Sidewalk right-of-way as Temporary Accessory Uses that may be Permitted in the B-3 Central Business District

The Common Council of the City of Cedarburg, Wisconsin, does ordain as follows:

SECTION 1. Section 13-1-55(d)(7) of the Code of Ordinances of the City of Cedarburg is hereby created as follows:

*(d) Permitted Accessory Uses*

(7) Temporary placement of tables, chairs, benches, a-frame style signs (displayed only during the days/hours that the business they support is open for business and not to exceed ~~4~~8 sq. ft. per sign face with the faces not more than 2 feet apart from each other at any point) , seasonal entryway vestibules, and similar/related temporary accessories upon the sidewalk right of way, subject to full compliance with the following conditions and any additional conditions the City Building Inspector, Planner, and/or Plan Commission believe are necessary to ensure the public safety, maintain the principal functional purpose of the sidewalk as a pedestrian throughway, and complement/preserve the character of the adjacent and surrounding buildings and the street front ambiance.

...

...

**ORDINANCE NO. 2025-28**

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To Allow Limited Encroachments to be placed upon Washington Avenue  
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  - (a) A minimum 5-foot-deep clear pedestrian throughway shall be maintained throughout all frontages. If less than 5 feet clear presently exists due to the presence of fixed public assets (such as trees, trash cans, light posts, street signs, hydrants, utility boxes), and/or existing, permanently fixed building improvements (such as but not necessarily limited to attached stairs/steps/stoops/railings), and/or existing, legal nonconforming fixed private improvements (such as, for instance, but not necessarily limited to clock and awning support posts possibly), then the preexisting actual depth of clear pedestrian throughway shall be the required minimum. No new encroachments upon the minimum required clear pedestrian throughway shall be permitted.
  - (b) A minimum 3-foot-deep clear terrace shall be maintained between the back of curb and the minimum required clear pedestrian throughway throughout all frontages. Within this 3-foot-deep terrace area, appropriately sized a-frame style signs that comply with Section 15-5-14(d)(3)a.8. of the City Code may be permitted. If less than 3 feet clear terrace space presently exists due to the presence of fixed public assets (such as trees, trash cans, light posts, street signs, hydrants, utility boxes), and/or existing, permanently fixed building improvements (such as but not necessarily limited to attached stairs/steps/stoops/railings), and/or existing, legal nonconforming fixed private improvements (such as, for instance, but not necessarily limited to clock and awning support posts possibly), then the preexisting actual depth of clear terrace shall be the required minimum. No new

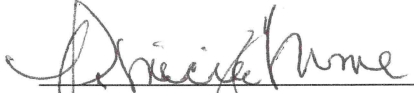
encroachments, except for appropriately sized a-frame style signs, shall be permitted within the minimum required clear sidewalk terrace area.

- (c) Subject to full compliance with a. & b. above, application for Temporary Washington Avenue Sidewalk Right of Way Encroachment Permit may/shall be made on forms provided by the City Planning Department. The following support materials shall be included with the application at the time of submittal:
  - (1) Purpose statement.
  - (2) Scaled and accurately dimensioned site plan.
  - (3) Detailed imagery as to colors, materials, size and type of encroachment.
  - (4) Detailed imagery of the setting/surroundings where the encroachment is proposed to be located.
  - (5) Operating plans, including the proposed dates, times, and nature of the encroachment/use of the encroachment.
  - (6) Any additional information the City staff deems necessary to aid in their evaluation of the request.
- (d) All applications and supporting materials for properties that are located in the Historic Preservation Overlay Zoning District, excluding qualifying a-frame style signs, must be reviewed and approved by the Landmarks Commission prior to issuance of a Permit to ensure that the compilation of all objects proposed to be placed on the sidewalk right of way complement/preserve the character of the adjacent and surrounding buildings and the street front ambiance.
- (e) Alcohol sales, service, and/or consumption is not permitted in areas approved for placement of temporary sidewalk right of way encroachment under this section.
- (f) Each Permit shall have a maximum term of permission not to exceed six months, except in the case of a-frame style signs for which the term of permission may be indefinite. Shorter terms of permission may be established based upon the seasonal suitability and stated need for certain types of encroachments.
- (g) Adequate lighting shall be available within the immediate surroundings to ensure that all encroachment objects are sufficiently visible to pedestrians on the sidewalk at all times of the day.
- (h) A Temporary Use Encroachment Permit must be issued to/received by the applicant prior to placement of any sidewalk right of way encroachments. Prior to issuance of the Permit, all applicants are required to have the following assurance documents on file with the City Clerk: A fully executed City of Cedarburg Hold Harmless and Indemnity Agreement Form.
- (i) The City Planner, Building Inspector, or Plan Commission may attach conditions of approval to any Temporary Washington Avenue Sidewalk Right of Way Encroachment Permit.

**SECTION 2.** Severability. If any provision of this ordinance is invalid or unconstitutional, such invalidity or unconstitutionality shall not affect the other provisions of this ordinance.

**SECTION 3.** Effective Date: This ordinance shall take effect and be in force from and after its passage and publication as provided by law.

Passed and adopted this 25<sup>th</sup> day of August, 2025.

  
Patricia Thome, Mayor

Attest:

  
Tracie Sette, City Clerk

Approved as to form:

  
Michael P. Herbrand, City Attorney