



CITY OF CEDARBURG
A MEETING OF THE SITE AND ARCHITECTURAL REVIEW BOARD
TUESDAY, OCTOBER 21, 2025 – 8:30 AM

A meeting of the Site and Architectural Review Board, City of Cedarburg, Wisconsin, will be held on Tuesday, October 21, 2025 at 8:30 AM. The meeting will be held in-person at City Hall, W63 N645 Washington Avenue, Cedarburg, WI., on the second floor, Council Chambers and online utilizing the Zoom app. For access to the Zoom link, send a request to cityhall@cityofcedarburg.wi.gov.

AGENDA

1. CALL TO ORDER
2. ROLL CALL
3. STATEMENT OF PUBLIC NOTICE
4. APPROVAL OF MINUTES
 - A. September 23, 2025
5. REGULAR BUSINESS; AND ACTION THEREON
 - A. Applicant Luther Group, in c/o Architect Mark Hertzfeld/Design 2 Construct, requests review, discussion and favorable recommendation to the Plan Commission regarding their plans to construct an ~85,000 sq. ft. spec industrial building on an 8.9-acre vacant lot in the City's Hwy. 60 Business Park (i.e., Tax Parcel #13-022-03-004.00). This property, currently owned by the City of Cedarburg, is zoned M-3 Business Park District.
 - B. Applicant The Glen at Quarry Park LLC, in c/o John Wahlen and Joe Orendorf of Cornerstone Development, requests review, discussion, and favorable recommendation to the Plan Commission regarding their 24-lot single-family residential Preliminary Plat proposed for development on 11.5 acres of vacant land located directly west of the properties located at 1067 and 1085 Washington Avenue. This property is currently zoned part (10-acres) A-1 Agricultural District (Temp), and part (1.5 acres) Rs-3 Single Family Residential District.
6. ADJOURNMENT

City of Cedarburg is an affirmative action and equal opportunity employer. All qualified applicants will receive consideration for employment without regard to race, color, religion, sex, disability, age, sexual orientation, gender identity, national origin, veteran status, or genetic information.

City of Cedarburg is committed to providing access, equal opportunity and reasonable accommodation for individuals with disabilities in employment, its

services, programs, and activities. To request reasonable accommodation, contact the Clerk's Office, (262) 375-7606, email: cityhall@cityofcedarburg.wi.gov.

MEMBERS – PLEASE NOTIFY CITY PLANNER'S OFFICE IF UNABLE TO ATTEND THIS MEETING.

**CITY OF CEDARBURG
SITE AND ARCHITECTURAL REVIEW BOARD
September 23, 2025**

1. A regular meeting of the City of Cedarburg Site and Architectural Review Board was held on Tuesday, September 23, 2025, at Cedarburg City Hall, W63 N645 Washington Avenue, upper level, Council Chambers, and online via the Zoom app. Chairman Adam Voltz called the meeting to order at 8:30 a.m.

2.

ROLL CALL: Present - Chairman Architect Adam Voltz, Architect Paul Rushing, Plan Commission Co-Chairperson Jack Arnett, Council Member Kristen Burkhart

Absent- Architect Peter Damsgaard

Also Present - City Planner Mary Censky (via Zoom), Administrative Assistant Theresa Hanaman, Debra Helgeson, and Andrew Helgeson (via Zoom)

3. **STATEMENT OF PUBLIC NOTICE**

Administrative Assistant Hanaman confirmed that the meeting agenda had been posted and distributed in compliance with the Wisconsin Open Meetings Law.

4. **APPROVAL OF MINUTES**

A motion was made by Council member Burkart, seconded by Architect Rushing, to approve the meeting minutes from August 19, 2024. Motion carried without a negative vote. Architect Damsgaard absent.

5. **COMMENTS AND SUGGESTIONS FROM CITIZENS -NONE**

6. **REGULAR BUSINESS AND POSSIBLE ACTION THEREON**

- A. **APPLICANTS/PROPERTY OWNERS, ANDREW AND DEBRA HELGESON, REQUEST REVIEW, DISCUSSION, AND POSSIBLE ACTION/RECOMMENDATION TO THE PLAN COMMISSION AS TO THEIR SITE AND ARCHITECTURAL PLAN DETAILS SUBMITTED IN SUPPORT OF THEIR PLANNED UNIT DEVELOPMENT (PUD) REZONING APPLICATION. THE APPLICANTS PROPOSE TO CONVERT EXISTING BUILDING SPACE INTO A NEW RESIDENCE/DWELLING UNIT AND TO ADD A NEW ATTACHED GARAGE SERVING SAME, ON THEIR PROPERTY LOCATED AT N56 W6393-6395 CENTER STREET. THIS .13-ACRE PROPERTY IS CURRENTLY ZONED B-3 CENTRAL BUSINESS DISTRICT. THE APPLICANT REQUESTS REZONING TO B-1 NEIGHBORHOOD BUSINESS DISTRICT WITH PUD OVERLAY.**

Planner Censky reported that the property has an existing principal building and a detached accessory shed on it. The principal building is currently subdivided into multiple residential rental units and multiple commercial rental units. There is one space on the first floor at the rear of the building that is currently used as a landlord shop space. The applicant proposes converting this shop space into a two-story residential dwelling unit and adding an attached garage to the west wall of the new dwelling space.

The Interurban Trail is a zoning District boundary between the residential districts (to the west) and the B-3 Commercial District (to the east) throughout the central city area. A few exceptions to this land use pattern include a couple of small multi-family sites and the City Emergency Government facility located on Western Avenue.

In May 2025, the Plan Commission gave this applicant favorable feedback as to the prospect of rezoning this site from the existing B-3 Central Business District to B-1 Neighborhood Business District w/ Planned Unit Development Overlay. The B-1 Neighborhood Business District lists "Residential units, excluding storefront space and new principal residential structures," as a permitted use.

The only driveway access and parking available to serve this site is located, in large part, on land owned by Wisconsin Electric Power Company. The applicant indicates that they have an enduring easement for continued use of the WEPCO property for access and parking, serving this building and its various uses. In the new plan, this easement area becomes imperative as it's the only way a vehicle could make its turn to get in/out of the proposed new garage.

Planner Censky confirmed the shed currently on the property will be removed.

Commissioner Arnett brought up the lease/easement agreement from pages 7 and 21 of the packets, stating that there are two different definitions of such an agreement, and there should be clarification if this agreement is null and void at any point in time. He stated he has concerns about the clause "Termination by the Landlord or Tenant may terminate this lease at any time after the expiration of the initial term upon providing the other party with at least 30 days prior written notice, which termination date shall fall on the last day of a month. Any prepaid unearned rent shall be refunded to Tenant provided there are no other sums due from Tenant or obligations unfulfilled." What happens if WEPCO ever backs out of this lease agreement.

The applicant mentioned they pay an annual fee and are awaiting the most current leasing information/confirmation from WEPCO as requested by Planner Censky. His thoughts are that this agreement will not be terminated by WEPCO due to the Interurban Trail. If the leased area were removed, the applicant would request permission from the City to put a driveway cut directly on the frontage of his own property and run the driveway along the west side of the building to the north wall of the proposed garage. Planner Censky felt it was very unlikely the City would object to such a driveway change if it ever became necessary. The applicant noted that there had been a driveway directly into his own property previously, but it was removed at the City's request to accommodate the Interurban Trail. Planner Censky confirmed that she has been using the terms "lease" and "easement agreement" interchangeably in this matter.

Chairman Voltz expressed appreciation for the overall plans to upgrade and redress the building but raised concerns regarding the proposed addition setback. He also voiced concern about the use of vinyl siding and vinyl shutters, recommending the use of cedar or Hardie type siding instead, and being authentic with the shutters. He requested that the applicant return with samples of the proposed window casing materials, more thoughtful shutter solutions, and alternative siding options.

Chairman Voltz also questioned the composition of the windows on the left (east) elevation, emphasizing that details still matter. He reiterated his preference for cedar or wood simulation Hardie or similar types of siding over vinyl and stated that shutters should either be made of real materials or omitted entirely if they do not appropriately cover the windows.

Planner Censky exited the Zoom meeting at 8:56 a.m.

Architect Rushing supported the placement of the garage on the south side, stating that it fits well in that location and would be more visually appealing. He recommended using fiber cement siding due to its durability and substantial appearance.

The Applicant noted they are exploring alternative siding materials.

Council Member Burkart inquired about the Floor Area Ratio and green space for both the current and proposed lot. She referenced a similar case on Center Street that was denied and emphasized the importance of applying consistent standards.

Architect Rushing advised the applicant to carefully consider the width of the windows and the size of the shutters to achieve a more authentic appearance.

Chairman Voltz and Architect Rushing ultimately suggested relocating the garage to improve access. The Site and Architectural Review Board requested that the applicant return with updates before making any recommendation to the Plan Commission, including:

- A revised garage/garage entrance location
- Updated siding materials
- Updated shutter details
- Detailed window/window casing details

Chairman Voltz also requested more detailed information on the window design and encouraged further development of the window composition on the east elevation.

Council Member Burkart raised concerns about the rear of the building, particularly its proximity to the lot line as shown on the survey. She expressed specific concern about the garage entrance, noting that access may require use of the utility easement. This may necessitate reconsideration of the garage door's location.

SARB members Voltz and Rushing discussed possible solutions for the garage door entry issue,

such as moving the door further east on the south wall of the garage or pulling the whole garage a bit further north on the site. It was noted that the current configuration may require encroachment onto the neighboring property to navigate into the garage.

7. COMMENTS AND ANNOUNCEMENTS BY SARB COMMISSIONERS – NONE

8. CHAIRMAN’S ANNOUNCEMENTS – NONE

9. ADJOURNMENT

A motion made by Commissioner Arnett, seconded by Council Member Burkart, to adjourn the meeting at 9:12 am. Motion carried without a negative vote. Architect Damsgaard absent.

Theresa Hanaman
Administrative Assistant

DRAFT

PLANNERS REPORT

To: City of Cedarburg Site and
Architectural Review Board

By: Mary Censky
Date: October 21, 2025

General Information:

Agenda Item: 5.A.

Applicant: Luther Group, in c/o Architect Mark Hertzfeld/Design 2 Construct

Property Owner: City of Cedarburg

Requested Action: Approval of Building, Site, Landscaping, and Exterior Lighting plans.

Current Zoning: M-3 Business Park District

Current Master Plan Classification: Industrial and Manufacturing

Surrounding Zoning/Land Use:
North: M-3 Business Park District
South: Rd-1 Two-Family Residential w/ PUD Planned Unit Development Overlay
East: M-3 Business Park District
West: M-3 Business Park District

Lot Size: ~ 8.9 acres

Location: Forward Way (between N117 W6751 and W65 N1170 Forward Way (Tax Parcel No. 13-022-03-004.00))

Discussion:

The applicant requests approval to develop a ~85,000 sq. ft. industrial spec office/manufacturing/warehouse flex use building on this vacant site. Future tenants are not yet determined.

The M-3 Business Park District lists ‘manufacture and fabrication of goods within the confines of a building’, and ‘business offices’ as permitted uses that can be considered for approval by the Plan Commission.

The applicant’s plans have been reviewed against the City’s Code standards for the M-3 Business Park Zoning District and the requirements set forth in the Declaration of Restrictions and Covenants for the Highway 60 Business Park. Significant findings include:

- As to the M-3 Zoning District Standards
 - Plans comply with the lot area, lot width, lot coverage and minimum open space requirements.
 - Plans comply with the building setback, yard, and maximum height requirements.
 - Parking requirements are TBD, based upon proposed future tenant occupancies.
 - For Business Offices. One space per 200 square feet of gross floor area, plus one space per employee for the work shift with the largest number of employees.
 - For Manufacturing, Processing, Fabrication, and Storage Operations. One space per employee for the two consecutive work shifts with the largest number of employees.
 - For Warehouse. One space per employee for the work shift with the largest number of employees, plus one space per 5,000 square feet of gross floor area.
 - Parking stall sizes, at 10’w x 18’d are Code compliant.
 - The loading dock and truck traffic center of this plan faces a residential development to the south. Purpose statement for M-3 provides, among other things, that “Uses in the M-3 District are also intended to provide ample off-street parking and loading areas, and landscaped planting screens in those areas adjacent to or abutting residential or other non-commercial uses, to prevent adverse effects upon the adjoining areas”.
- As to the Declaration of Restrictions and Covenants for the Highway 60 Business Park
 - Maintained (vs natural) landscaping should be maintained throughout the front building setback, from side lot line to side lot line.
 - Eight parking stalls violate the required 25-foot parking setback.
 - Buildings shall be designed by an architect or engineer. All sides, elevations or facades of all buildings and structures shall be visually pleasing and architecturally and aesthetically compatible with the surrounding environment, as determined by the Plan Commission. Building materials shall be selected for their ability to present a visual statement of a building's purpose, attractiveness and permanence. The building materials used shall be harmonious with the general character of other buildings and structures on the property.
 - The front, side and rear walls of all buildings shall be faced with brick, decorative masonry, stone, or architecturally-finished (including, without

limitation, painted) precast concrete panels or other decorative material approved by the Plan Commission. For the purpose of this architectural standard, light weight or cinder concrete block shall not be considered a decorative masonry material. Exterior gutters and downspouts shall be permitted only along the side and rear of buildings,

Metal siding shall be used only as a minor building component not to exceed twenty-five percent (25%) of exterior wall surface, excluding roofing, in combination with one of the above materials unless there is Plan Commission approval to exceed this amount. The metal panels must be attractive, durable, of an earth tone or compatible color and not merely an inexpensive method of building.

- No building, structure or improvement shall be in excess of forty-five (45) feet in height above grade, excluding any utility penthouse.
- The architectural standards and design of any accessory buildings shall be consistent with the design and materials of the principal buildings(s).
- Prefinished metal siding on rear or side walls shall be permitted until all expansions have been completed. At the time of completion, all side and rear walls shall have finished materials as agreed upon by the Plan Commission.

Exterior lighting of the site and building calls for use of full cut-off type fixtures and recessed cans. This mitigates concerns as to glare. The only exception is with the low-intensity pedestrian-scale bollard lights near the parking lot and walkway areas. Maximum footcandles on the ground at the lot lines appear to be less than .5 throughout. This lighting plan is considered to be compliant with [Section 13-1-174 - Glare, Heat and External Lighting](#) as set forth in the City Code.

Recommendation:

The Planner recommends the following conditions be considered for attachment to any recommendation for approval the Site and Architectural Board may be inclined to make in this matter:

- 1) Applicant to provide compliant area calculations for:
 - a. Parking area landscaping not less than 5%.
 - b. Use of metal siding material not to exceed 25%
- 2) Applicant to provide a suitable dumpster enclosure plan (size, materials, colors, door details,...) for review and approval by the Plan Commission.
- 3) The eight parking stalls that violate the 25-foot front setback requirement must be removed from the plan.
- 4) The rear loading dock and extensive paved circulation area shall not be used as a parking lot (with the exception of vehicles temporarily backed-up to dock doors).
- 5) Outside storage of materials equipment and supplies at this site is neither proposed nor permitted at this time.

- 6) Applicant to install a buffer planting area, consisting of large deciduous canopy trees (such as Autumn Blaze Maple, White Oak, Quaking Aspen,... for instance) to screen the view to the south and southeast sides of the building from the adjoining residential neighborhood Stone Lake. These trees should be planted at not less than 2” caliper at chest height at planting, and on 60 centers. Additional large coniferous trees should be added/intermixed among these deciduous trees. Quantity to be determined by the Plan Commission.
- 7) Applicant to extend the no-mow/low grass along their entire common boundary with the childcare property next door.
- 8) Rooftop HVAC shall not extend higher than the height of the shortest parapet wall on the building. All HVAC shall be screened from the surrounding view.
- 10) Any signs to be placed at this site/building shall be subject to the requirements of the City Sign Code and the Declaration of Restrictions and Covenants for the Highway 60 Business Park.
- 11) Prior to any occupancies in this building, the applicant agrees that the Plan Commission shall review and consider the scale and nature of the proposed use/tenancy and it’s operating characteristics to determine if the use indeed complies with the permissions of the M-3 Zoning District and the Declaration of Restrictions and Covenants for the Highway 60 Business Park. The Plan Commission shall also consider whether the site has sufficient parking to support the proposed use. Plan Commission approval shall be received prior to making an application for individual occupancies in this building.
- 12) Applicant to satisfy the requirements of City Engineer, Fire Department, Utility and other departments as to, for instance, but not necessarily limited to (see review/comments below).
 - a. Recommend minimum slope of 1% for asphalt pavement.
Recommend minimum slope of 0.5% for concrete curb & gutter.
Thanks, Mike Wieser, P.E. Director of Engineering & Public Works
 - b. There is electric near the property which can be extended to the new building. As usual CL&W will need a utility easement to the new transformer location. It was noted on the prints that a street light needs to be removed and relocated. On the print C-3 it states “Remove and salvage existing light pole for relocation...” this street light pole will need to be removed and relocated by CL&W.
Thank you. Jeff Thierfelder Utility Engineer Cedarburg Light & Water Utility
 - c. Fire Department comments for this project are:
 - Ensure turning radii of all driveway points are adequate for fire apparatus to navigate
 - With there currently being no planned tenants, future alterations to the sprinkler system may be required depending on the hazard type of future tenants
 - The location of fire protection controls and features will be placed in locations approved by the fire department
 - Additional fire hydrants should be placed around the building – Plans indicate one hydrant by the West entrance to the property, which require a +750’ hose lay to reach the SE corner of the building

- Having a hydrant located on the West, South, and East sides of the building/property would be ideal
- Additional Knox boxes may be needed based on the size of the building and configuration of tenant spaces. This should be discussed with fire department staff.

Thank you, Blake R. Karnitz, FO, FM Captain of CRR Cedarburg Fire Department

d. Water Dept. Diagram also,

- No real issues with this, however, I would like to know if the private 6” water main with the private fire hydrant is really necessary with a public fire hydrant right in front of this property on Forward Way...?

Timothy D. Martin Water Utility Superintendent Cedarburg Light and Water Utility



LAND DEVELOPMENT APPLICATION

PROPERTY LOCATION/ADDRESS: Forward Way

APPLICANT/BUSINESSNAME: Design 2 Construct

APPLICANT/BUSINESS ADDRESS: Mark Hertzfeldt / N173W21010 Northwest Passage 53037

STATUS OF APPLICANT: OWNER AGENT BUYER OTHER _____

PHONE: 262-677-9933 EMAIL: mhertzfeldt@design2construct.com

PROPERTY OWNER (IF DIFFERENT): Luther Group / Dave Merrick

PROPERTY OWNER MAILING ADDRESS: 780 Elm Grove Road, Elm Grove 53122

PROPERTY OWNER PHONE: 414-979-1001 PROPERTY OWNER EMAIL: dmerrick@luthergrp.com

REQUEST FOR (CHECK ALL THAT APPLY):

- CONCEPT REVIEW
- SITE/ARCHITECTURAL PLAN APPROVAL
- SUBDIVISION PLAT OR CSM REVIEW
- ZONING DISTRICT CHANGE
- CONDITIONAL USE ZONING
- ANNEXATION REQUEST
- VARIANCE/BOARD OF APPEALS
- OTHER _____

DESCRIBE REQUEST: _____

Construction of a new 85,000 sf spec industrial building

PLEASE SUBMIT: **FIVE (5) COPIES OF WRITTEN DESCRIPTION OF PROPOSAL OR REQUEST FOR CITY STAFF REVIEW -PLUS ELECTRONIC FIVE (5) FULL SETS OF SUPPORTING DRAWINGS, SKETCHES OR SURVEY MAPS FOR CITY STAFF REVIEW PLUS ELECTRONIC TEN (10) SETS OF PLANS (11" x 17" MAX) FOR PLAN COMMISSION REVIEW -PLUS ELECTRONIC**

ELECTRONIC COPIES MAY BE SENT TO THANAMAN@CITYOCFEDARBURG.WI.GOV

The undersigned certifies that he/she has familiarized themselves with the State and Local codes and procedures pertaining to this application. The undersigned further hereby certifies that the information contained in this application is true and correct. This application shall be signed by the property owner(s).

PROPERTY OWNER(S) SIGNATURE:  DATE: 9/24/25

FOR CITY STAFF USE ONLY

TOTAL FEE: \$ _____ (SEE FEE SCHEDULE ON REVERSE PAGE) DATE FEE PAID: _____

APPLICATION AND FEE RECEIVED BY: _____ PLAN COMMISSION MEETING DATE: _____

ATTACHMENTS (CHECK IF RECEIVED):

- FIVE DESCRIPTIONS
- FIVE FULL-SIZE SETS
- THIRTEEN PLAN SETS

PROPERTY TAX KEY NO/PLAN COMMISSION FILE NO: _____

ZONING: _____ ALDERMANIC DISTRICT: _____ PREVIOUS MEETING: _____

Planning Department
City of Cedarburg
W63 N645 Washington Avenue
Cedarburg WI 53012

September 29, 2025

Re: Project Narrative for Speculative Industrial Building

Introduction:

Included with this project narrative you will find the graphical information regarding the proposed business development located on Forward Way in the Cedarburg Business Park. The proposed development will be a new Speculative Industrial Building. The new development will include a new free-standing 85,000 square foot building and the requisite site development needed to support the new building.

There are currently no tenants secured for the building.

Existing Site:

The existing site is approximately 8.09 acres and is currently vacant. The site frontage includes a stormwater pond to the East, undevelopable land to the South, Cornerstone Christian Learning Center to the west and similarly zoned parcels to the North. Vehicular access to the site is limited to Forward Way.

The base zoning of the site is designated "M-3 Business District" with additional covenants related to the Highway 60 Business Park.

Plan of Operation:

As this is a spec building a plan of operation for its occupants is not available at this time. All future tenants will be reviewed by the City of Cedarburg, the plan of operation for those tenants can be verified at that time.

The impact upon existing utilities by prospective tenants cannot be confirmed.

Proposed Building/Site:

The proposed building is approximately 85,000 square feet. The site design provides 103 total parking spaces (including 5 accessible spaces) located along Forward Way on the North side of the site. The site plan indicates no future expansion for building but does show future 21 parking stalls to the west. The building design provides for 8 loading docks initially with a potential for 8 additional docks in the future along with 4 overhead doors.

The building will be constructed using a combination of decorative precast concrete wall panels with cast relief and accent paint, aluminum composite material (ACM)



N173 W21010

Northwest Passage Way

Jackson, WI 53037

Tel: 262.677-9933

Fax: 262.677.9934

accent panel areas, prefinished metal canopy elements, aluminum storefront glazing systems and entrances. See enclosed drawings and imagery for further information.

HVAC units are intended to be located on the roof. The building design includes a parapet edge to screen mechanical units.

Storm-water management is addressed by utilizing the existing regional stormwater pond (adjacent to the property) which was designed to account for impervious areas on this property.

Landscaping for the site will follow all City of Cedarburg guidelines as outlined in the City zoning ordinance. Plans are included as part of this submittal package for consideration by the Plan Commission. This site exceeds the 30% greenspace requirement.

Our site lighting design intent includes lighting levels for the parking lots that provide an adequate level of light utilizing a combination of light poles and light bollards. A photometric study and light fixture cut sheets have been provided.

We do not believe this new development will negatively impact or be a nuisance to the surrounding neighborhood. This use is consistent with the nature of the surrounding neighborhood which is currently a semi-vacant business/industrial park. The traffic patterns in the neighborhood are already established and will not be affected by the new development. Forward Way and Hilltop Drive will provide access from STH 60 to the development.

If you have any questions or concerns regarding this proposed development please feel free to contact our office.

Sincerely,
Mark Hertzfeldt

A handwritten signature in black ink, appearing to read 'M. Hertzfeldt', enclosed within a large, hand-drawn oval.

Design 2 Construct Development Corporation

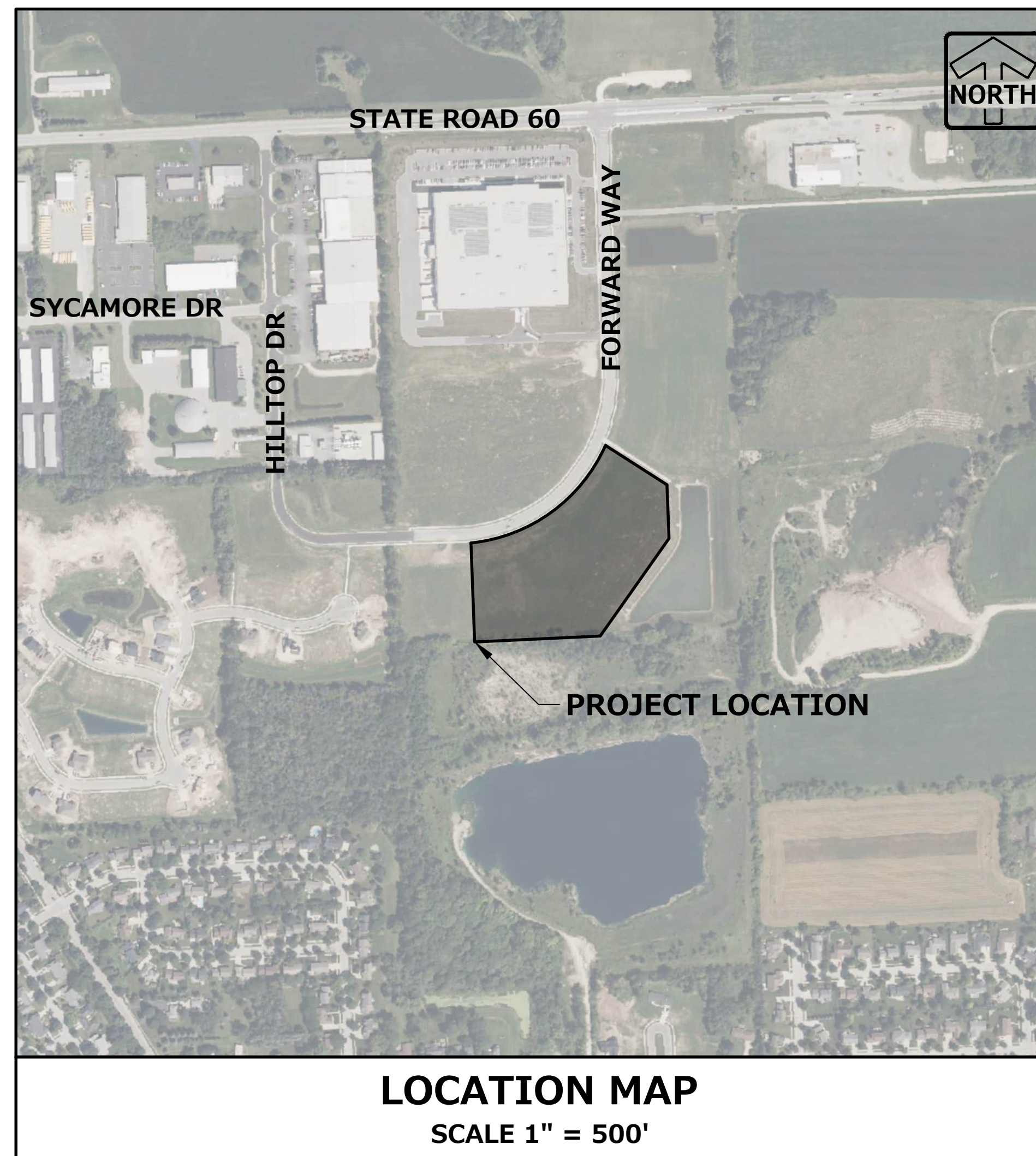
Ozaukee County GIS Aerial Map View – Luther Group Site in Hwy. 60 Business Park



ONSITE CIVIL ENGINEERING INFRASTRUCTURE PLANS FOR CEDARBURG INDUSTRIAL

CITY OF CEDARBURG, WISCONSIN

PLANS PREPARED FOR
LUTHER GROUP
780 ELM GROVE ROAD, SUITE 120
ELM GROVE, WI 53122



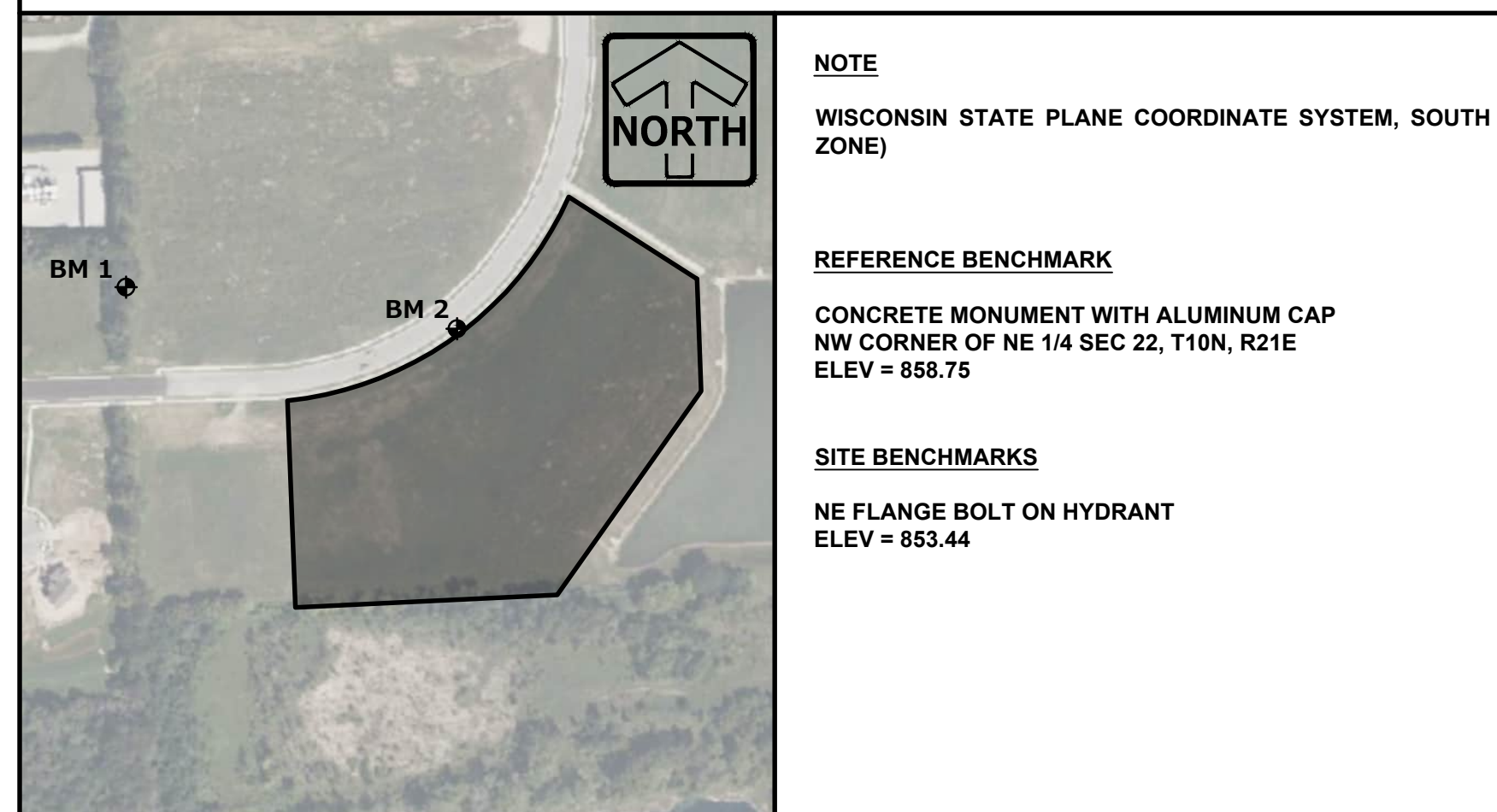
LEGEND

	EXISTING	PROPOSED
SANITARY MANHOLE	⊙	⊙
STORM MANHOLE	⊙	⊙
CATCH BASIN	⊙	⊙
INLET	⊙	⊙
PRECAST FLARED END SECTION	⊙	⊙
CONCRETE HEADWALL	⊙	⊙
VALVE VAULT	⊙	⊙
VALVE BOX	⊙	⊙
FIRE HYDRANT	⊙	⊙
BUFFALO BOX	⊙	⊙
CLEANOUT	⊙	⊙
SANITARY SEWER	—	—
FORCE MAIN	—	—
STORM SEWER	—	—
WATER MAIN	—	—
UTILITY CROSSING	—	—
GRANULAR TRENCH BACKFILL	—	—
LIGHTING	—	—
ELECTRICAL CABLE	—	—
ELECTRICAL TRANSFORMER OR PEDESTAL	—	—
POWER POLE	—	—
POWER POLE WITH LIGHT	—	—
GUY WIRE	—	—
STREET SIGN	—	—
GAS MAIN	—	—
TELEPHONE LINE	—	—
CONTOUR	—	—
SPOT ELEVATION	× (750.00)	× (750.00)
WETLANDS	—	—
FLOODWAY	—	—
FLOODPLAIN	—	—
HIGH WATER LEVEL (HWL)	—	—
NORMAL WATER LEVEL (NWL)	—	—
DIRECTION OF SURFACE FLOW	—	—
DITCH OR SWALE	—	—
DIVERSION SWALE	—	—
OVERFLOW RELIEF ROUTING	—	—
TREE WITH TRUNK SIZE	—	—
SOIL BORING	—	—
TOPSOIL PROBE	—	—
FENCE LINE, TEMPORARY SILT	—	—
FENCE LINE, WIRE	—	—
FENCE LINE, CHAIN LINK OR IRON	—	—
FENCE LINE, WOOD OR PLASTIC	—	—
CONCRETE SIDEWALK	—	—
CURB AND GUTTER	—	—
DEPRESSED CURB	—	—
REVERSE PITCH CURB & GUTTER	—	—
EASEMENT LINE	—	—
PROPERTY LINE	—	—

ABBREVIATIONS

BL	BASE LINE	NSI	NATIVE SOIL INTERFACE
C	LONG CHORD OF CURVE	NWL	NORMAL WATER LEVEL
C & G	CURB AND GUTTER	PC	POINT OF CURVATURE
CB	CATCH BASIN	PT	POINT OF TANGENCY
CL	CENTERLINE	PVI	POINT OF VERTICAL INTERSECTION
D	DEGREE OF CURVE	R	RADIUS
EP	EDGE OF PAVEMENT	ROW	RIGHT-OF-WAY
FF	FINISHED FLOOR	SAN	SANITARY SEWER
FG	FINISHED GRADE	ST	STORM SEWER
FL	FLOW LINE	T	TANGENCY OF CURVE
FP	FLOODPLAIN	TB	TOP OF BANK
FR	FRAME	TC	TOP OF CURB
FW	FLOODWAY	TF	TOP OF FOUNDATION
HWL	HIGH WATER LEVEL	TS	TOP OF SIDEWALK
INV	INVERT	TW	TOP OF WALK
L	LENGTH OF CURVE	WM	WATER MAIN
MH	MANHOLE	Δ	INTERSECTION ANGLE

BENCHMARKS



GENERAL NOTES

- THE INTENTION OF THE PLANS AND SPECIFICATIONS IS TO SET FORTH PERFORMANCE AND CONSTRUCTION MATERIAL STANDARDS FOR THE PROPER EXECUTION OF WORK. ALL WORKS CONTAINED WITHIN THE PLANS AND SPECIFICATIONS SHALL BE COMPLETED IN ACCORDANCE WITH ALL REQUIREMENTS FROM LOCAL, STATE, FEDERAL OR OTHER GOVERNING AGENCY'S LAWS, REGULATIONS, JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., AND THE OWNER'S DIRECTION.
- A GEOTECHNICAL REPORT FOR THIS SITE HAS NOT BEEN PREPARED AT THIS TIME. THE DATA ON SUB-SURFACE SOIL CONDITIONS IS NOT INTENDED AS A REPRESENTATION OR WARRANTY OF THE CONTINUITY OF SUCH CONDITIONS BETWEEN BORINGS OR INDICATED SAMPLING LOCATIONS. IT SHALL BE EXPRESSLY UNDERSTOOD THAT OWNER WILL NOT BE RESPONSIBLE FOR ANY INTERPRETATIONS OR CONCLUSIONS DRAWN THERE FROM BY THE CONTRACTOR. DATA IS MADE AVAILABLE FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING ANY ADDITIONAL SOILS INVESTIGATIONS THEY FEEL IS NECESSARY FOR THE PROPER EVALUATION OF THE SITE FOR PURPOSES OF PLANNING, BIDDING, OR CONSTRUCTING THE PROJECT AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE TO REVIEW AND UNDERSTAND ALL COMPONENTS OF THE PLANS AND SPECIFICATIONS, INCLUDING FIELD VERIFYING SOIL CONDITIONS, PRIOR TO SUBMISSION OF A BID PROPOSAL.
- THE CONTRACTOR SHALL PROMPTLY REPORT ANY ERRORS OR AMBIGUITIES LEARNED AS PART OF THEIR REVIEW OF PLANS, SPECIFICATIONS, REPORTS AND FIELD INVESTIGATIONS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE COMPUTATION OF QUANTITIES AND WORK REQUIRED TO COMPLETE THIS PROJECT. THE CONTRACTOR'S BID SHALL BE BASED ON ITS OWN COMPUTATIONS AND IN NO SUCH INSTANCE RELY ON THE ENGINEER'S ESTIMATE.
- QUESTIONS/CLARIFICATIONS WILL BE INTERPRETED BY ENGINEER/OWNER PRIOR TO THE AWARD OF CONTRACT. ENGINEER/OWNER WILL SUBMIT OFFICIAL RESPONSES IN WRITING. INTERPRETATIONS PRESENTED IN OFFICIAL RESPONSES SHALL BE BINDING ON ALL PARTIES ASSOCIATED WITH THE CONTRACT. IN NO WAY SHALL WORD-OF-MOUTH DIALOG CONSTITUTE AN OFFICIAL RESPONSE.
- PRIOR TO START OF WORK, CONTRACTOR SHALL BE COMPLETELY FAMILIAR WITH ALL CONDITIONS OF THE SITE, AND SHALL ACCOUNT FOR CONDITIONS THAT AFFECT, OR MAY AFFECT CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, LIMITATIONS OF WORK ACCESS, SPACE LIMITATIONS, OVERHEAD OBSTRUCTIONS, TRAFFIC PATTERNS, LOCAL REQUIREMENTS, ADJACENT ACTIVITIES, ETC. FAILURE TO CONSIDER SITE CONDITIONS SHALL NOT BE CAUSE FOR CLAIM OF JOB EXTRAS.
- COMMENCEMENT OF CONSTRUCTION SHALL EXPLICITLY CONFIRM THAT THE CONTRACTOR HAS REVIEWED THE PLANS AND SPECIFICATIONS IN ENTIRETY AND CERTIFIES THAT THEIR SUBMITTED BID PROPOSAL CONTAINS PROVISIONS TO COMPLETE THE PROJECT, WITH THE EXCEPTION OF UNFORESEEN FIELD CONDITIONS; ALL APPLICABLE PERMITS HAVE BEEN OBTAINED; AND CONTRACTOR UNDERSTANDS ALL OF THE REQUIREMENTS OF THE PROJECT.
- SHOULD ANY DISCREPANCIES OR CONFLICTS IN THE PLANS OR SPECIFICATIONS BE DISCOVERED AFTER THE AWARD OF CONTRACT, ENGINEER SHALL BE NOTIFIED IN WRITING IMMEDIATELY AND CONSTRUCTION OF ITEMS AFFECTED BY THE DISCREPANCIES/CONFLICTS SHALL NOT COMMENCE, OR CONTINUE, UNTIL A WRITTEN RESPONSE FROM ENGINEER/OWNER IS DISTRIBUTED. IN THE EVENT OF A CONFLICT BETWEEN REFERENCED CODES, STANDARDS, SPECIFICATIONS AND PLANS, THE ONE ESTABLISHING THE MOST STRINGENT REQUIREMENTS SHALL BE FOLLOWED.
- THE CONTRACTOR SHALL, AT ITS OWN EXPENSE, OBTAIN ALL NECESSARY PERMITS AND LICENSES TO COMPLETE THE PROJECT. OBTAINING PERMITS, OR DELAYS, IS NOT CAUSE FOR DELAY OF THE CONTRACT OR SCHEDULE. CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS.
- THE CONTRACTOR SHALL NOTIFY ALL INTERESTED GOVERNING AGENCIES, UTILITY COMPANIES AFFECTED BY THIS CONSTRUCTION PROJECT, AND DIGGER'S HOTLINE IN ADVANCE OF CONSTRUCTION TO COMPLY WITH ALL JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., PERMIT STIPULATIONS, AND OTHER APPLICABLE STANDARDS.
- SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE TO INITIATE, INSTITUTE, ENFORCE, MAINTAIN, AND SUPERVISE ALL SAFETY PRECAUTIONS AND JOB SITE SAFETY PROGRAMS IN CONNECTION WITH THE WORK.
- CONTRACTOR SHALL KEEP THE JOBSITE CLEAN AND ORDERLY AT ALL TIMES. ALL LOCATIONS OF THE SITE SHALL BE KEPT IN A WORKING MANNER SUCH THAT DEBRIS IS REMOVED CONTINUOUSLY AND ALL RESPECTIVE CONTRACTORS OPERATE UNDER GENERAL "GOOD HOUSEKEEPING."
- THE CONTRACTOR SHALL INDEMNIFY THE VILLAGE, VILLAGE ENGINEER, VILLAGE BUILDING INSPECTOR, OWNER, ENGINEER, AND THEIR AGENTS FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.
- PRIOR TO CONSTRUCTION, A PRECONSTRUCTION MEETING MUST BE HELD AT THE VILLAGE OFFICES. THE PRECONSTRUCTION MEETING SHALL BE SCHEDULED AND MODERATED BY THE DESIGN ENGINEER OF RECORD.

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REQUIRED SUBMITTALS FOR APPROVAL

- ASPHALT PAVEMENTS
- CONCRETE PAVEMENTS (EXTERIOR)
- STONE BASE COURSE
- TRENCH BACKFILL
- PIPE BEDDING
- TIE BARS
- DOWEL BARS
- DOWEL BAR BASKETS

REQUIRED SUBMITTALS FOR RECORDS

- WATER MAIN PIPE FITTINGS
- SANITARY SEWER
- STORM SEWER
- SUBGRADE STABILIZATION (IF APPLICABLE)

PROJECT TEAM CONTACTS

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EXPIRATION DATE: JULY 31, 2026

PINNACLE ENGINEERING GROUP, LLC ENGINEER'S LIMITATION

PINNACLE ENGINEERING GROUP, LLC AND THEIR CONSULTANTS DO NOT WARRANT OR GUARANTEE THE ACCURACY AND COMPLETENESS OF THE DELIVERABLES HEREIN BEYOND A REASONABLE DILIGENCE. IF ANY MISTAKES, OMISSIONS, OR DISCREPANCIES ARE FOUND TO EXIST WITHIN THE DELIVERABLES, THE ENGINEER SHALL BE PROMPTLY NOTIFIED PRIOR TO BID SO THAT HE MAY HAVE THE OPPORTUNITY TO TAKE WHATEVER STEPS NECESSARY TO RESOLVE THEM. FAILURE TO PROMPTLY NOTIFY THE ENGINEER OF SUCH CONDITIONS SHALL ABSOLVE THE ENGINEER FROM ANY RESPONSIBILITY FOR THE CONSEQUENCES OF SUCH FAILURE. ACTIONS TAKEN WITHOUT THE KNOWLEDGE AND CONSENT TO THE ENGINEER, OR IN CONTRADICTION TO THE ENGINEER'S DELIVERABLES OR RECOMMENDATIONS, SHALL BECOME THE RESPONSIBILITY NOT OF THE ENGINEER BUT OF THE PARTIES RESPONSIBLE FOR TAKING SUCH ACTION.

FURTHERMORE, PINNACLE ENGINEERING GROUP, LLC IS NOT RESPONSIBLE FOR CONSTRUCTION SAFETY OR THE MEANS AND METHODS OF CONSTRUCTION.

REVISIONS

NO.	DESCRIPTION	DATE
1	PC SUBMITTAL	09/29/25

REG. JOB NO.: 6501.00
TOM
REG. NO.:
START DATE: 09/11/25
SCALE: N.T.S.

SHEET
C-1
OF
C-9

CEDARBURG INDUSTRIAL
FORWARD WAY
CITY OF CEDARBURG, WISCONSIN

COVER SHEET

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PINNACLE ENGINEERING GROUP

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SITE AND DIMENSIONAL PLAN NOTES

- 1. ALL DIMENSIONS ARE EDGE OF PAVEMENT, FACE OF CURB, SHOULDER, OR CENTER OF LANE LINE UNLESS NOTED OTHERWISE. ALL UTILITY DIMENSIONS ARE TO OUTSIDE OF PIPE OR CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.
- 2. ALL PROPOSED CURB AND GUTTER SHALL BE 18" STANDARD CURB AND GUTTER (SEE DETAIL), UNLESS OTHERWISE NOTED. CURB AND GUTTER DRAINING AWAY FROM THE FACE OF CURB IS NOTED AS REVERSE CURB AND GUTTER.
- 3. BUILDING DIMENSIONS AND ADJACENT PARKING AND UTILITY LAYOUT HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION CURRENT AT THE DATE OF THIS DRAWING. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST. THEREFORE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS AND NOTIFY THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- 4. THE CONTRACTOR SHALL CONTACT DIGGERS HOTLINE (1-800-242-8511) PRIOR TO ANY WORK TO LOCATE UTILITIES AND SHALL CONTACT THE OWNER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENT.
- 5. IMPROVEMENTS ADJACENT TO BUILDING IF SHOWN SUCH AS TRUCK DOCK, RETAINING WALLS, SIDEWALKS, CURBING, FENCES, CANOPIES, RAMPS, HANDICAP ACCESS, PLANTERS, DUMPSTERS, AND TRANSFORMERS ETC. HAVE BEEN SHOWN FOR APPROXIMATE LOCATION ONLY. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS, SPECIFICATIONS, AND DETAILS.
- 6. REFER TO ELECTRICAL PLANS FOR LIGHTING LOCATIONS, SPECIFICATIONS, AND DETAILS.
- 7. SEE ADDITIONAL NOTES AND DETAILS ON CONSTRUCTION DETAILS.
- 8. ALL PAVING SHALL CONFORM TO STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION, LATEST EDITION AND APPLICABLE CITY OF CEDARBURG ORDINANCES, AND SPECIFICATIONS CONTAINED WITHIN THIS PLAN SET.
- 9. PAVEMENT DESIGN SHALL BE AS INDICATED ON TEMPLATE EXHIBIT DRAWINGS, TENANTS PAVEMENT DESIGN GUIDELINES, AND PROTOTYPICAL DETAILS PROVIDED CONTRACTOR SHALL USE WHITE EPOXY STRIPING ON ASPHALT AND YELLOW EPOXY STRIPING ON CONCRETE.
- 10. PROVIDE CONTRACTOR GRADE ACRYLIC, STRIPING EPOXY FOR NEW ASPHALT OR COATED ASPHALT. APPLY MARKING EPOXY AT A RATE OF ONE (1) GALLON PER THREE TO FOUR HUNDRED (300-400) LINEAL FEET OF FOUR (4) INCH WIDE STRIPES OR TO MANUFACTURERS SPECIFICATION, WHICHEVER IS GREATER.
- 11. THOROUGHLY CLEAN SURFACES FREE OF DIRT, SAND, GRAVEL, OIL AND OTHER FOREIGN MATTER. CONTRACTOR RESPONSIBLE TO INSPECT EXISTING PAVEMENT SURFACES FOR CONDITIONS AND DEFECTS THAT WILL ADVERSELY AFFECT QUALITY OF WORK, AND WHICH CANNOT BE PUT INTO AN ACCEPTABLE CONDITION THROUGH NORMAL PREPARATORY WORK AS SPECIFIED.
- 12. DO NOT PLACE MARKING OVER UNSOUND PAVEMENTS. IF THESE CONDITIONS EXIST, NOTIFY OWNER. STARTING INSTALLATION CONSTITUTES CONTRACTOR'S ACCEPTANCE OF SURFACE AS SUITABLE FOR INSTALLATION.
- 13. LAYOUT MARKINGS USING GUIDE LINES, TEMPLATES AND FORMS. STENCILS AND TEMPLATES SHALL BE PROFESSIONALLY MADE TO INDUSTRY STANDARDS. "FREE HAND" PAINTING OF ARROWS, SYMBOLS, OR WORDING SHALL NOT BE ALLOWED. APPLY STRIPES STRAIGHT AND EVEN.
- 14. PROTECT ADJACENT CURBS, WALKS, FENCES, AND OTHER ITEMS FROM RECEIVING PAINT.
- 15. BARRICADE MARKED AREAS DURING INSTALLATION AND UNTIL THE MARKING PAINT IS DRIED AND READY FOR TRAFFIC.
- 16. ASPHALTIC CONCRETE PAVING SPECIFICATIONS
 - 16.1. CODES AND STANDARDS: THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALTIC BASE COURSE AND ASPHALTIC CONCRETE SURFACING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 460, 455, 460 AND 465 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION, HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS THE STATE HIGHWAY SPECIFICATIONS.
 - 16.2. WEATHER LIMITATIONS: APPLY TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50° F (10° C) AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35° F (1° C) FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS EXCESS OF MOISTURE. CONSTRUCT ASPHALTIC CONCRETE SURFACE COURSE WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40° (4°C) AND WHEN BASE IS DRY AND WHEN WEATHER IS NOT RAINY. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30° F (-1° C).
 - 16.3. GRADE CONTROL: ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.
 - 16.4. CRUSHED AGGREGATE BASE COURSE: THE TOP LAYER OF BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS.
 - 16.5. BINDER COURSE AGGREGATE: THE AGGREGATE FOR THE BINDER COURSE SHALL CONFORM TO SECTIONS 460.2.7 AND 315, STATE HIGHWAY SPECIFICATIONS.
 - 16.6. SURFACE COURSE AGGREGATE: THE AGGREGATE FOR THE SURFACE COURSE SHALL CONFORM TO SECTIONS 460.2.7 AND 465, STATE HIGHWAY SPECIFICATIONS.
 - 16.7. ASPHALTIC MATERIALS: THE ASPHALTIC MATERIALS SHALL CONFORM TO SECTION 455 AND 460, STATE HIGHWAY SPECIFICATIONS.
 - 16.8. SURFACE PREPARATION: NOTIFY CONTRACTOR OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.
- 17. TRAFFIC CONTROL SHALL BE PER M.U.T.C.D.
- 18. PUBLIC CURB & GUTTER REPLACEMENT SHALL BE TIED TO EXISTING CURB & GUTTER WITH #4 TIE BARS. PUBLIC CURB & GUTTER SHALL BE A 6-BAG MIX.
- 19. TIE BARS: PLACE AT ALL LONGITUDINAL JOINTS IN ENTRANCE AREAS/ROADS PER WISDOT 13C01. PLACE IN CURB AND GUTTER PER WISDOT 8D01.

GRADING NOTES

- 1. CONTRACTOR SHALL VERIFY ALL GRADES. ENSURE ALL AREAS DRAIN PROPERLY AND REPORT ANY DISCREPANCIES TO PINNACLE ENGINEERING GROUP PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
- 2. ALL EXISTING CONTOURS REPRESENT EXISTING SURFACE GRADES UNLESS OTHERWISE NOTED. ALL PROPOSED GRADES SHOWN ARE FINISH SURFACE GRADES UNLESS OTHERWISE NOTED.
- 3. SPOT ELEVATIONS REPRESENT THE GRADE ALONG THE CURB AND GUTTER FLANGELINE UNLESS OTHERWISE NOTED.
- 4. ALL EXCAVATIONS AND MATERIAL PLACEMENT SHALL BE COMPLETED TO DESIGN ELEVATIONS AS DEPICTED IN THE PLANS.
 - 4.1. CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATION(S) OF ALL GRADING QUANTITIES. WHILE PEG ATTEMPTS TO PROVIDE A COST EFFECTIVE APPROACH TO BALANCE EARTHWORK, GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS, AND COMMON ENGINEERING STANDARD OF CARE. THEREFORE NO GUARANTEE CAN BE MADE FOR A BALANCED SITE. THE CONTRACTOR MAY SOLICIT APPROVAL FROM ENGINEER/OWNER TO ADJUST FINAL GRADES FROM DESIGN GRADES TO PROVIDE AN OVERALL SITE BALANCE AS A RESULT OF FIELD CONDITIONS.
- 5. GRADING ACTIVITIES SHALL BE IN A MANNER TO ALLOW POSITIVE DRAINAGE ACROSS DISTURBED SOILS, WHICH MAY INCLUDE EXCAVATION OF TEMPORARY DITCHES TO PREVENT PONDING, AND IF NECESSARY PUMPING TO ALLEVIATE PONDING. CONTRACTOR SHALL PREVENT SURFACE WATER FROM ENTERING INTO EXCAVATIONS. IN NO WAY SHALL OWNER BE RESPONSIBLE FOR REMEDIATION OF UNSUITABLE SOILS CREATED/ORIGINATED AS A RESULT OF IMPROPER SITE GRADING OR SEQUENCING. CONTRACTOR SHALL SEQUENCE GRADING ACTIVITIES TO LIMIT EXPOSURE OF DISTURBED SOILS DUE TO WEATHER.
- 6. THE CONTRACTOR IS RESPONSIBLE FOR MEETING MINIMUM COMPACTION STANDARDS. THE CONTRACTOR SHALL NOTIFY ENGINEER/OWNER IF PROPER COMPACTION CANNOT BE OBTAINED. THE PROJECT'S GEOTECHNICAL CONSULTANT SHALL DETERMINE WHICH IN-SITU SOILS ARE TO BE CONSIDERED UNSUITABLE SOILS. THE ENGINEER/OWNER AND GEOTECHNICAL TESTING CONSULTANT WILL DETERMINE IF REMEDIAL MEASURES WILL BE NECESSARY.
- 7. IN THE EVENT THAT ANY MOISTURE-DENSITY TEST(S) FAIL TO MEET SPECIFICATION REQUIREMENTS, THE CONTRACTOR SHALL PERFORM CORRECTIVE WORK AS NECESSARY TO BRING THE MATERIAL INTO COMPLIANCE AND RETEST THE FAILED AREA AT NO COST TO THE OWNER.
- 8. WITH THE AUTHORIZATION OF THE ENGINEER/OWNER, MATERIAL THAT IS TOO WET TO PERMIT PROPER COMPACTION MAY BE SPREAD ON FILL AREAS IN AN EFFORT TO DRY. CONTRACTOR SHALL CLEARLY MARK THE EXTERIOR LIMITS OF SPREAD MATERIAL WITH PAINTED LATH AND SUBMIT A PLAN TO THE ENGINEER/OWNER THAT IDENTIFIES THE LIMITS. UNDER NO CONDITION SHALL THE SPREAD MATERIAL DEPTH EXCEED THE MOST RESTRICTIVE OF: THE EFFECTIVE TREATMENT DEPTH OF MACHINERY THAT WILL BE USED TO TURNOVER THE SPREAD MATERIAL, OR THE MAXIMUM COMPACTION LIFT DEPTH.
- 9. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER/OWNER IF GROUNDWATER IS ENCOUNTERED DURING EXCAVATION. CONTRACTOR IS SOLELY RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ADEQUATE AND SAFE TEMPORARY SHORING, BRACING, RETENTION STRUCTURES, AND EXCAVATIONS.
- 10. THE SITE SHALL BE COMPLETED TO WITHIN 0.10-FT (+/-) OF THE PROPOSED GRADES AS INDICATED WITHIN THE PLANS PRIOR TO PLACEMENT OF TOPSOIL OR STONE. CONTRACTOR IS ENCOURAGED TO SEQUENCE CONSTRUCTION SUCH THAT THE SITE IS DIVIDED INTO SMALLER AREAS TO ALLOW STABILIZATION OF DISTURBED SOILS IMMEDIATELY UPON COMPLETION OF INDIVIDUAL SMALLER AREAS.
- 11. CONTRACTOR SHALL CONTACT "DIGGERS HOTLINE" FOR LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES AND SHALL BE RESPONSIBLE FOR PROTECTING SAID UTILITIES FROM ANY DAMAGE DURING CONSTRUCTION.
- 12. CONTRACTOR SHALL PROTECT INLETS AND ADJACENT PROPERTIES WITH SILT FENCING OR APPROVED EROSION CONTROL METHODS UNTIL CONSTRUCTION IS COMPLETED. CONTRACTOR SHALL PLACE SILT FENCING AT DOWN SLOPE SIDE OF GRADING LIMITS.
- 13. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ANY EXISTING FACILITIES OR UTILITIES. ANY DAMAGE SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE EXPENSE OF THE CONTRACTOR.
- 14. WORK WITHIN ANY ROADWAY RIGHT-OF-WAY SHALL BE COORDINATED WITH THE APPROPRIATE MUNICIPAL OFFICIAL PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FEES. GRADING WITHIN RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY SAID OFFICIALS. RESTORATION OF RIGHT-OF-WAY IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF GRADING. RESTORATION SHALL INCLUDE ALL ITEMS NECESSARY TO RESTORE RIGHT-OF-WAY IN-KIND INCLUDING LANDSCAPING.
- 15. CONTRACTOR SHALL COMPLY WITH ALL CITY OF CEDARBURG AND OZAUKEE COUNTY CONSTRUCTION STANDARDS/ORDINANCES.
- 16. LANDSCAPE AND TURF AREAS SHALL HAVE A MINIMUM OF 4-INCH TOPSOIL REPLACEMENT, UNLESS OTHERWISE SPECIFIED ON THE LANDSCAPE PLANS.
- 17. TOPSOIL BERMING SHALL ACHIEVE 90% STANDARD PROCTOR DENSITY AT 3%(4) OPTIMUM MOISTURE CONTENT.
- 18. SURVEY BENCHMARKS AND MAPPING HAS BEEN PROVIDED BY PINNACLE ENGINEERING GROUP. IN NO WAY DOES PEG WARRANT THE BASEMAP IS ALL INCLUSIVE OR REPRESENTATIVE OF ACTUAL CONDITIONS. CONTRACTOR SHALL PROVIDE CHECKS AS NECESSARY TO VERIFY THE BASEMAP CONTENT AND ACCURACY.

GENERAL UTILITY NOTES

- 1. EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE TYPE, LOCATION, SIZE AND ELEVATION OF UNDERGROUND UTILITIES AS THEY DEEM NECESSARY FOR PROPOSED UTILITY CONNECTIONS AND/OR TO AVOID DAMAGE THERETO. CONTRACTOR SHALL CALL "DIGGERS HOTLINE" PRIOR TO ANY CONSTRUCTION.
- 2. ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (LATEST EDITION AND ADDENDUM) AND ALL STATE AND LOCAL CODES AND SPECIFICATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS AND CODES APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.
- 3. UTILITY CONSTRUCTION AND SPECIFICATIONS SHALL COMPLY WITH THE CITY OF CEDARBURG STANDARDS AND SPECIFICATIONS AND WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES SPS 382.
- 4. LENGTHS OF PROPOSED UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS ARE SHOWN FOR CONTRACTOR CONVENIENCE ONLY. CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPUTATIONS OF MATERIALS REQUIRED TO COMPLETE WORK. LENGTHS SHALL BE FIELD VERIFIED DURING CONSTRUCTION.
- 5. CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT EXISTING UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH FINISHED GRADES OF THE AREAS DISTURBED DURING CONSTRUCTION.
- 6. CONTRACTOR SHALL FIELD VERIFY LOCATIONS, ELEVATIONS, AND SIZES OF PROPOSED UTILITIES AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS PRIOR TO ATTEMPTING CONNECTIONS AND BEGINNING UTILITY CONSTRUCTION AND NOTIFY THE OWNER OF ANY DISCREPANCIES OR CONFLICTS.
- 7. ALL NEW ON-SITE SANITARY, STORM AND WATER UTILITIES SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE PROPERTY OWNER, EXCEPT FOR THOSE UTILITIES IDENTIFIED AS PUBLIC.
- 8. THE CONTRACTOR SHALL CONTACT THE CITY OF CEDARBURG PUBLIC WORKS DEPARTMENT 48-HOURS IN ADVANCE OF SANITARY, WATER AND STORM CONNECTIONS TO THE VILLAGE-OWNED SYSTEM TO SCHEDULE INSPECTIONS.
- 9. ROUTING OF GAS, ELECTRIC AND TELEPHONE SERVICES ARE SHOWN ON THE ARCHITECTURAL PLANS AND SUBJECT TO CHANGE BASED UPON FINAL REVIEW AND APPROVAL BY RESPECTIVE UTILITY COMPANIES AND OWNER. CONTRACTOR SHALL CONTACT EACH UTILITY COMPANY AND COORDINATE FINAL LOCATIONS FOR ALL UTILITY SERVICES PRIOR TO START OF CONSTRUCTION.
- 10. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE PROPER AUTHORITIES FOR ANY REQUIRED PERMITS, AUTHORIZATIONS, TRAFFIC CONTROL AND ANY PERMIT FEES REQUIRED.
- 11. FIELD TILE CONNECTION - ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICE(S) FOR STORM SEWER TILE LINES CROSSING BY THE TRENCH SHALL BE REPLACED WITH THE SAME MATERIAL AS THE STORM SEWER.
- 12. THE CONTRACTOR IS RESPONSIBLE FOR THE SIZE, TYPE AND NUMBER OF WATER MAIN BENDS, HORIZONTAL AND VERTICAL, REQUIRED TO COMPLETE CONSTRUCTION. COST FOR BENDS, HORIZONTAL AND VERTICAL, SHALL BE INCIDENTAL AND INCLUDED IN THE OVERALL COST OF THE CONTRACT.
- 13. TRACER WIRE: COPPERHEAD TRACER WIRE #10 SOLID CCS SUPERFLEX (BLUE), WIRE CONNECTORS SHALL BE SNAKEBITE (BLUE) MADE BY COPPERHEAD INDUSTRIES, LLC. THE TRACER WIRE FOR THE SANITARY SEWER LATERAL (GREEN) SHALL BE CONTINUOUS AND SHALL BE EXTENDED ABOVE GRADE VIA A 4-INCH PVC PIPE WITH SCREW-ON CAP ADJACENT TO THE PROPOSED TERMINATION POINT OF THE LATERAL FOR THE PROPOSED BUILDING. TRACER WIRE FOR WATER MAIN SHALL BE INSTALLED WITH #12-GAUGE TRACER WIRE AND SHALL TERMINATE IN TRACER WIRE ACCESS BOXES AT ALL FIRE HYDRANTS.
- 14. WATER MAIN AND SANITARY SEWER SHALL BE INSULATED WHEREVER THE DEPTH OF COVER IS LESS THAN 6.5 FEET. INSULATION AND PLACING OF INSULATION SHALL CONFORM TO CHAPTER 4.17.0 "INSULATION" OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN 6TH EDITION UPDATED WITH ITS LATEST ADDENDUM (TYP.).
- 15. SEE UTILITY PLANS AND CONSTRUCTION DETAILS FOR ADDITIONAL INFORMATION.

STORM SEWER NOTES

- 1. PIPE - REINFORCED CONCRETE PIPE (RCP) SHALL MEET THE REQUIREMENTS OF ASTM CLASS C-78 WITH RUBBER GASKET JOINTS CONFORMING TO ASTM C-443. STRENGTH CLASSIFICATIONS SHALL BE IN ACCORDANCE WITH THE FOLLOWING:
HEIGHT OF COVER (FEET): 0-2 2-3 3-6 6-15 15-25 25+
MINIMUM CONCRETE PIPE CLASSIFICATION: IV III II III IV ENGINEER TO SPECIFY
- 2. HIGH DENSITY DUAL-WALL POLYETHYLENE N-12 CORRUGATED PIPE (HDPE) SHALL BE AS MANUFACTURED BY ADS OR EQUAL WITH WATER TIGHT JOINTS, AND SHALL MEET THE REQUIREMENTS OF AASHTO DESIGNATION M-294 TYPE "S", OR POLYVINYL CHLORIDE (PVC) - CLASS P546 MEETING AASHTO M278, AS NOTED. IF HDPE PIPE IS USED FOR POND OUTFALLS, A MINIMUM OF THREE (3) SECTIONS (2 STRAPS) SHALL BE STRAPPED TOGETHER.
- 3. INLETS - INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NO. 25 OF THE "STANDARD SPECIFICATIONS" WITH A 1'-8" X 2'-6" MAXIMUM OPENING. SEE CONSTRUCTION DETAILS FOR FRAME AND GRATE TYPES. STRUCTURE SHOP DRAWINGS SHALL BE SUBMITTED TO PINNACLE ENGINEERING GROUP FOR REVIEW AND APPROVAL PRIOR TO MANUFACTURING AND INSTALLATION.
- 4. BACKFILL AND BEDDING - STORM SEWER SHALL BE CONSTRUCTED WITH GRAVEL BACKFILL AND CLASS "B" BEDDING IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL.
- 5. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS". MANHOLE FRAMES AND COVERS - SEE CONSTRUCTION DETAILS.
- 6. IF HDPE PIPE IS USED FOR POND OUTFALLS, A MINIMUM OF THREE (3) SECTIONS (2 STRAPS) SHALL BE STRAPPED TOGETHER. 15. TRACER WIRE SHALL BE INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THESE CODE SECTIONS AS PER 182.0715(2R) OF THE STATUTES.

WATER MAIN NOTES

- 1. PIPE - WATER MAIN SHALL BE POLYVINYL CHLORIDE (PVC) PIPE MEETING THE REQUIREMENTS OF AWWA STANDARD C-900, CLASS 235, DR-18, WITH CAST IRON O.D. AND INTEGRAL ELASTOMERIC BELL AND SPIGOT JOINTS.
- 2. VALVES AND VALVE BOXES - GATE VALVES SHALL BE AWWA GATE VALVES MEETING THE REQUIREMENTS OF AWWA C-500 AND CHAPTER 8.27.0 OF THE "STANDARD SPECIFICATIONS". GATE VALVES AND VALVE BOXES SHALL CONFORM TO LOCAL PLUMBING ORDINANCES.
- 3. HYDRANTS - HYDRANTS SHALL CONFORM TO THE CITY OF CEDARBURG STANDARDS AND SPECIFICATIONS AND IN ACCORDANCE WITH FILE NO. 38 OF THE "STANDARD SPECIFICATIONS." THE DISTANCE FROM THE GROUND LINE TO THE CENTERLINE OF THE LOWEST NOZZLE AND THE LOWEST CONNECTION OF THE FIRE DEPARTMENT SHALL BE NO LESS THAN 18-INCHES AND NO GREATER THAN 24-INCHES. HYDRANT MANUFACTURE: WATEROUS PACER WITH WATER SERIES 2500 VALVES.
- 4. BEDDING AND COVER MATERIAL - PIPE BEDDING AND COVER MATERIAL SHALL BE SAND, CRUSHED STONE CHIPS OR CRUSHED STONE SCREENINGS CONFORMING TO CHAPTER 8.43.2 OF THE "STANDARD SPECIFICATIONS".
- 5. ALL DUCTILE FITTINGS, VALVES, AND VALVE BOXES SHALL CONFORM WITH ALL CITY OF CEDARBURG STANDARD SPECIFICATIONS FOR DEVELOPMENT AND SHALL BE TRIPLE WRAPPED AND SECURELY TAPED AROUND WITH POLYETHYLENE AS SPECIFIED IN CHAPTER 4.4.4 AND 8.21.0 OF THE "STANDARD SPECIFICATIONS".
- 6. BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS".
- 7. GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL.
- 8. SLURRY BACK FILL UNDER PUBLIC ROAD PAVEMENT. SLURRY LIMITS: FROM TOP OF COVER STONE TO PAVEMENT. SLURRY TO BE 1-BAG PORTLAND MIX.
- 9. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS".

SANITARY SEWER NOTES

- 1. PIPE - SANITARY SEWER PIPE MATERIAL SHALL BE POLYVINYL CHLORIDE (PVC) MEETING REQUIREMENTS OF ASTM D 3034, SDR-35 (UP TO 15' OF COVER) & SDR-26 (GREATER THAN 15'), WITH INTEGRAL BELL TYPE FLEXIBLE ELASTOMERIC JOINTS, MEETING THE REQUIREMENTS OF ASTM D-3212.
- 2. BEDDING AND COVER MATERIAL - BEDDING AND COVER MATERIAL SHALL CONFORM TO THE APPROPRIATE SECTIONS OF THE "STANDARD SPECIFICATION" WITH THE FOLLOWING MODIFICATION: "COVER MATERIAL SHALL BE THE SAME AS USED FOR BEDDING AND SHALL CONFORM TO SECTION 8.43.2 (A).
- 3. BEDDING AND COVER MATERIAL SHALL BE PLACED IN A MINIMUM OF THREE SEPARATE LIFTS, OR AS REQUIRED TO INSURE ADEQUATE COMPACTING OF THESE MATERIALS, WITH ONE LIFT OF BEDDING MATERIAL ENDING AT OR NEAR THE SPRINGLINE OF THE PIPE. THE CONTRACTOR SHALL TAKE CARE TO COMPLETELY WORK BEDDING MATERIAL UNDER THE MAUNCH OF THE PIPE TO PROVIDE ADEQUATE SIDE SUPPORT."
- 4. BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS."
- 5. SLURRY BACK FILL UNDER PUBLIC ROAD PAVEMENT. SLURRY LIMITS: FROM TOP OF COVER STONE TO PAVEMENT. SLURRY TO BE 1-BAG PORTLAND MIX.
- 6. GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL.
- 7. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS."
- 8. MANHOLES - MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NOS. 12, 13 AND 15 OF THE "STANDARD SPECIFICATIONS" AND ALL STANDARDS AND SPECIFICATIONS OF THE CITY OF CEDARBURG. STRUCTURE SHOP DRAWINGS SHALL BE SUBMITTED TO PINNACLE ENGINEERING GROUP FOR REVIEW AND APPROVAL PRIOR TO MANUFACTURING AND INSTALLATION.
- 9. MANHOLE FRAMES AND COVERS - MANHOLE FRAMES AND COVERS SHALL BE NEENAH R-1661.

EROSION & SEDIMENT CONTROL NOTES

- 1. ALL CONSTRUCTION SHALL ADHERE TO THE REQUIREMENTS SET FORTH IN EPA'S NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) STORMWATER GENERAL PERMIT ("WPDES" PERMIT NO. WI-S067831-4) FOR CONSTRUCTION SITE LAND DISTURBANCE ACTIVITIES. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL TECHNICAL STANDARDS AND PROVISIONS IN EFFECT AT THE TIME OF CONSTRUCTION. THESE PROCEDURES AND STANDARDS SHALL BE REFERRED TO AS BEST MANAGEMENT PRACTICES (BMPs). IT IS THE RESPONSIBILITY OF ALL CONTRACTORS ASSOCIATED WITH THE PROJECT TO OBTAIN A COPY OF, AND UNDERSTAND, THE BMPs PRIOR TO THE START OF CONSTRUCTION ACTIVITIES.
- 2. THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL CONTROL MEASURES AS DIRECTED BY OWNER/ENGINEER OR GOVERNING AGENCIES SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
- 3. MODIFICATIONS TO THE APPROVED SWPPP IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS ARE ALLOWED IF MODIFICATIONS CONFORM TO BMPs. ALL MODIFICATIONS MUST BE APPROVED BY OWNER/ENGINEER/GOVERNING AGENCY PRIOR TO DEVIATION OF THE APPROVED PLAN.
- 4. INSTALL PERIMETER EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING INLET PROTECTION) PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE COVER, AS SHOWN ON PLAN IN ORDER TO PROTECT ADJACENT PROPERTIES/STORM SEWER SYSTEMS FROM SEDIMENT TRANSPORT.
- 5. CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. CONTRACTOR IS RESPONSIBLE TO COORDINATE LOCATION(S) WITH THE PROPER AUTHORITIES, PROVIDE NECESSARY FEES AND OBTAIN ALL REQUIRED APPROVALS OR PERMITS. ADDITIONAL CONSTRUCTION ENTRANCES OTHER THAN AS SHOWN ON THE PLANS MUST BE APPROVED BY THE APPLICABLE GOVERNING AGENCIES PRIOR TO INSTALLATION.
- 6. PAVED SURFACES ADJACENT TO CONSTRUCTION ENTRANCES SHALL BE SWEEP AND/OR SCRAPPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST IMMEDIATELY AND AS REQUESTED BY THE GOVERNING AGENCIES.
- 7. ALL EXISTING STORM SEWER FACILITIES THAT WILL COLLECT RUNOFF FROM DISTURBED AREAS SHALL BE PROTECTED TO TO PREVENT SEDIMENT DEPOSITION WITHIN STORM SEWER SYSTEMS. INLET PROTECTION SHALL BE IMMEDIATELY FITTED AT THE INLET OF ALL INSTALLED STORM SEWER AND SILT FENCE SHALL BE IMMEDIATELY FITTED AT ALL INSTALLED CULVERT INLETS. ALL INLETS, STRUCTURES, PIPES, AND SWALES SHALL BE KEPT CLEAN AND FREE OF SEDIMENTATION AND DEBRIS.
- 8. EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, WATER MAIN, ETC.) OUTSIDE OF THE PERIMETER CONTROLS SHALL INCORPORATE THE FOLLOWING:
 - 8.1. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
 - 8.2. BACKFILL, COMPACT AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
 - 8.3. DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH BMPs PRIOR TO RELEASE INTO STORM SEWER OR DITCHES.
- 9. AT A MINIMUM, SEDIMENT BASINS AND NECESSARY TEMPORARY DRAINAGE PROVISIONS SHALL BE CONSTRUCTED AND OPERATIONAL BEFORE BEGINNING OF SIGNIFICANT MASS GRADING OPERATIONS TO PREVENT OFFSITE DISCHARGE OF UNTREATED RUNOFF.
- 10. ALL WATERCOURSES AND WETLANDS SHALL BE PROTECTED WITH SILT FENCE TO PREVENT ANY DIRECT DISCHARGE FROM DISTURBED SOILS.
- 11. ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES MUST BE MAINTAINED AND REPAIRED AS NEEDED. THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR INSPECTION AND REPAIR DURING CONSTRUCTION. THE OWNER WILL BE RESPONSIBLE IF EROSION CONTROL IS REQUIRED AFTER THE CONTRACTOR HAS COMPLETED THE PROJECT.
- 12. TOPSOIL STOCKPILES SHALL HAVE A BERM OR TRENCH AROUND THE CIRCUMFERENCE AND PERIMETER SILT FENCE TO CONTROL SILT. IF TOPSOIL STOCKPILE REMAINS UNDISTURBED FOR MORE THAN SEVEN (7) DAYS, TEMPORARY SEEDING AND STABILIZATION IS REQUIRED.
- 13. EROSION CONTROL MEASURES TEMPORARILY REMOVED FOR UNAVOIDABLE CONSTRUCTION ACTIVITIES SHALL BE IN WORKING ORDER IMMEDIATELY FOLLOWING COMPLETION OF SUCH ACTIVITIES OR PRIOR TO THE COMPLETION OF EACH WORK DAY, WHICH EVER OCCURS FIRST.
- 14. MAINTAIN SOIL EROSION CONTROL DEVICES THROUGH THE DURATION OF THIS PROJECT. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED. DISTURBANCES ASSOCIATED WITH EROSION CONTROL REMOVAL SHALL BE IMMEDIATELY STABILIZED.
- 15. PUMPS MAY BE USED AS BYPASS DEVICES. IN NO CASE SHALL PUMPED WATER BE DIVERTED OUTSIDE THE PROJECT LIMITS. PUMP DISCHARGE SHALL BE DIRECTED INTO AN APPROVED FILTER BAG OR APPROVED SETTLING DEVICE.
- 16. GRADING EFFORTS SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. EROSION AND SEDIMENT CONTROL MEASURES SHALL CONSIDER THE TIME OF YEAR, SITE CONDITIONS, AND THE USE OF TEMPORARY OR PERMANENT MEASURES. ALL DISTURBED AREAS THAT WILL NOT BE WORKED FOR A PERIOD OF FOURTEEN (14) DAYS REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH TECHNICAL STANDARDS.
- 17. ALL DISTURBED SLOPES 4:1 OR GREATER SHALL BE STABILIZED WITH NORTH AMERICAN GREEN S75BN EROSION MATTING (OR APPROVED EQUAL) AND ALL CHANNELS SHALL BE STABILIZED WITH NORTH AMERICAN GREEN C125BN (OR APPROVED EQUAL) OR APPLICATION OF AN APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED. EROSION MATTING AND/OR NETTING USED ONSITE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES.
- 18. DURING PERIODS OF EXTENDED DRY WEATHER, THE CONTRACTOR SHALL KEEP A WATER TRUCK ON SITE FOR THE PURPOSE OF WATERING DOWN SOILS WHICH MAY OTHERWISE BE AIRBORNE. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING WIND EROSION (DUST) DURING CONSTRUCTION AT HIGHER EXPENSE.
- 19. DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE VISUALLY INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM ON A DAILY BASIS.
- 20. QUALIFIED PERSONNEL, PROVIDED BY THE GENERAL/PRIME CONTRACTOR SHALL INSPECT DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED AND EROSION AND SEDIMENT CONTROLS WITHIN 24 HOURS OF ALL 0.5-INCH, OR MORE, PRECIPITATION EVENTS WITH A MINIMUM INSPECTION INTERVAL OF ONCE EVERY SEVEN (7) CALENDAR DAYS IN THE ABSENCE OF A QUALIFYING RAIN OR SNOWFALL EVENT. REPORTING SHALL BE IN ACCORDANCE WITH OF THE GENERAL PERMIT. CONTRACTOR SHALL IMMEDIATELY ARRANGE TO HAVE ANY DEFICIENT ITEMS REVEALED DURING INSPECTIONS REPAIRED/REPLACED.
- 21. SEE ADDITIONAL DETAILS AND NOTES ON SITE STABILIZATION AND CONSTRUCTION DETAILS.

GENERAL NOTES

REVISIONS	
NO.	DATE
1	PC SUBMITTAL 09/29/25

REG. JOB No.	6501.00
REG. No.	TOM
START DATE	09/11/25
SCALE	N.T.S.

SHEET	C-2
OF	C-9

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PINNACLE ENGINEERING GROUP
ENGINEERING | NATURAL RESOURCES | SURVEYING

WISCONSIN OFFICE: 2073 WATERTOWN ROAD, SUITE 100
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(262) 754-8888
CHICAGO OFFICE: 1100 W. MADISON AVE., SUITE 100
CHICAGO, IL 60601

CEDARBURG INDUSTRIAL
FORWARD WAY
CITY OF CEDARBURG, WISCONSIN

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LOT 1
C.S.M. NO. 4282
EXCEPTION
TAX KEY #
13-022-03-003.00
OWNER:
CORNERSTONE CLC
PROPERTIES LLC

TAX KEY #
13-022-03-001.01
OWNER: STONE LAKE
DEVELOPMENT INC
UNPLATTED LANDS

STONE LAKE CONDOMINIUM
OWNER: STONE LAKE
DEVELOPMENT INC

LOT 1
C.S.M. NO. 4280
TAX KEY #
13-022-02.006.00
OWNER: PB&S
HOLDINGS LLC

REMNANT
LOT 2
C.S.M. NO. 4262
TAX PARCEL NO.
13-022-03-004.00
351,846 SQ. FT.
8.0773 ACRES

- VACANT -
NO BUILDINGS
OBSERVED

DEMOLITION LEGEND

	REMOVE EXISTING CONCRETE WALK
	SAWCUT EXISTING PAVEMENT
	REMOVE EXISTING CURB AND GUTTER
	REMOVE EXISTING UTILITY
	RELOCATE EXISTING UTILITY STRUCTURE

EXISTING CONDITIONS SURVEY:

EXISTING CONDITIONS SURVEY PROVIDED BY PINNACLE ENGINEERING GROUP. ALTHOUGH PEG HAS NO REASON TO BELIEVE THE SURVEY IS INACCURATE, PEG MAKES NO WARRANTIES THAT EXISTING INFORMATION CONTAINED WITHIN THESE PLANS IS ALL-INCLUSIVE OR ACCURATE. CONTRACTOR SHALL UNDERTAKE NECESSARY EFFORTS TO VERIFY THE EXISTING CONDITIONS PRIOR TO THE START OF MATERIAL PROCUREMENT AND CONSTRUCTION EFFORTS/ACTIVITIES.

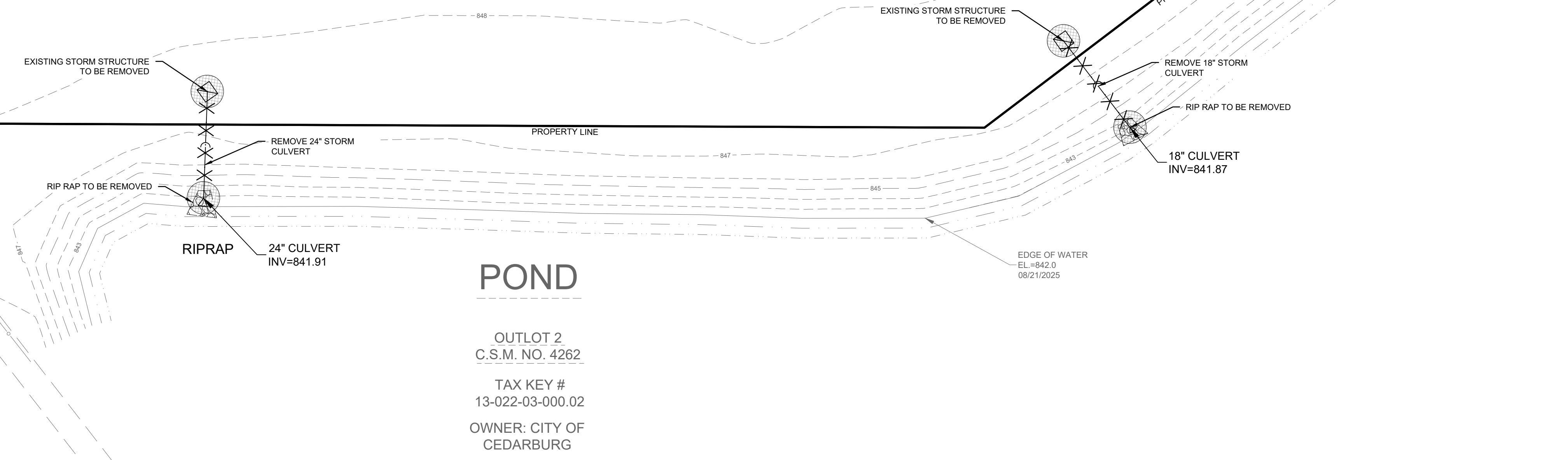
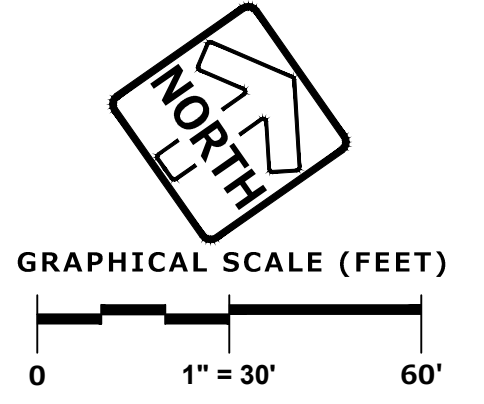
CONTRACTOR RESPONSIBILITY:

THE INFORMATION SHOWN ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL-INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATIONS AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. IF ADDITIONAL UTILITIES ARE KNOWN TO EXIST IN THE PROPERTY, THE OWNER WILL PROVIDE EXISTING PLANS OF OTHER UTILITIES SERVING THE SITE AND THE BUILDING THAT OTHERWISE CANNOT BE LOCATED BY A VISUAL OBSERVATION OF THE PROPERTY OR OF WHICH THE SURVEYOR WOULD HAVE NO KNOWLEDGE.

CONTRACTOR RESPONSIBILITY: SEE ADDITIONAL CONSTRUCTION NOTES LOCATED ON SHEET C-2

LEGEND

	SANITARY MANHOLE		STORM SEWER		WATER MAIN
	STORM MANHOLE		CATCH BASIN		LIGHTING
	INLET		ELECTRICAL CABLE		ELECTRICAL TRANSFORMER OR PEDESTAL
	PRECAST FLARED END SECTION		POWER POLE		POWER POLE WITH LIGHT
	CONCRETE HEADWALL		GUY WIRE		STREET SIGN
	VALVE VAULT		GAS MAIN		TELEPHONE LINE
	VALVE BOX		CONTOUR		TREE
	FIRE HYDRANT				EASEMENT LINE
	BUFFALO BOX				
	CLEANOUT				
	SANITARY SEWER				
	FORCE MAIN				
	CONCRETE SIDEWALK				



DRAWN: DTM
DESIGNED: ATM
REVIEWED: TOM

EXISTING CONDITIONS & DEMOLITION PLAN

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BROOKFIELD, WI 53196
(262) 754-8888
CHICAGO | MILWAUKEE | RATIONSVILLE

**CEDARBURG INDUSTRIAL
FORWARD WAY
CITY OF CEDARBURG, WISCONSIN**

EXISTING CONDITIONS & DEMOLITION PLAN

REVISIONS

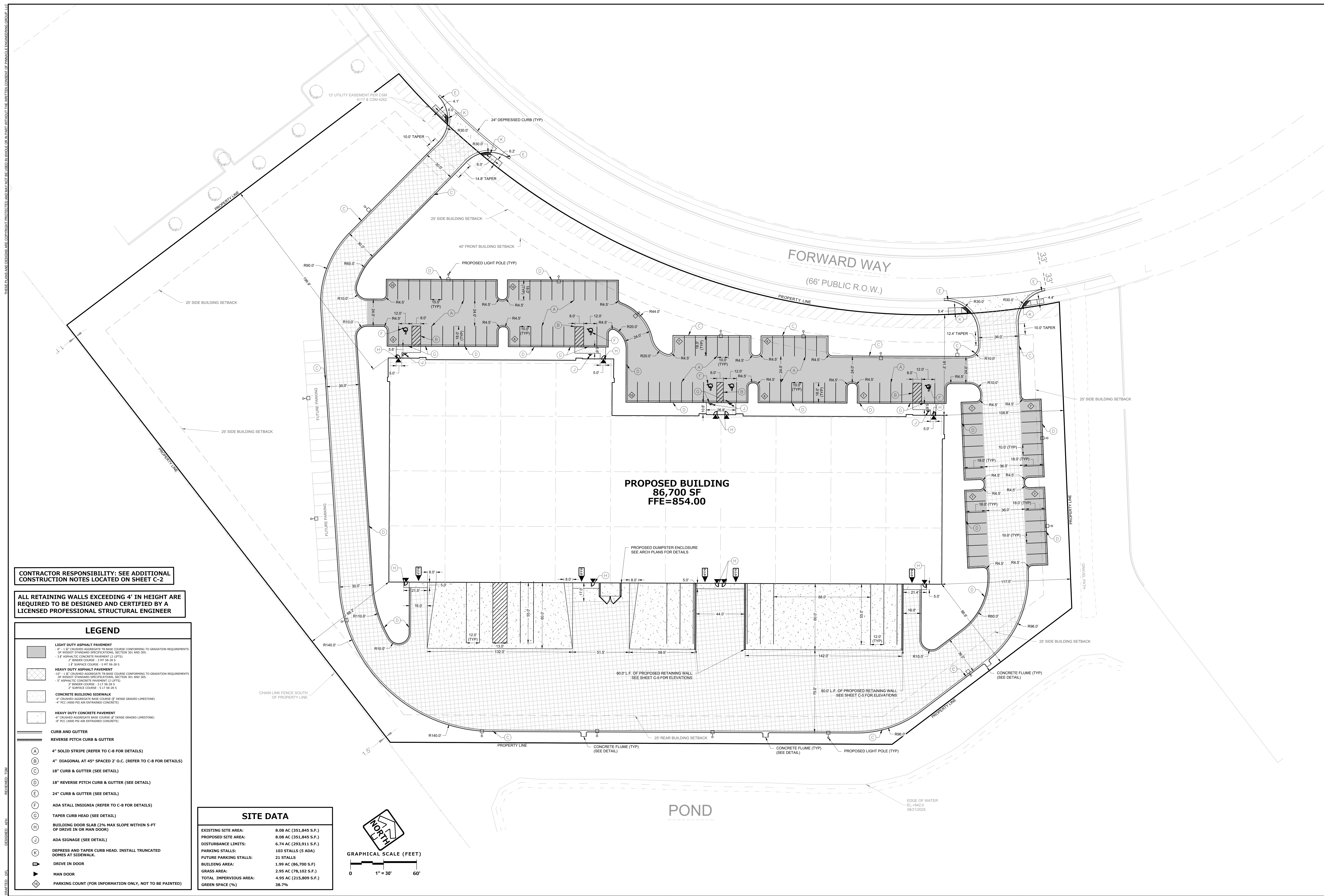
1	PC SUBMITTAL	09/29/25	

REG. JOB NO.: 6501.00
TOM
SCALE: 1" = 30'

**SHEET
C-3
of
C-9**

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CONTRACTOR RESPONSIBILITY: SEE ADDITIONAL CONSTRUCTION NOTES LOCATED ON SHEET C-2

ALL RETAINING WALLS EXCEEDING 4' IN HEIGHT ARE REQUIRED TO BE DESIGNED AND CERTIFIED BY A LICENSED PROFESSIONAL STRUCTURAL ENGINEER

LEGEND

LIGHT DUTY ASPHALT PAVEMENT
 1" - 1/2" CRUSHED AGGREGATE TR BASE COURSE CONFORMING TO GRADATION REQUIREMENTS OF WISCONSIN STANDARD SPECIFICATIONS, SECTION 301 AND 302.
 3" ASPHALTIC CONCRETE PAVEMENT (2 LIFTS)
 2" BINDER COURSE - 5.175 SR-28.5
 1" SURFACE COURSE - 5.175 SR-28.5

HEAVY DUTY ASPHALT PAVEMENT
 1 1/2" - 1/2" CRUSHED AGGREGATE TR BASE COURSE CONFORMING TO GRADATION REQUIREMENTS OF WISCONSIN STANDARD SPECIFICATIONS, SECTION 301 AND 302.
 5" ASPHALTIC CONCRETE PAVEMENT (2 LIFTS)
 3" BINDER COURSE - 5.175 SR-28.5
 2" SURFACE COURSE - 5.175 SR-28.5

CONCRETE BUILDING SIDEWALK
 4" CRUSHED AGGREGATE BASE COURSE (3" DENSE GRADED LIMESTONE)
 4" PCC (4000 PSI AIR ENTRAINED CONCRETE)

HEAVY DUTY CONCRETE PAVEMENT
 4" CRUSHED AGGREGATE BASE COURSE (3" DENSE GRADED LIMESTONE)
 4" PCC (4000 PSI AIR ENTRAINED CONCRETE)

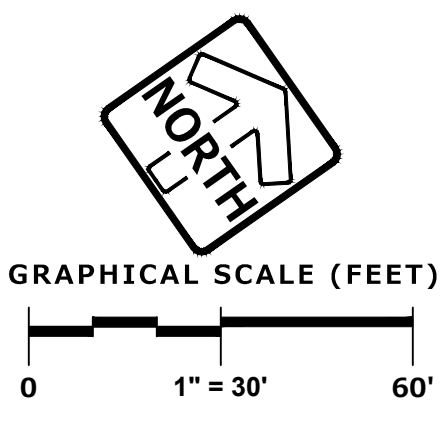
CURB AND GUTTER

REVERSE PITCH CURB & GUTTER

(A) 4" SOLID STRIPE (REFER TO C-8 FOR DETAILS)
 (B) 4" DIAGONAL AT 45° SPACED 2' O.C. (REFER TO C-8 FOR DETAILS)
 (C) 18" CURB & GUTTER (SEE DETAIL)
 (D) 18" REVERSE PITCH CURB & GUTTER (SEE DETAIL)
 (E) 24" CURB & GUTTER (SEE DETAIL)
 (F) ADA STALL INSIGNIA (REFER TO C-8 FOR DETAILS)
 (G) TAPER CURB HEAD (SEE DETAIL)
 (H) BUILDING DOOR SLAB (2% MAX SLOPE WITHIN 5-FT OF DRIVE IN OR MAN DOOR)
 (J) ADA SIGNAGE (SEE DETAIL)
 (K) DEPRESS AND TAPER CURB HEAD. INSTALL TRUNCATED DOMES AT SIDEWALK.
 (M) DRIVE IN DOOR
 (N) MAN DOOR
 (P) PARKING COUNT (FOR INFORMATION ONLY, NOT TO BE PAINTED)

SITE DATA

EXISTING SITE AREA:	8.08 AC (351,845 S.F.)
PROPOSED SITE AREA:	8.08 AC (351,845 S.F.)
DISTURBANCE LIMITS:	6.74 AC (293,911 S.F.)
PARKING STALLS:	103 STALLS (5 ADA)
FUTURE PARKING STALLS:	21 STALLS
BUILDING AREA:	1.99 AC (86,700 S.F.)
GRASS AREA:	2.95 AC (128,102 S.F.)
TOTAL IMPERVIOUS AREA:	4.95 AC (215,809 S.F.)
GREEN SPACE (%)	38.7%



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CEDARBURG INDUSTRIAL
FORWARD WAY
CITY OF CEDARBURG, WISCONSIN

SITE DIMENSIONAL & PAVING PLAN

REVISIONS

1	PC SUBMITTAL	09/29/25	

REG. JOB NO.: 6501.00
 REG. NO.: 6501.00
 START DATE: 09/11/25
 SCALE: 1" = 30'

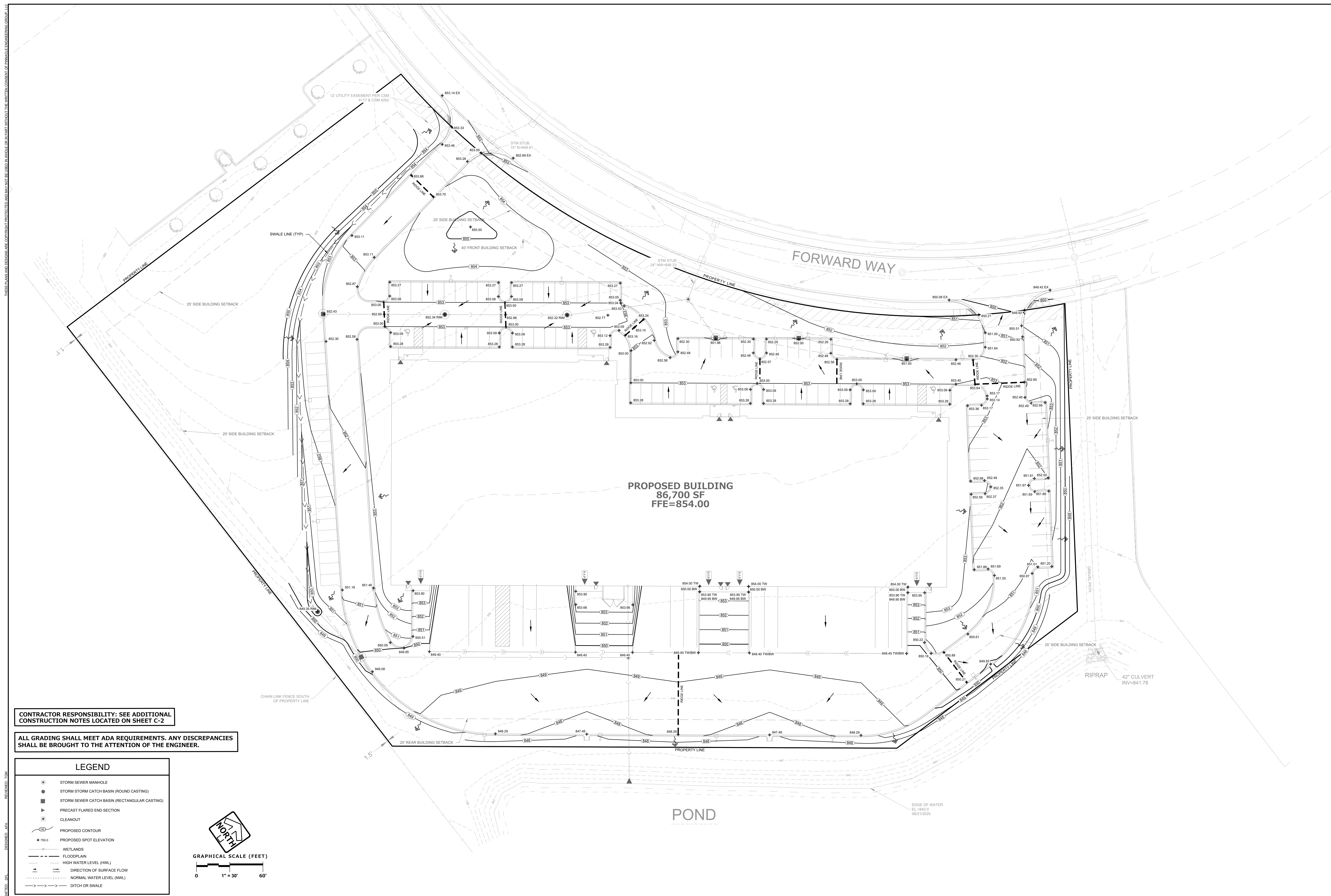
SHEET
C-4
 of
C-9

SITE DIMENSIONAL & PAVING PLAN

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DESIGNED: ATN
DRAWN: DTL
REVIEWED: TOM

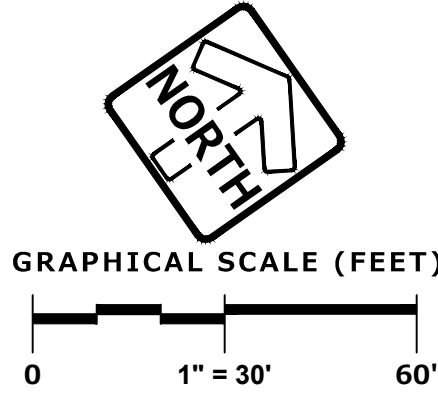


CONTRACTOR RESPONSIBILITY: SEE ADDITIONAL CONSTRUCTION NOTES LOCATED ON SHEET C-2

ALL GRADING SHALL MEET ADA REQUIREMENTS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.

LEGEND

- STORM SEWER MANHOLE
- STORM STORM CATCH BASIN (ROUND CASTING)
- STORM SEWER CATCH BASIN (RECTANGULAR CASTING)
- PRECAST FLARED END SECTION
- CLEANOUT
- PROPOSED CONTOUR
- ◆ 750.0 PROPOSED SPOT ELEVATION
- WETLANDS
- FLOODPLAIN
- HIGH WATER LEVEL (HWL)
- DIRECTION OF SURFACE FLOW
- NORMAL WATER LEVEL (NWL)
- DITCH OR SWALE



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**CEDARBURG INDUSTRIAL
 FORWARD WAY
 CITY OF CEDARBURG, WISCONSIN**

GRADING PLAN

REVISIONS	
1	PC SUBMITTAL 09/29/25

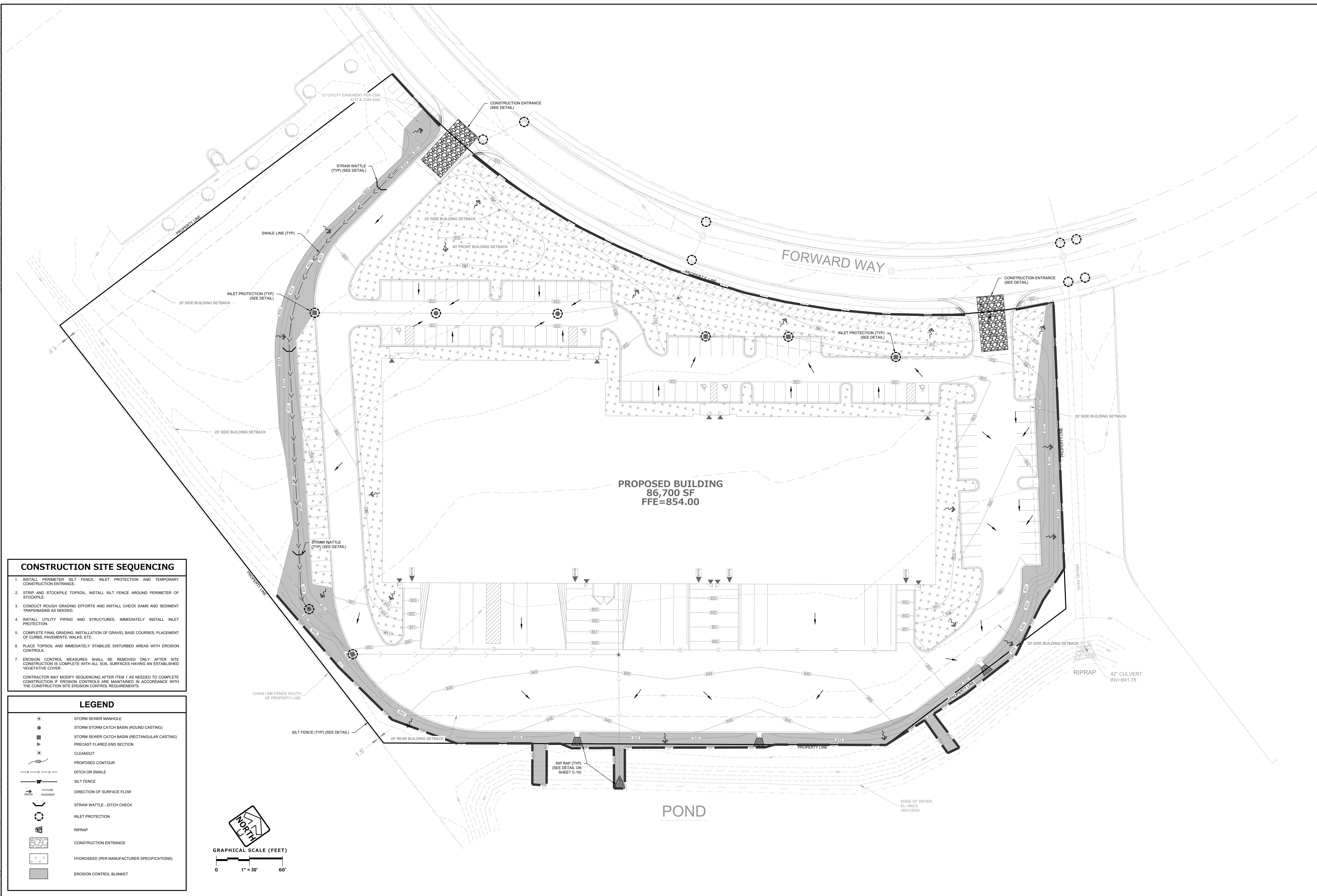
REG. JOB NO.: 6501.00
 REG. NO.: TCM
 START DATE: 09/11/25
 SCALE: 1" = 30'

SHEET
C-5
 of
C-9

GRADING PLAN

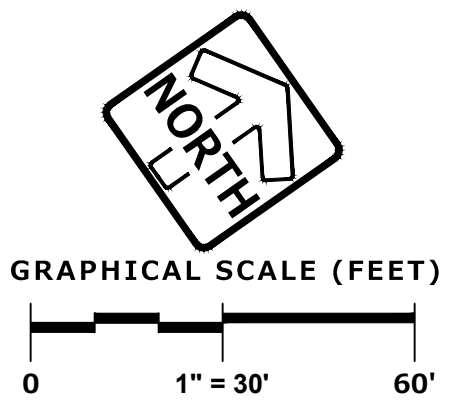
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- CONSTRUCTION SITE SEQUENCING**
1. INSTALL PERIMETER SILT FENCE, INLET PROTECTION AND TEMPORARY CONSTRUCTION ENTRANCE.
 2. STRIP AND STOCKPILE TOPSOIL. INSTALL SILT FENCE AROUND PERIMETER OF STOCKPILE.
 3. CONDUCT ROUGH GRADING EFFORTS AND INSTALL CHECK DAMS AND SEDIMENT TRAP-BASINS AS NEEDED.
 4. INSTALL UTILITY PIPING AND STRUCTURES, IMMEDIATELY INSTALL INLET PROTECTION.
 5. COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF CURBS, PAVEMENTS, WALKS, ETC.
 6. PLACE TOPSOIL AND IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROLS.
 7. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.
- CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM 1 AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS.

- LEGEND**
- STORM SEWER MANHOLE
 - STORM STORM CATCH BASIN (ROUND CASTING)
 - STORM SEWER CATCH BASIN (RECTANGULAR CASTING)
 - ▤ PRECAST FLARED END SECTION
 - CLEANOUT
 - PROPOSED CONTOUR
 - - - DITCH OR SWALE
 - SILT FENCE
 - DIRECTION OF SURFACE FLOW
 - PAVEMENT
 - STRAW WATTLE - DITCH CHECK
 - INLET PROTECTION
 - RIPRAP
 - CONSTRUCTION ENTRANCE
 - HYDROSEED (PER MANUFACTURER SPECIFICATIONS)
 - EROSION CONTROL BLANKET



PLAN | DESIGN | DELIVER
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PINNACLE ENGINEERING GROUP
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WISCONSIN OFFICE:
20725 WATERTOWN ROAD, SUITE 100
BROOKFIELD, WI 53196
(262) 754-8888
CHICAGO | MILWAUKEE | NATIONWIDE

**CEDARBURG INDUSTRIAL
FORWARD WAY
CITY OF CEDARBURG, WISCONSIN**

EROSION CONTROL PLAN

REVISIONS	
1. PC SUBMITTAL	09/29/25

REG. JOB NO.: 6501.00
REG. PM.: TOM
START DATE: 09/11/25
SCALE: 1" = 30'

SHEET
C-6
of
C-9

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LOT 1
C.S.M. NO. 4282

TAX KEY #
13-022-03-003.00

OWNER:
CORNERSTONE CLC
PROPERTIES LLC

TAX KEY #
13-022-03-001.01
OWNER: STONE LAKE
DEVELOPMENT INC
UNPLATTED LANDS

STONE LAKE CONDOMINIUM
OWNER: STONE LAKE
DEVELOPMENT INC

LOT 1
C.S.M. NO. 4280

TAX KEY #
13-022-02.006.00

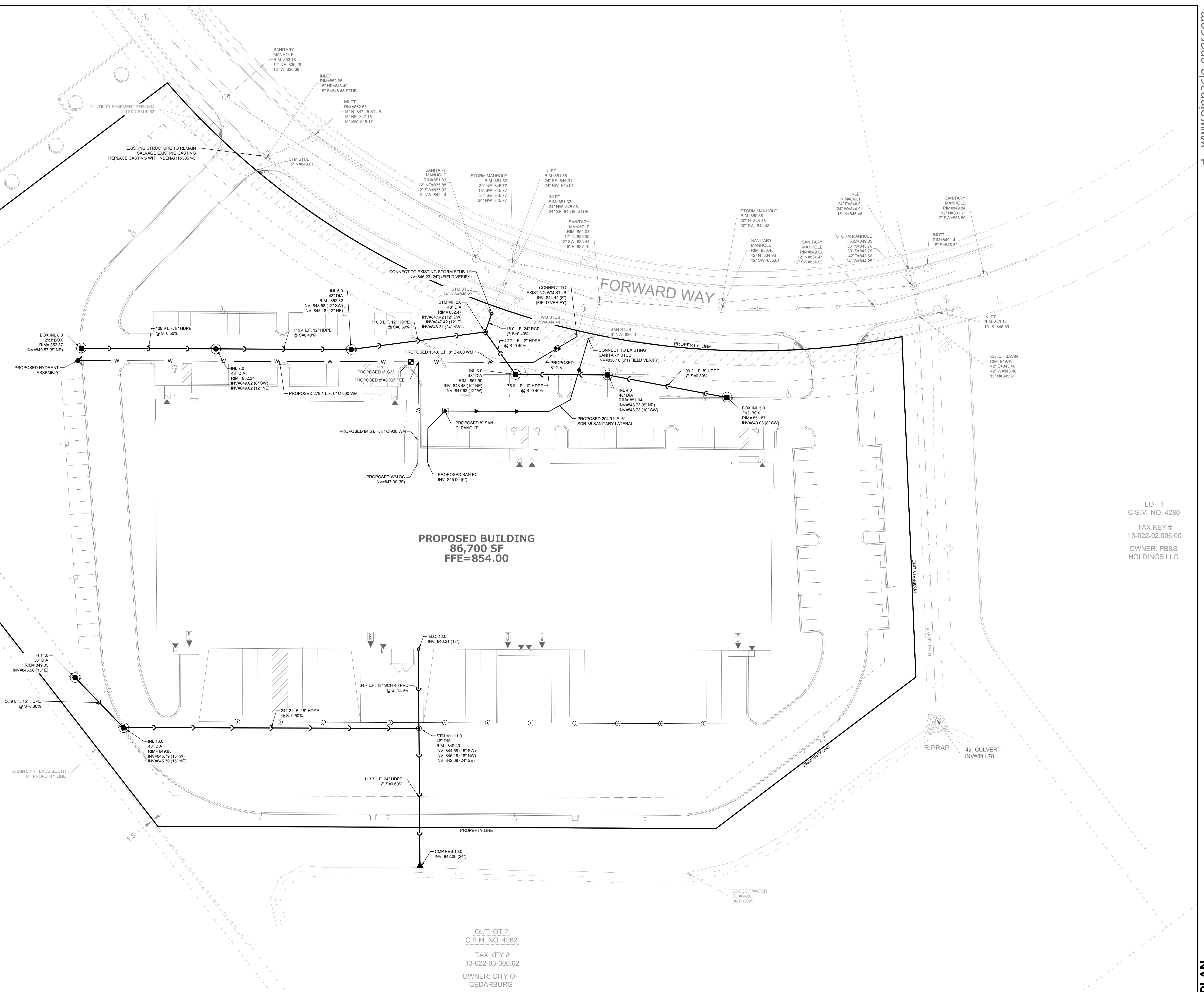
OWNER: PB&S
HOLDINGS LLC

PROPOSED BUILDING
86,700 SF
FFE=854.00

CONTRACTOR RESPONSIBILITY: SEE ADDITIONAL
CONSTRUCTION NOTES LOCATED ON SHEET C-2

ALL STORM SEWER STRUCTURES SHALL HAVE DONUT
DRAINTILE IN ACCORDANCE WITH DETAIL ON SHEET C-8

LEGEND	
	SANITARY SEWER MANHOLE
	STORM SEWER MANHOLE
	STORM SEWER CATCH BASIN (ROUND CASTING)
	STORM SEWER CATCH BASIN (RECTANGULAR CASTING)
	PRECAST CONCRETE FLARED END SECTION
	CLEANOUT
	VALVE BOX
	FIRE HYDRANT
	INLET UNDERDRAIN
	SANITARY SEWER
	FORCE MAIN
	STORM SEWER
	DRAIN TILE
	WATER MAIN
	FIRE PROTECTION
	UTILITY CROSSING
	ELECTRICAL CABLE
	GAS MAIN
	TELEPHONE LINE
	OVERHEAD WIRES
	LIGHTING
	ELECTRICAL TRANSFORMER OR PEDESTAL
	POWER POLE
	POWER POLE WITH LIGHTS
	STREET SIGN



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CEDARBURG INDUSTRIAL
FORWARD WAY
CITY OF CEDARBURG, WISCONSIN

OUTLOT 2
C.S.M. NO. 4262

TAX KEY #
13-022-03-000.02

OWNER: CITY OF
CEDARBURG

UTILITY PLAN

REVISIONS	
1	PC SUBMITTAL 02/29/23

REG. JOB NO.	6501.00
REG. PM.	TJM
START DATE	09/11/23
SCALE	1" = 30'

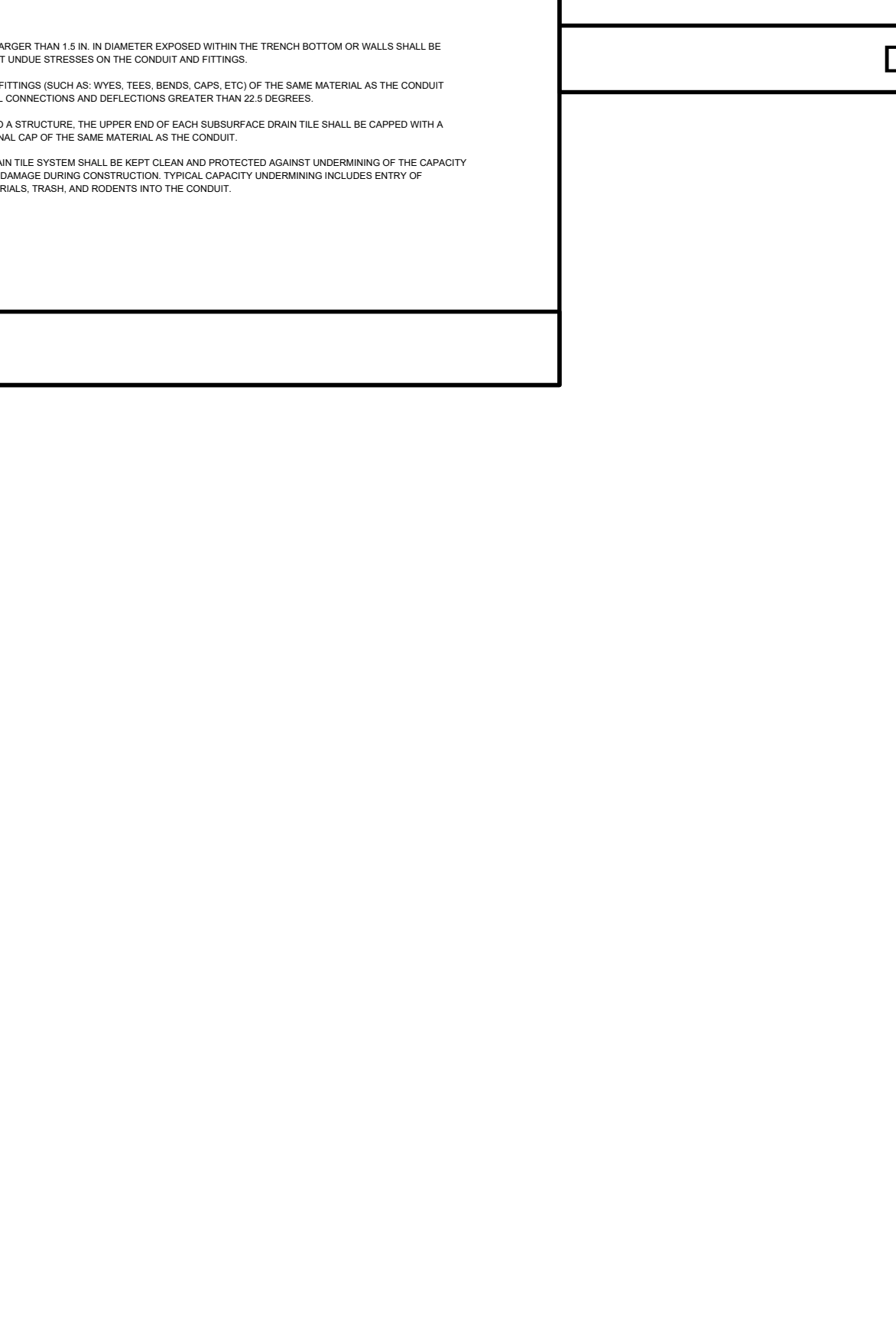
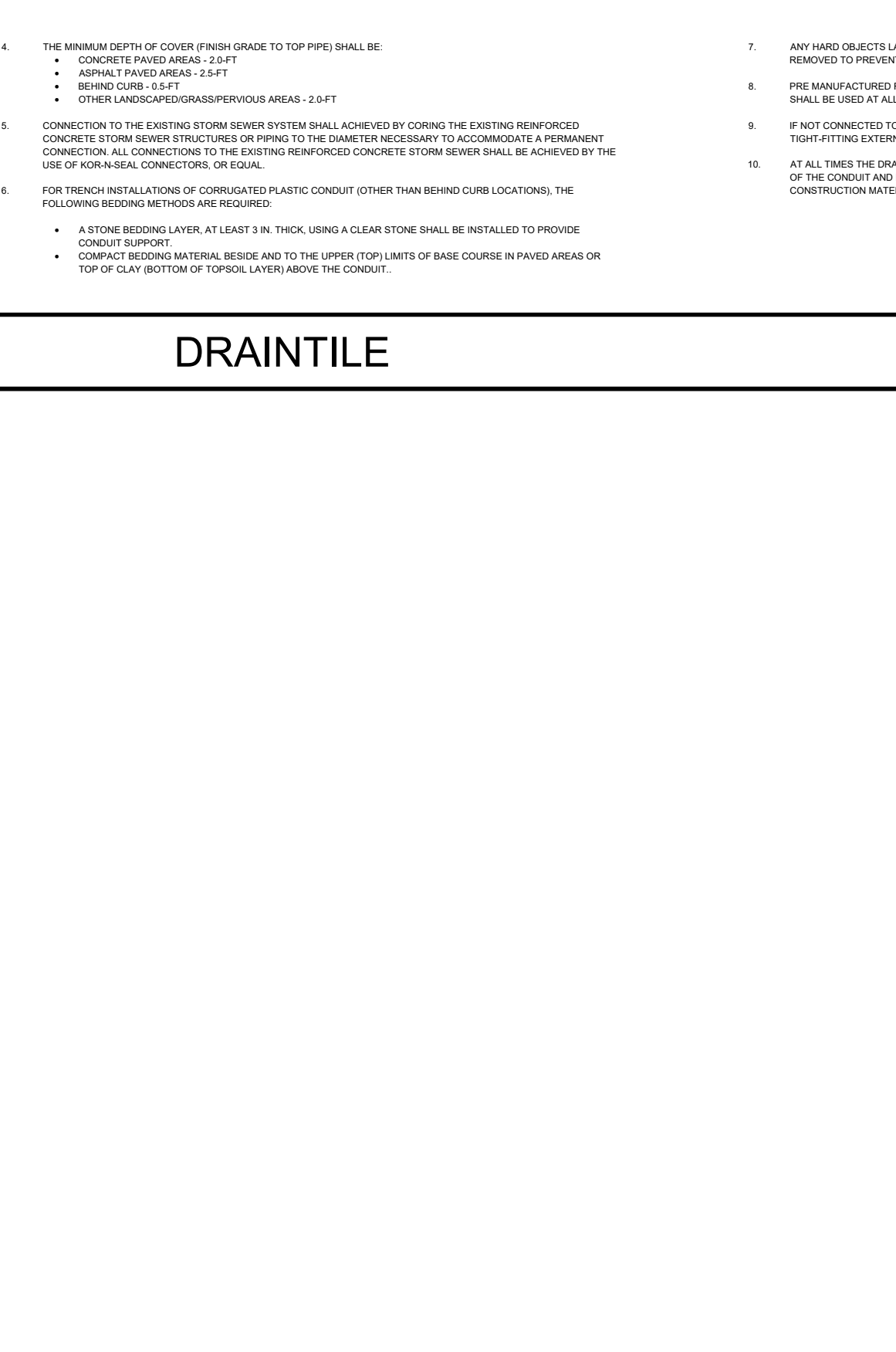
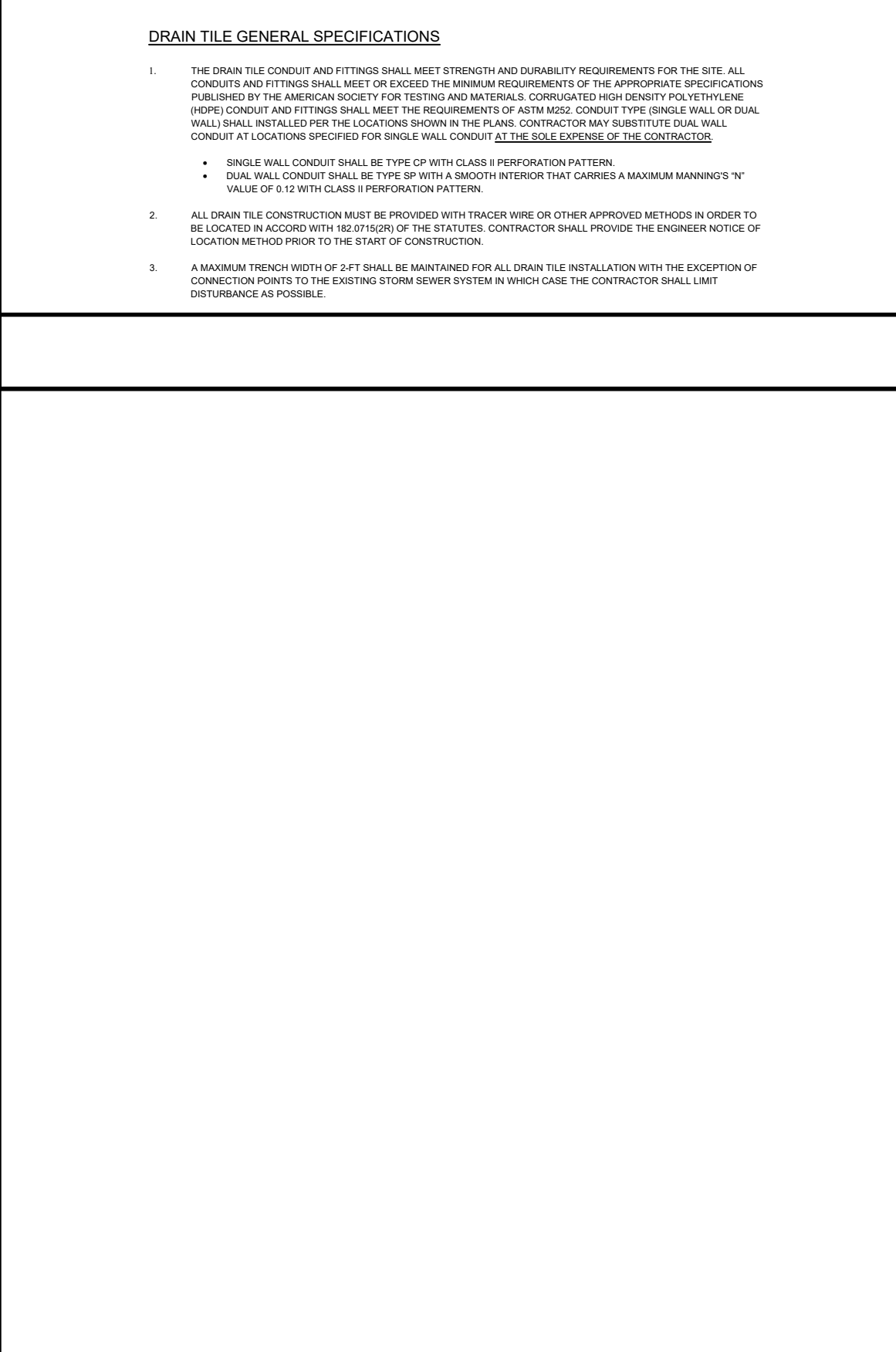
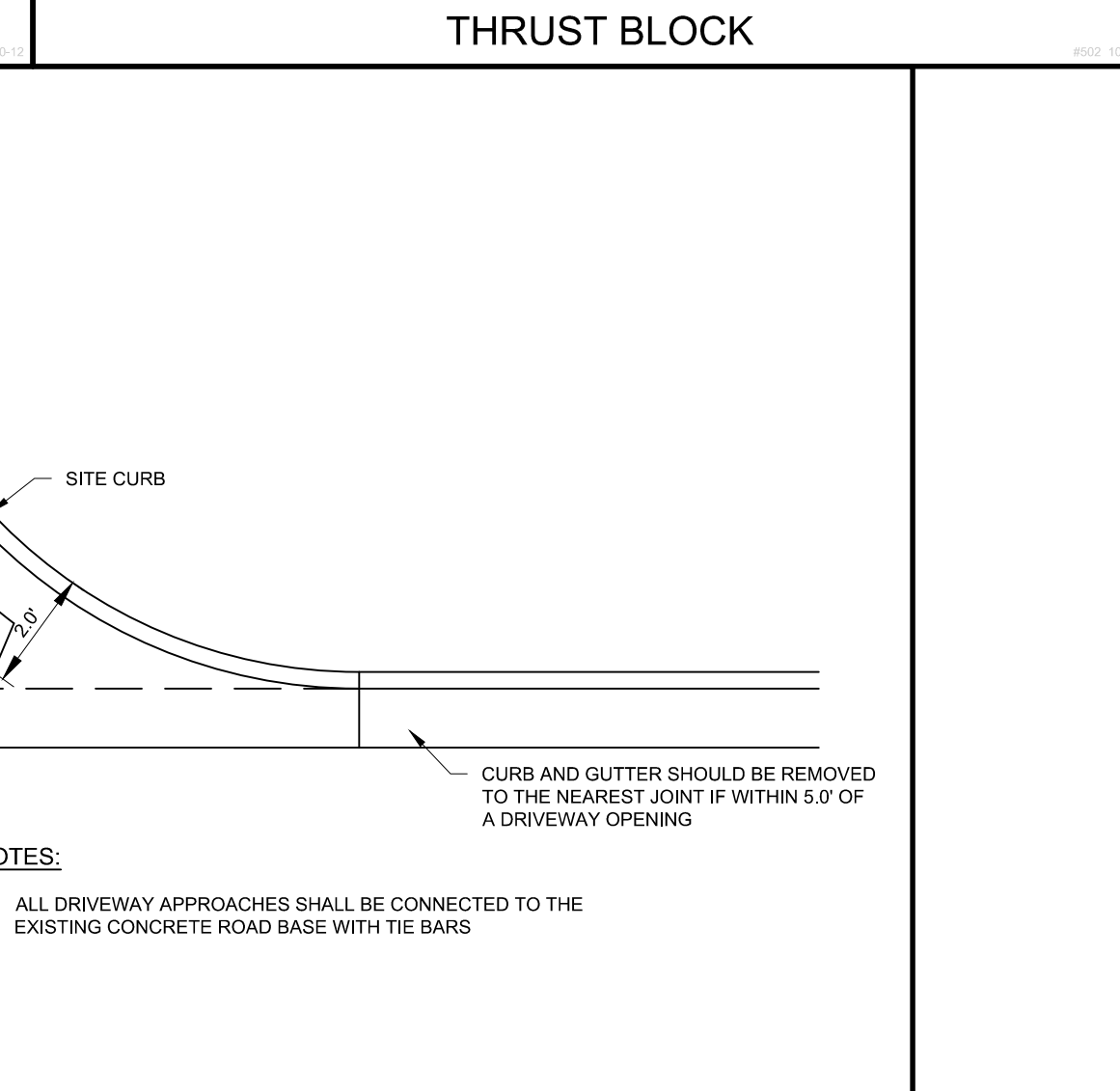
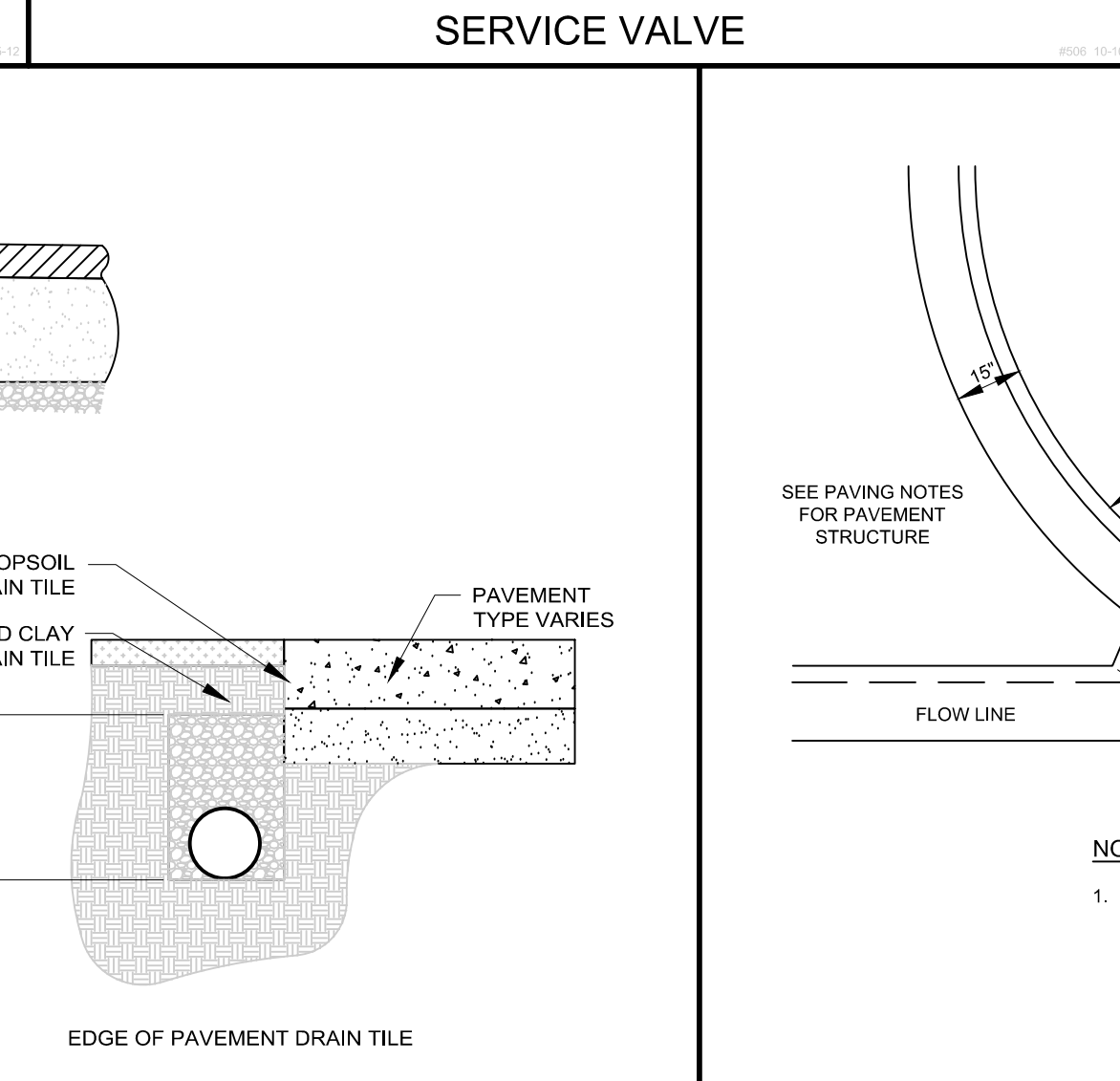
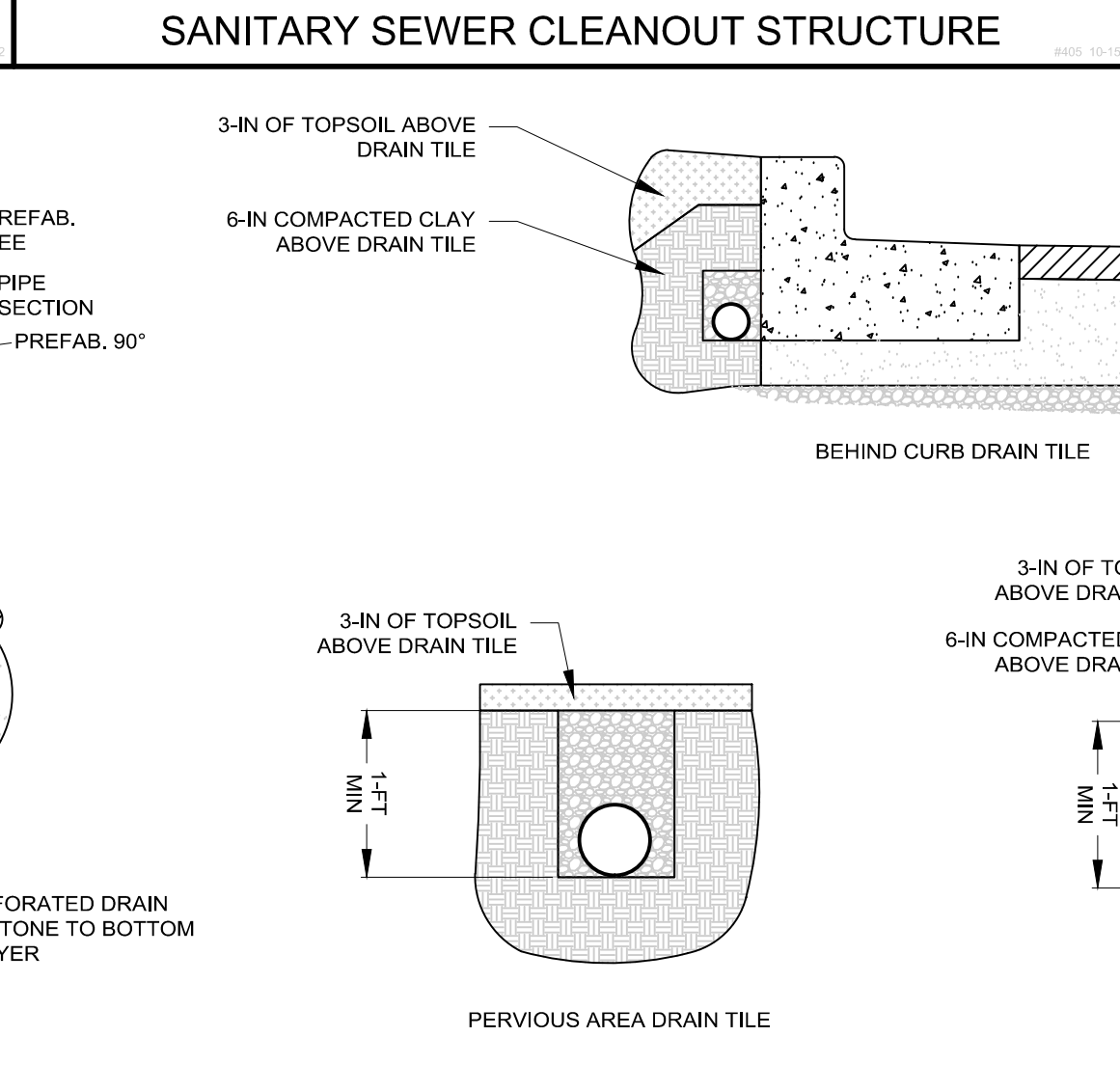
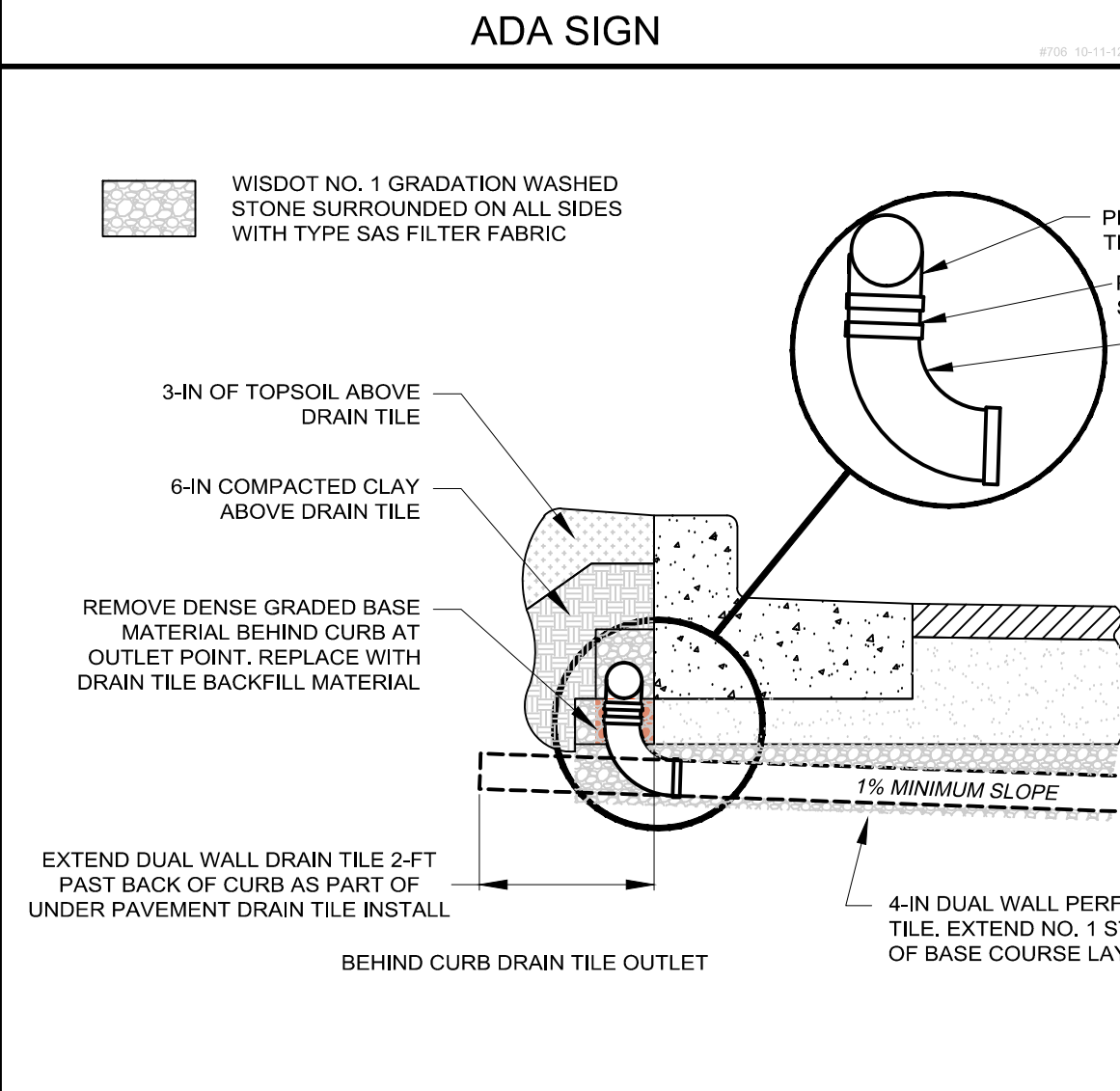
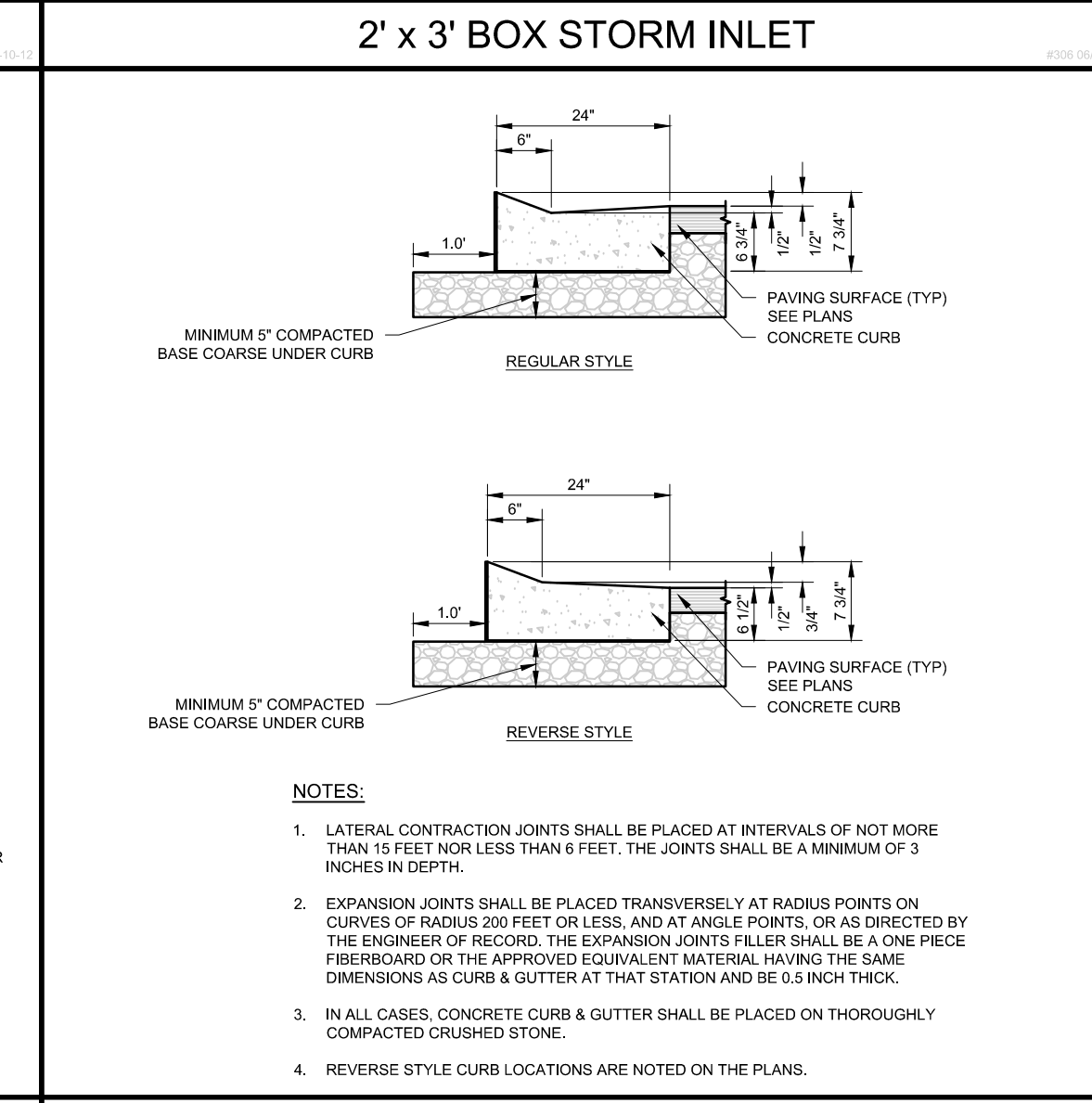
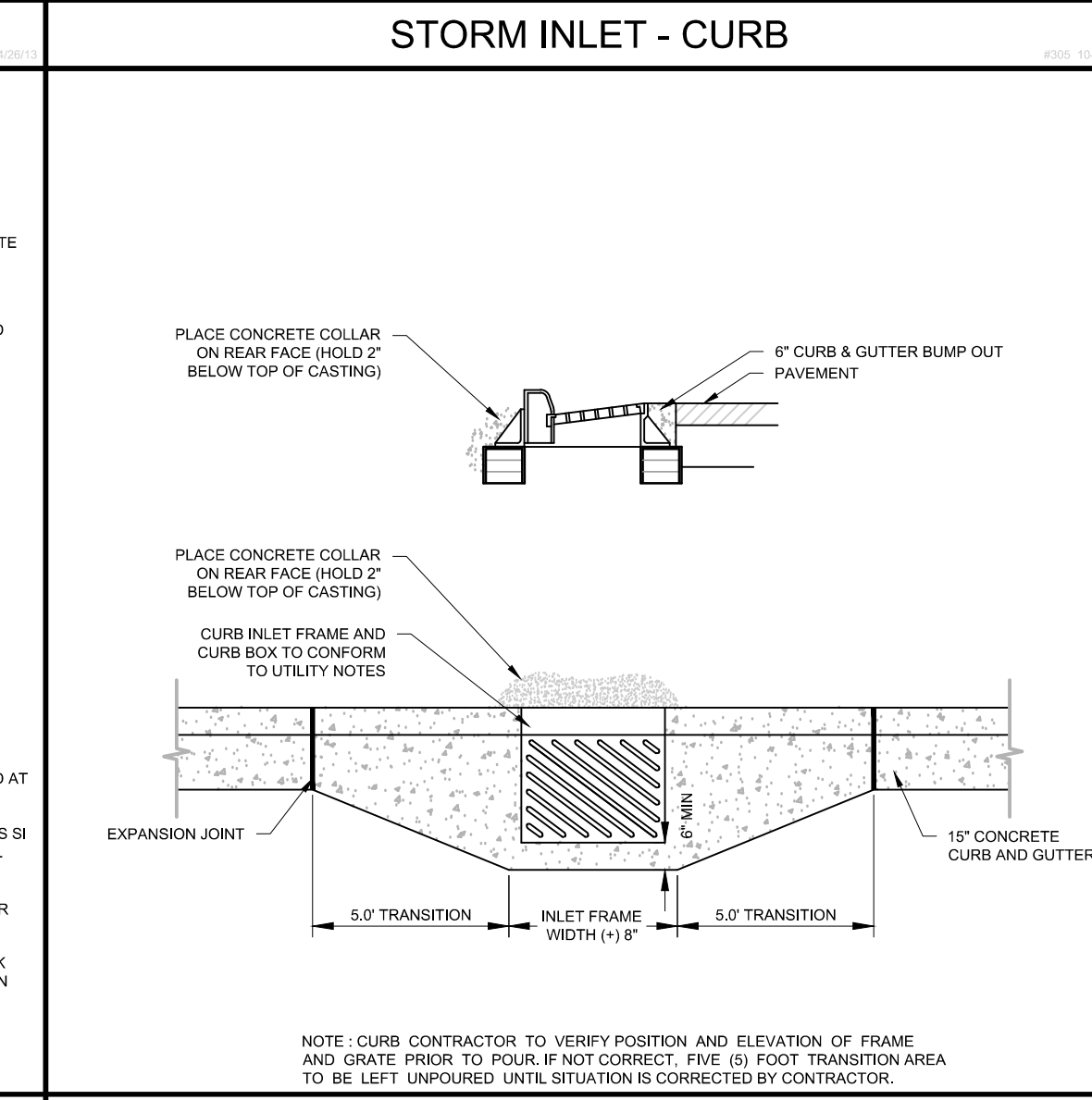
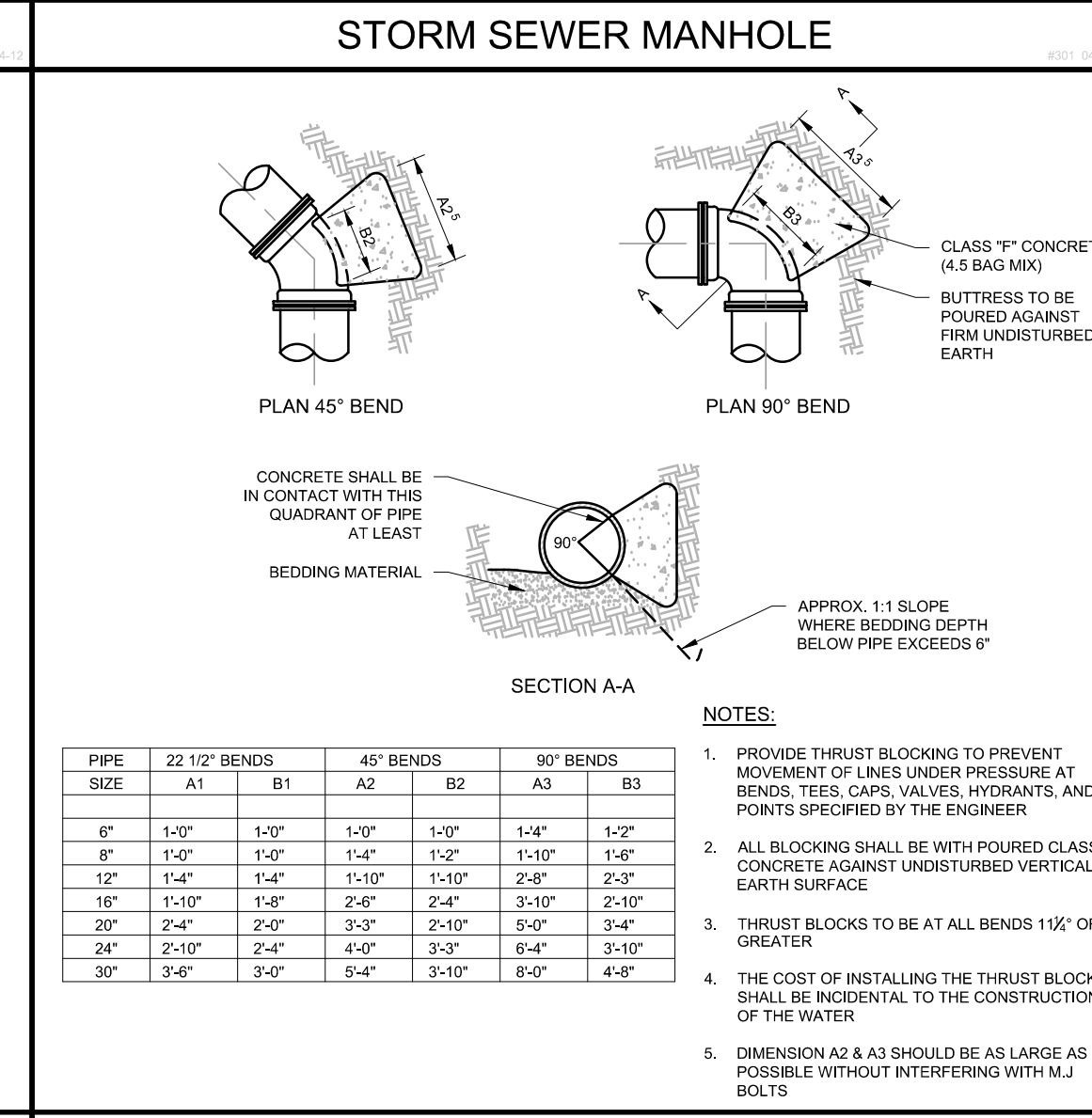
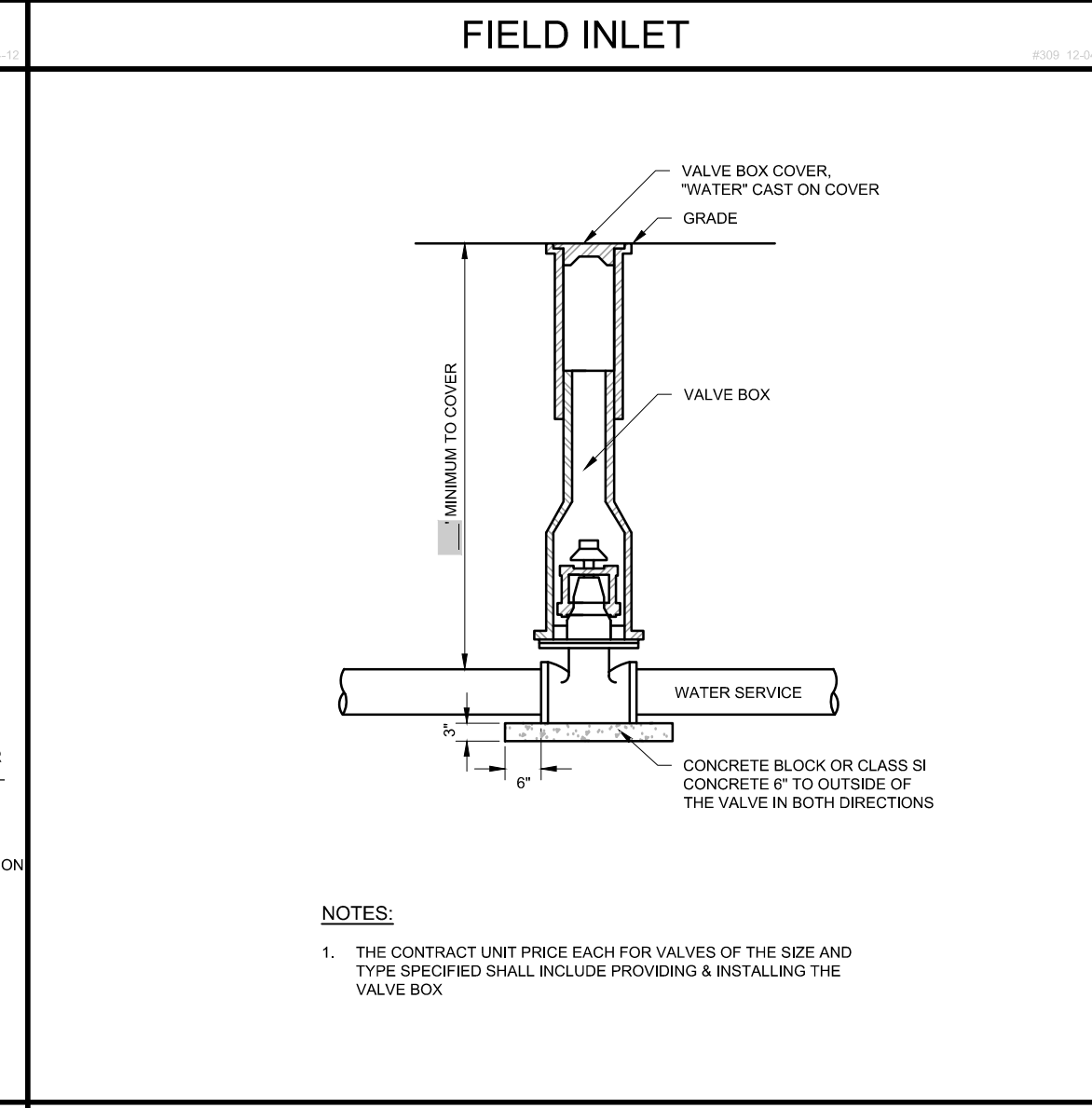
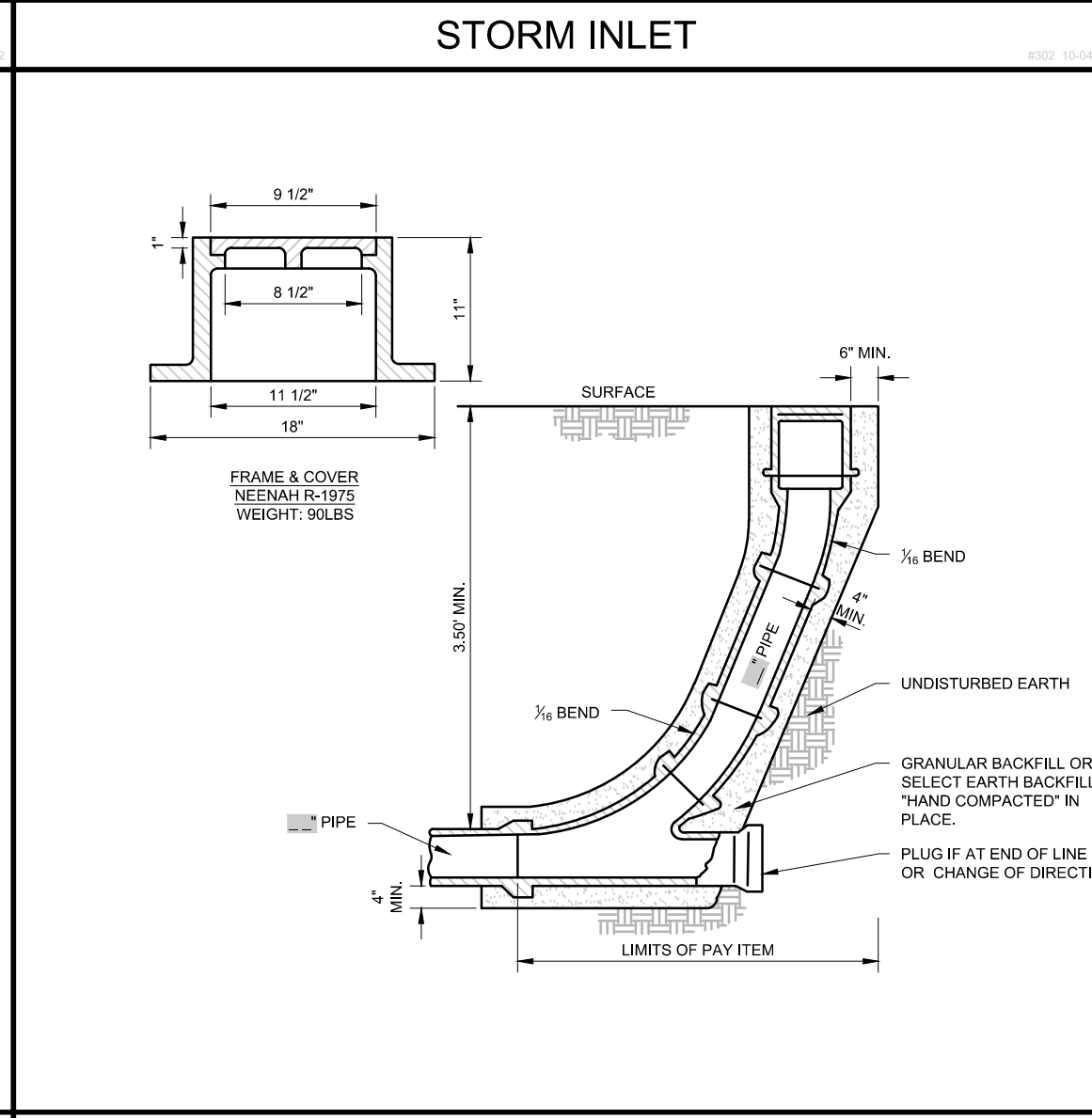
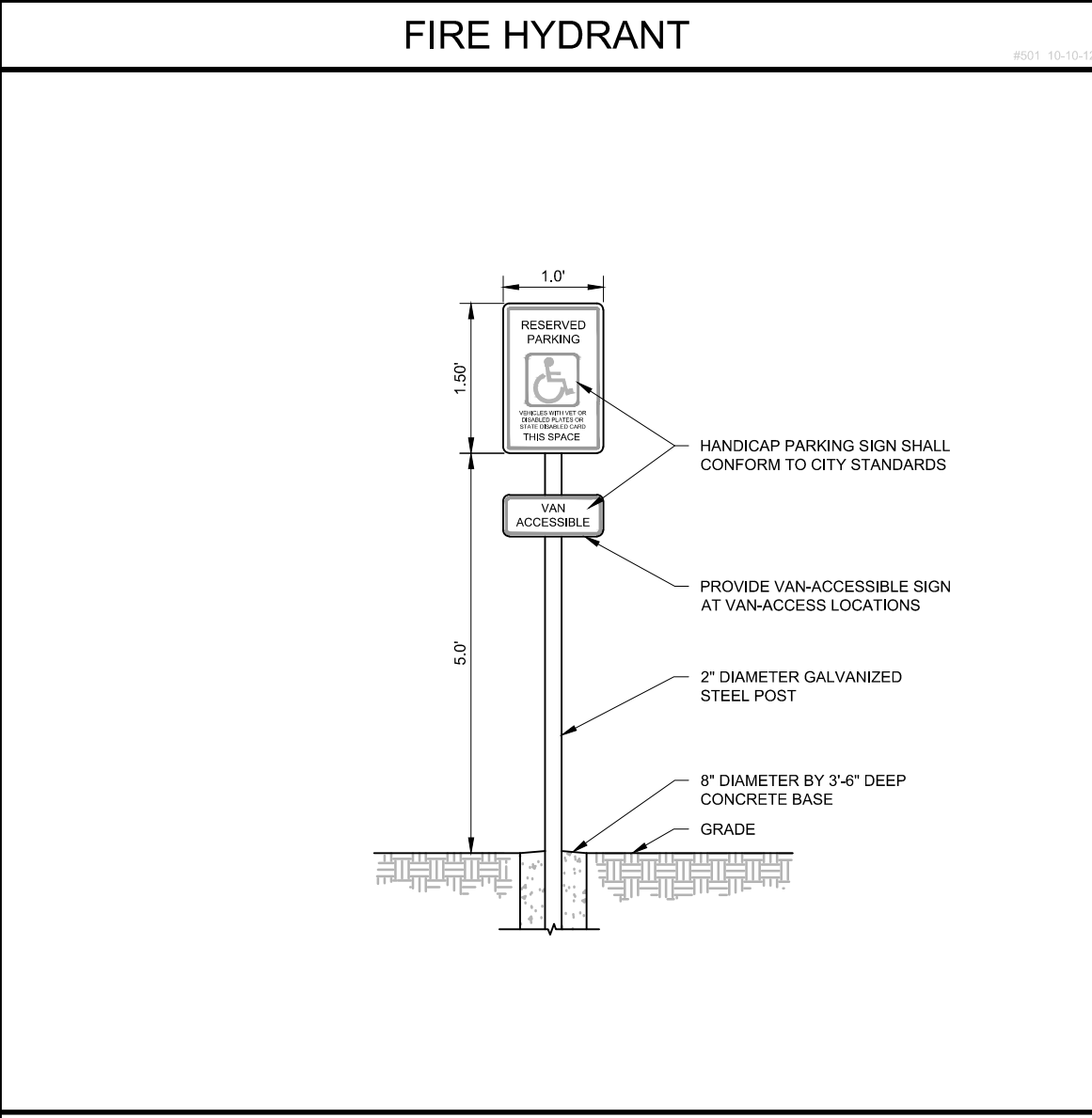
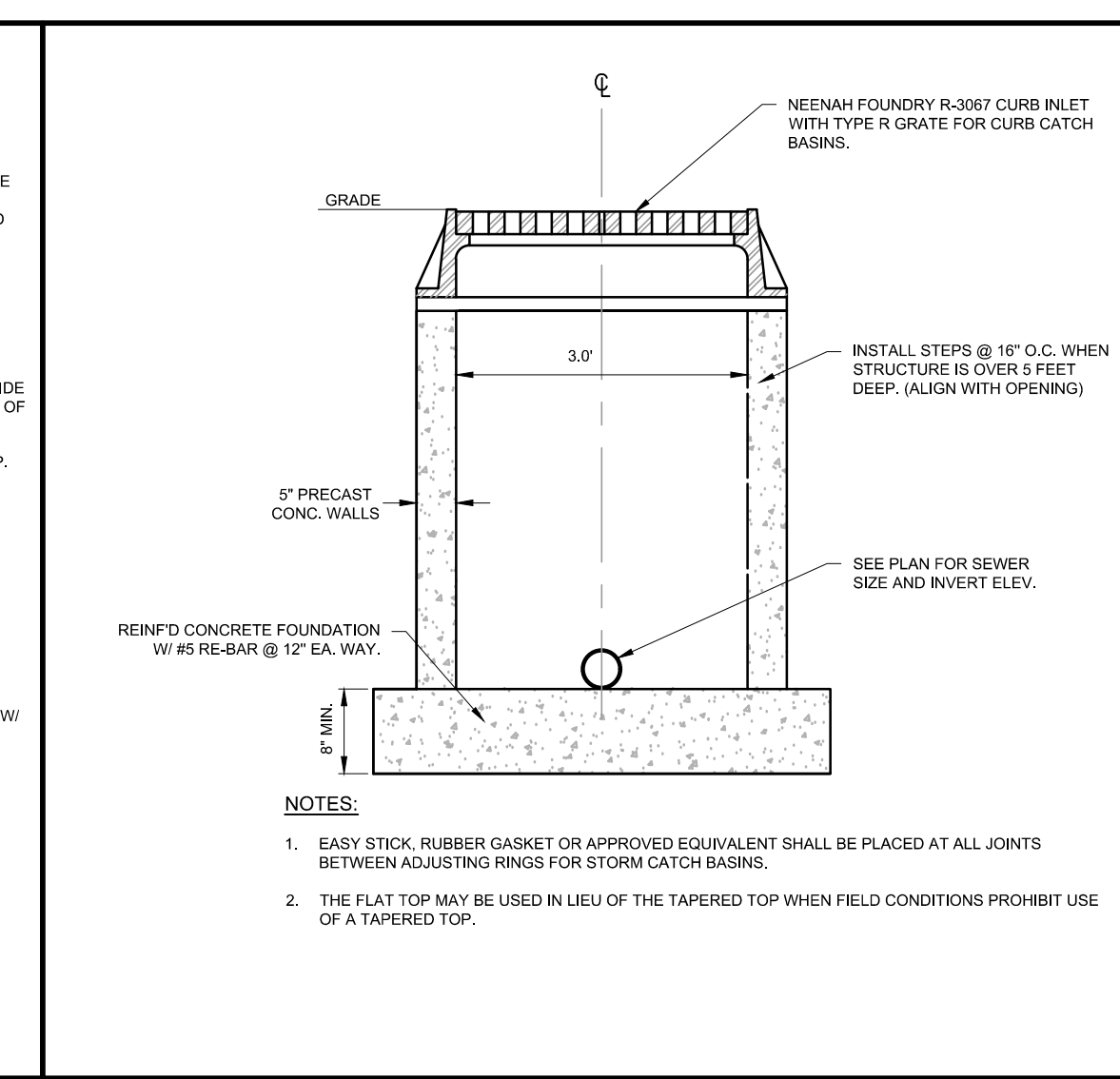
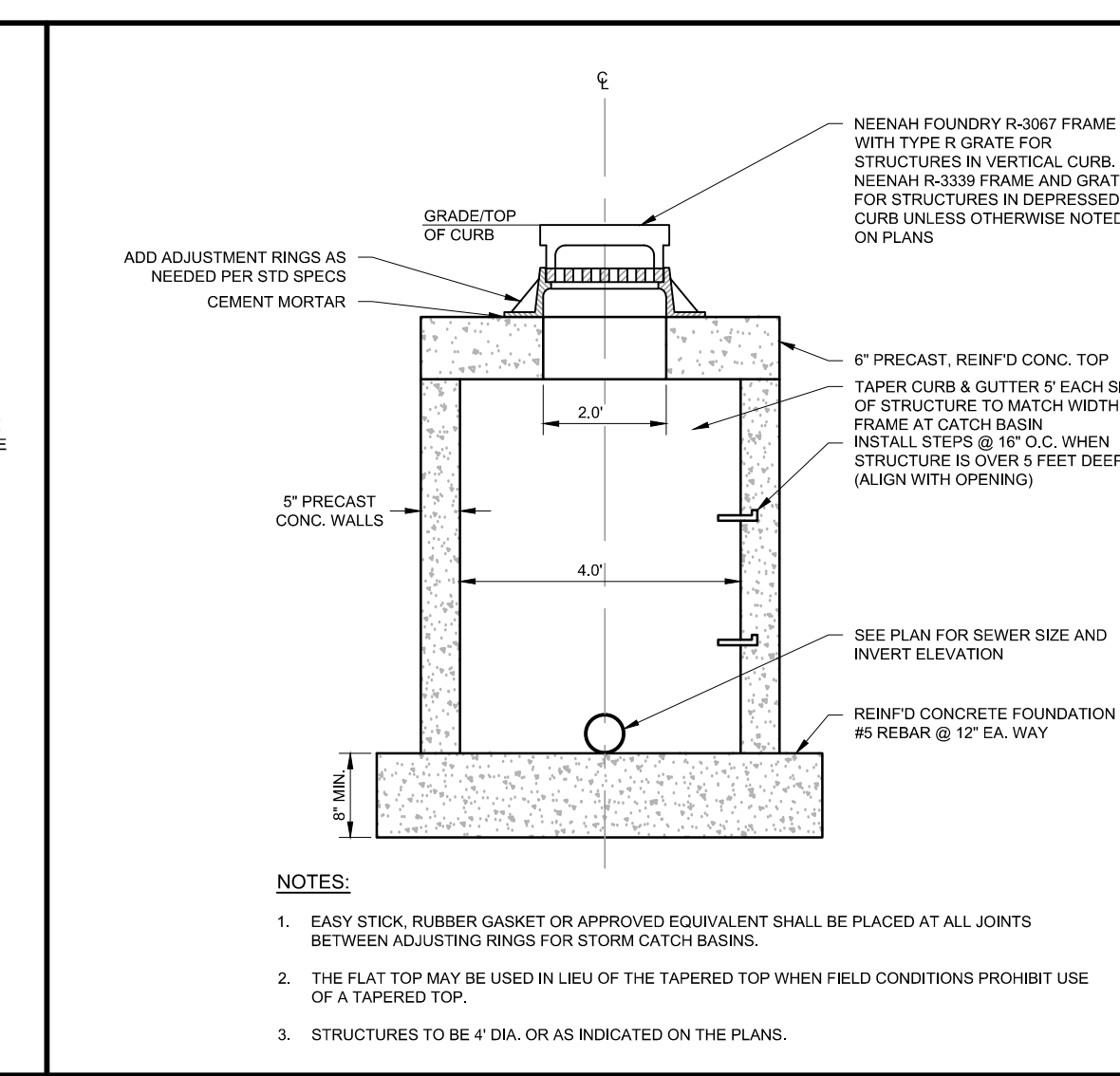
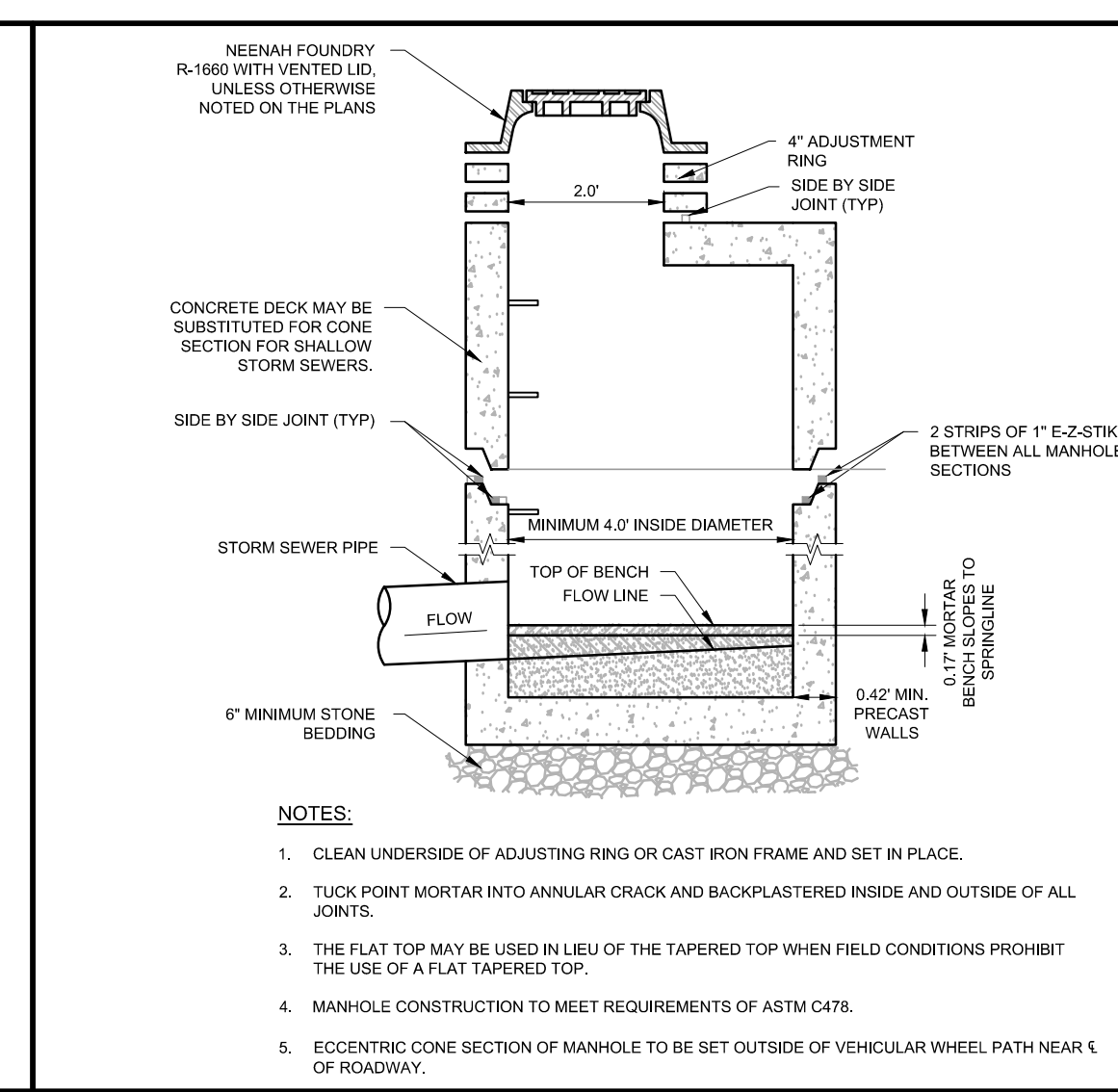
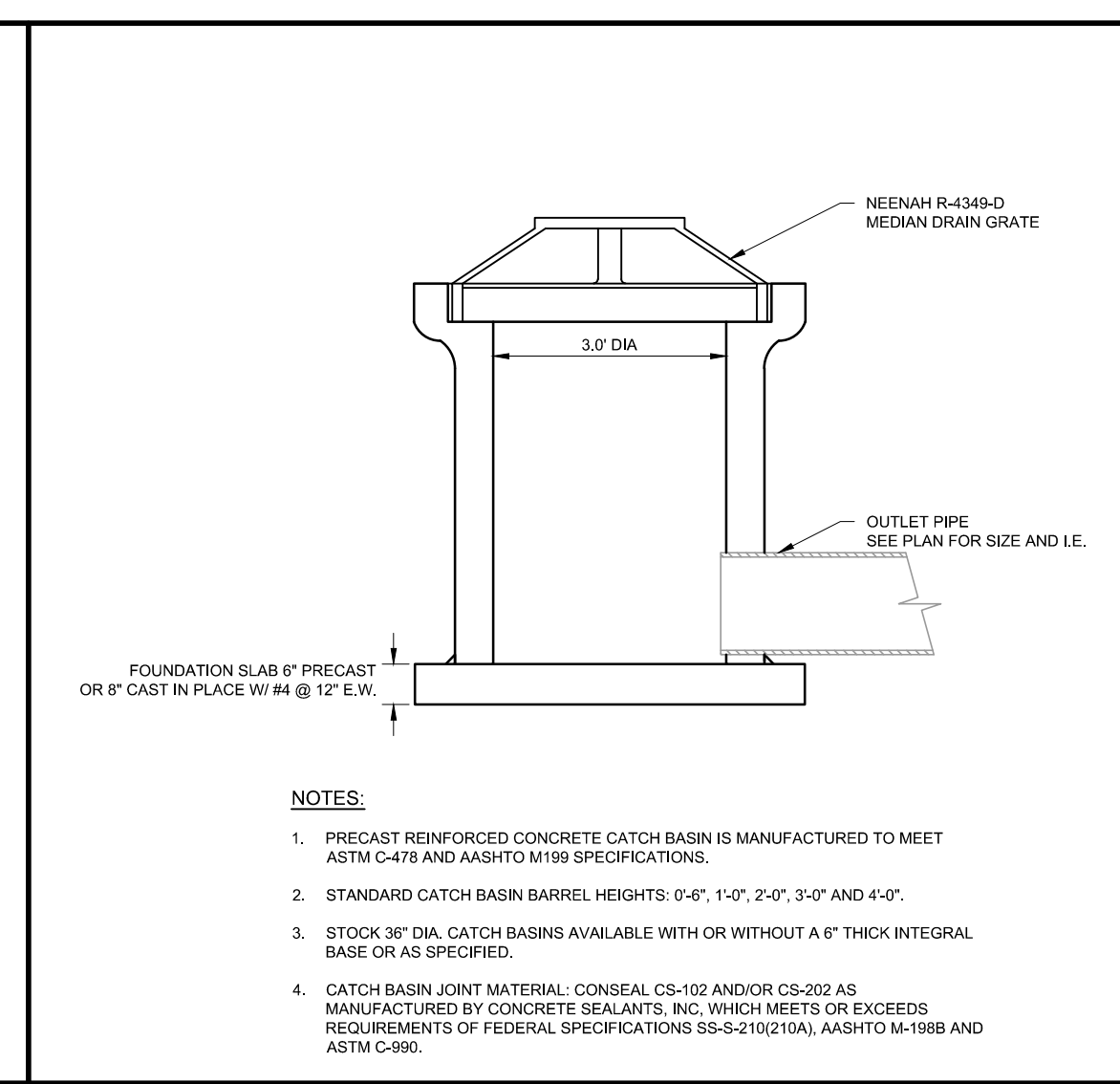
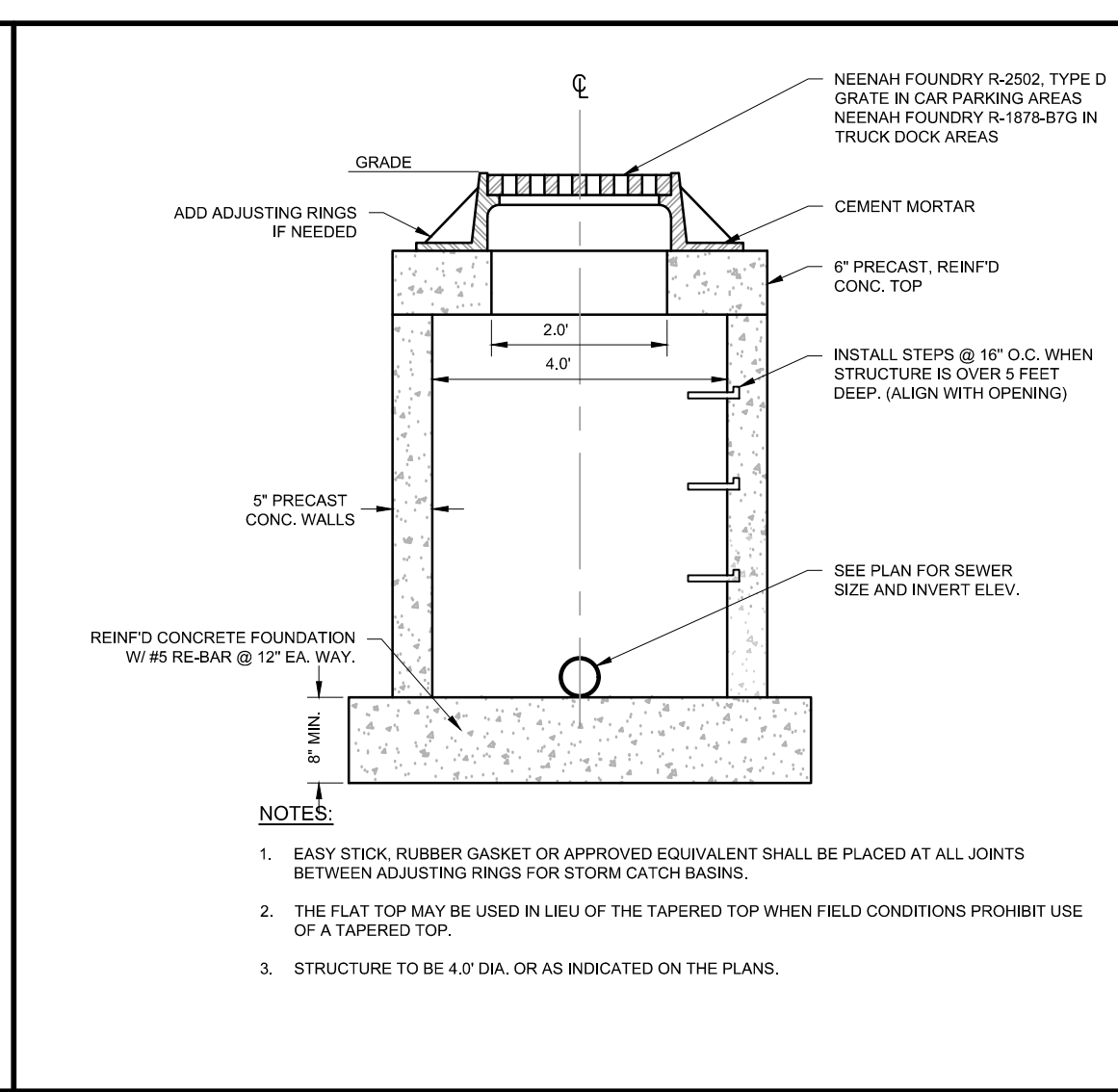
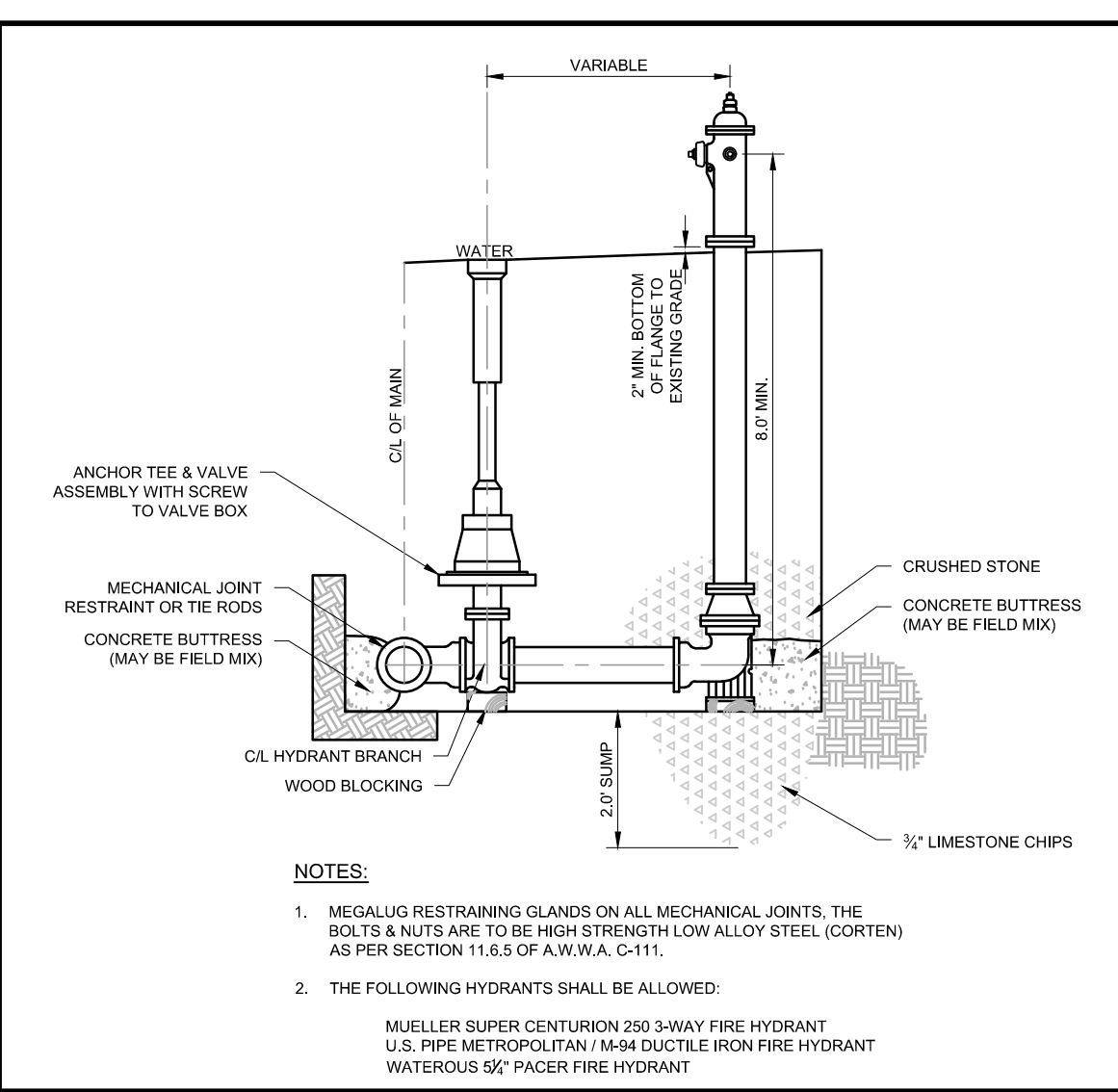
SHEET	C-7
OF	C-9

PINNACLE ENGINEERING GROUP
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WISCONSIN OFFICE:
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BROOKFIELD, WI 53106
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DESIGNED: ATN
REVIEWED: TOM
DRAWN: DTL



PINNACLE ENGINEERING GROUP
ENGINEERING | NATURAL RESOURCES | SURVEYING

2025 WATER TOWN ROAD, SUITE 100
BROOKFIELD, WI 53150
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CEDARBURG INDUSTRIAL FORWARD WAY CITY OF CEDARBURG, WISCONSIN

CONSTRUCTION DETAILS

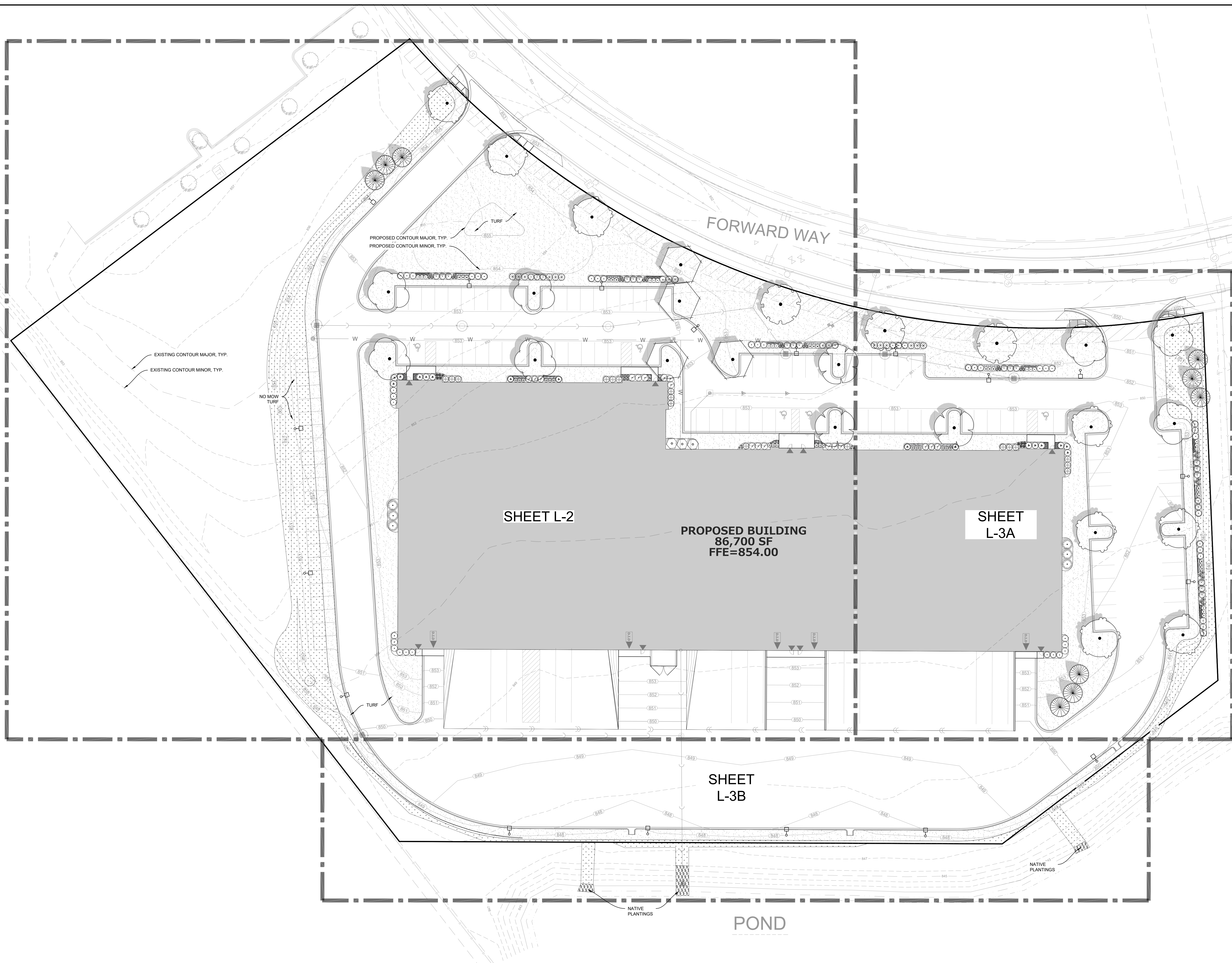
NO.	DESCRIPTION	DATE
1	PC SUBMITTAL	09/29/25

NO.	DESCRIPTION	DATE

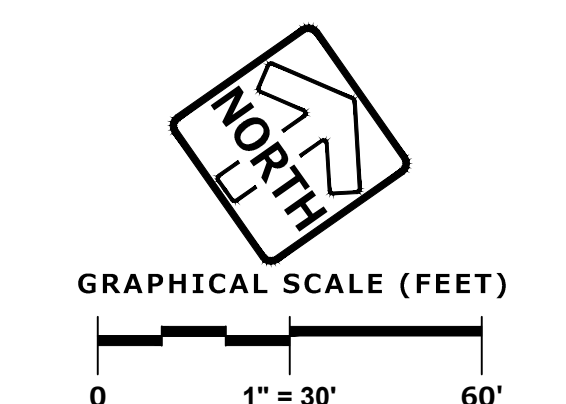
NO.	DESCRIPTION	DATE

REG. JOB NO.	6501.00
REG. NO.	TGM
START DATE	09/11/25
SCALE	N.T.S.
SHEET	C-9
OF	9
C-9	

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 DESIGNED: JSJ
 DRAFTED: JSJ
 REVIEWED: DJB



PLANT SCHEDULE					
CODE	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING	REMARKS
TREES					
GTS	7	Gleditsia triacanthos 'Shademaster' Shademaster Honeylocust	2' Cal.		60' T x 50' W
GDK	3	Gymnocladus dioica Kentucky Coffee Tree	2' Cal.		50' T x 50' W
OXS	3	Quercus x schuetti Swamp Bur Oak	2' Cal.		70' T x 65' W
TSS	8	Tilia tomentosa 'Sterling' Sterling Silver Linden	2' Cal.		45' T x 45' W
UAV	4	Ulmus americana 'Valley Forge' Valley Forge Elm	2' Cal.		80' T x 60' W
EVERGREEN TREES					
JVC	9	Juniperus virginiana Eastern Red Cedar	6' Ht.		35' T x 15' W
SHRUBS					
ABU	3	Aesculus parviflora Bottebrush Buckeye	5 gal.		10' T x 11' W
CS4	6	Cornus sanguinea 'Army's W Orange' Army's Winter Orange Dogwood	3 gal.		6' T x 6' W
CAF	6	Cornus stolonifera 'Arctic Fire' Arctic Fire Dogwood	2 gal.		3' T x 3' W
HAR	12	Hydrangea paniculata 'SMHPS' Razzleberry Hydrangea	2 gal.		3' T x 3' W
HLP	6	Hydrangea paniculata 'SMNHPP' Little Lime Punch Hydrangea	3 gal.		4' T x 5' W
HP2	18	Hydrangea paniculata 'V. Strawberry' Vanilla Strawberry Hydrangea	3 gal.		7' T x 5' W
HRS	6	Hydrangea quercifolia 'Ruby Slippers' Ruby Slippers Hydrangea	3 gal.		4' T x 5' W
RPP	6	Rosa rugosa 'Purple Pavement' Purple Pavement Rugosa Rose	3 gal.		5' T x 5' W
SMP	6	Syringa meyeri 'Palibin' Dwarf Korean Lilac	3 gal.		5' T x 5' W
SB4	18	Syringa x 'SMSJB7' Blooming Dwarf Purple Lilac	2 gal.		3' T x 3' W
WS	18	Weigela florida 'Schneepiwi' Spilled Wine Weigela	2 gal.		3' T x 3' W
WWR	12	Weigela florida 'Wine & Roses' Wine & Roses Weigela	3 gal.		5' T x 5' W
EVERGREEN SHRUBS					
JSP	6	Juniperus chinensis 'J.N. Select Blue' Star Power Juniper	4' Ht.		16' T x 8' W
JCS	24	Juniperus chinensis 'Sea Green' Sea Green Juniper	3 gal.		5' T x 5' W
JGO	21	Juniperus virginiana 'Grey Owl' Eastern Redcedar Juniper	3 gal.		3' T x 5' W
PMP	12	Pinus mugo pumilio Dwarf Mugo Pine	3 gal.		4' T x 5' W
TMT	17	Taxus x media 'Tauntoni' Taunton Yew	3 gal.		4' T x 5' W
TGT	4	Thuja occidentalis 'Little Giant' Little Giant Arborvitae	3 gal.		5' T x 5' W
ORNAMENTAL GRASSES					
DS2	10	Deschampsia cespitosa 'Schottland' Schottland Tufted Hair Grass	1 gal.		36' T x 32' W
MSO	12	Miscanthus sinensis 'Oktobertest' Oktobertest Miscanthus	1 gal.		4' T x 3' W
PNW	29	Panicum virgatum 'Northwind' Northwind Switch Grass	1 gal.		42' T x 28' W
STD	6	Sporobolus heterolepis 'Tara' Prairie Dropseed	1 gal.		15' T x 20' W
CODE	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING	REMARKS
PERENNIALS					
AG	44	Agastache foeniculum 'G J' Golden Jubilee Giant Hyssop	4.5" cont.	15" o.c.	24' T x 15' W
CVZ	57	Coreopsis verticillata 'Zagreb' Zagreb Coreopsis	4.5" cont.	16" o.c.	20' T x 16' W
ERM	6	Echinacea p 'Rain299' Butterfly Rainbow Marcella Coneflower	4.5" cont.	24" o.c.	15' T x 24' W
HPD	10	Hemerocallis x 'Purple D'oro' Purple D'oro Daylily	4.5" Cont.	20" o.c.	16' T x 20' W
HPP	48	Heuchera m 'Palace Purple' Palace Purple Coral Bells	4.5" Cont.	18" o.c.	18' T x 18' W
NPB	12	Nepeta x faassenii 'Purrsian Blue' Purrsian Blue Catmint	4.5" cont.	24" o.c.	14' T x 24' W
SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE	REMARKS	
	345 sf	Native Plantings Agrecol Rainwater Renewal Seed Mix	seed		
	59,418 sf	Turf Hydroseed Reinders - Cadet 70/30 Fescue/Blue Mix	seed		
	19,882 sf	Turf Hydroseed Low Grow Reinders No Mow/Low Grow Mix	seed		



PLAN | DESIGN | DELIVER
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PINNACLE ENGINEERING GROUP
 WISCONSIN OFFICE: 20725 WATERTOWN ROAD, SUITE 100, BROOKFIELD, WI 53196 (262) 754-8888
 ENGINEERING | NATURAL RESOURCES | SURVEYING CHICAGO | MILWAUKEE | NATIONWIDE

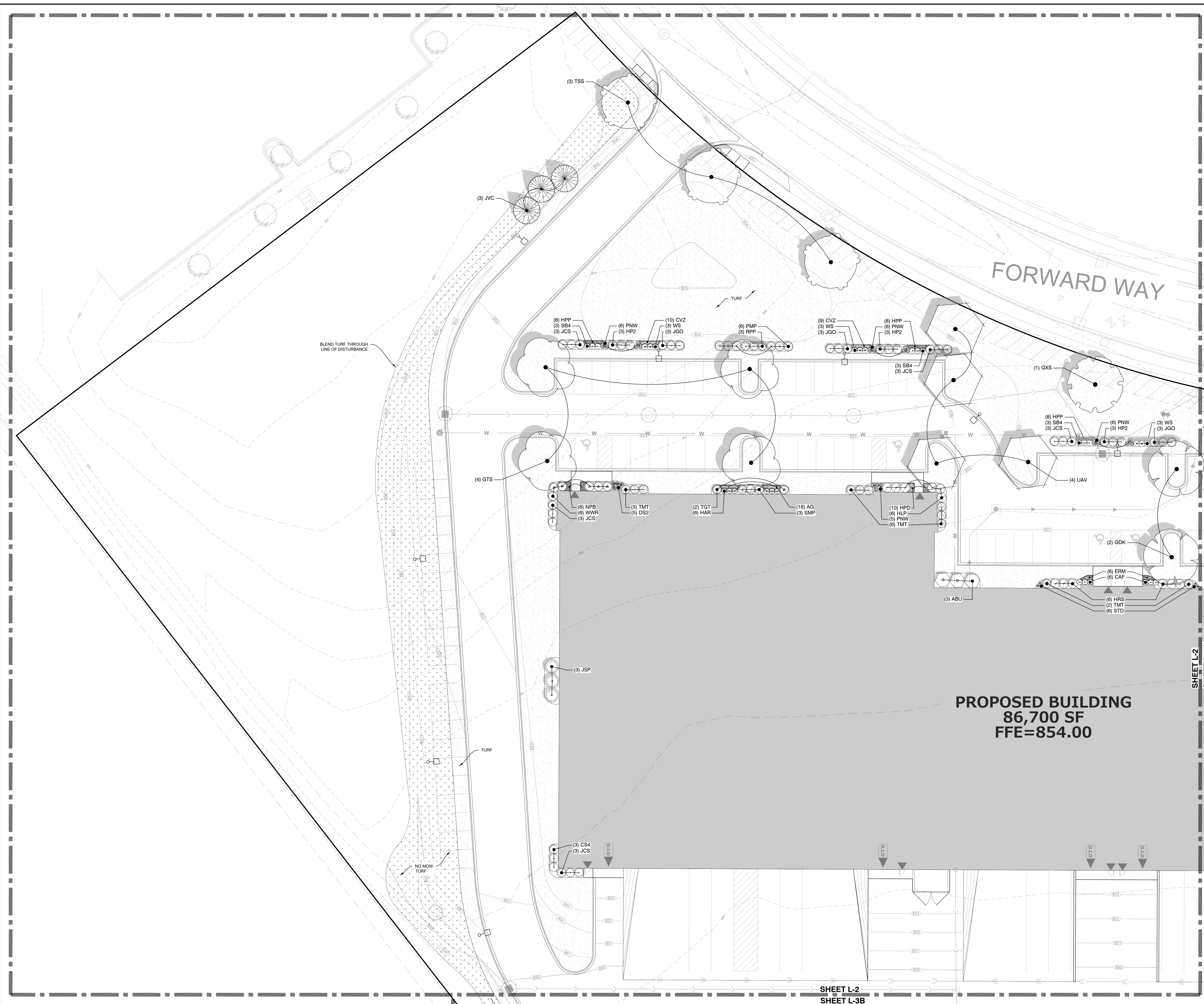
CEDARBURG INDUSTRIAL
FORWARD WAY
CITY OF CEDARBURG, WISCONSIN

LANDSCAPE OVERVIEW

REVISIONS	
NO.	DESCRIPTION
1	PC SUBMITTAL 09/29/25

REG. JOB NO.: 6501.00 TGM REG. NO.: START DATE: 09/11/25 SCALE: 1" = 30' SHEET L-1 OF L-4
--

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 DESIGNED: JSI
 DRAFTER: JSI
 REVIEWED: JSI

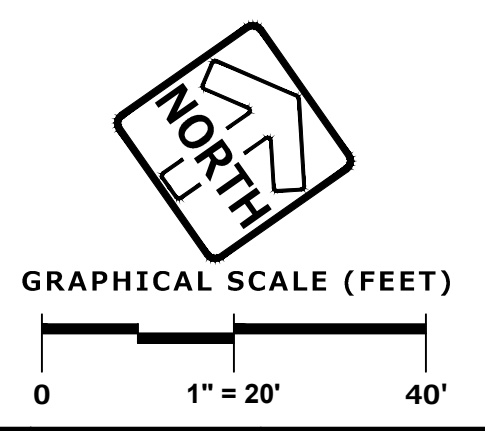


PLANT KEY	
CODE	BOTANICAL / COMMON NAME
TREES	
GTS	Gleditsia triacanthos v/ 'Shademaster' Shademaster Honeylocust
GDK	Gymnocladus dioica Kentucky Coffee Tree
QXS	Quercus x schuetti Swamp Bur Oak
TSS	Tilia tomentosa 'Sterling' Sterling Silver Linden
UAV	Ulmus americana 'Valley Forge' Valley Forge Elm
EVERGREEN TREES	
JVC	Juniperus virginiana Eastern Red Cedar
SHRUBS	
ABU	Aesculus pavillora Bottlebrush Buckeye
CS4	Cornus sanguinea 'Anny's W Orange' Anny's Winter Orange Dogwood
CAF	Cornus stolonifera 'Arctic Fire' Arctic Fire Dogwood
HAR	Hydrangea paniculata 'SMHPS' Razzleberry Hydrangea
HLP	Hydrangea paniculata 'SMNHPH' Little Lime Punch Hydrangea
HP2	Hydrangea paniculata 'Y' Vanilla Strawberry Hydrangea
HRS	Hydrangea quercifolia 'Ruby Slippers' Ruby Slippers Hydrangea
RPP	Rosa rugosa 'Purple Pavement' Purple Pavement Rugosa Rose
SMP	Syringa meyeri 'Palibin' Dwarf Korean Lilac
SB4	Syringa x 'SMSJB17' Blooming Dwarf Purple Lilac
WS	Weigela florida 'Bokraspi' Spilled Wine Weigela
WWR	Weigela florida 'Wine & Roses' Wine & Roses Weigela
EVERGREEN SHRUBS	
JSP	Juniperus chinensis 'J.N. Select Blue' Star Power Juniper
JCS	Juniperus chinensis 'Sea Green' Sea Green Juniper
JGO	Juniperus virginiana 'Grey Owl' Eastern Redcedar Juniper
PMP	Pinus mugo pumilio Dwarf Mugo Pine
TMT	Taxus x media 'Tauntonii' Tauntun Yew
TGT	Thuja occidentalis 'Little Giant' Little Giant Arborvitae
ORNAMENTAL GRASSES	
DS2	Deschampsia cespitosa 'Schottland' Schottland Turf Hair Grass
MSC	Miscanthus sinensis 'Oktoberfest' Oktoberfest Miscanthus
PNW	Panicum virgatum 'Northwind' Northwind Switch Grass
STD	Sporobolus heterolepis 'Tara' Prairie Dropseed
PERENNIALS	
AG	Agastache foeniculum 'G J' Golden Jubilee Giant Hyssop
CVZ	Coreopsis verticillata 'Zagreb' Zagreb Coreopsis
ERM	Echinacea p 'Rain299' Butterfly Rainbow Marcella Coneflower
HPD	Hemerocallis x 'Purple Doro' Purple D'oro Daylily
HPP	Heuchera m 'Palace Purple' Palace Purple Coral Bells
NPB	Nepeta x 'faassonii' 'Puritan Blue' Puritan Blue Catmint
SYMBOL BOTANICAL / COMMON NAME	
NATIVE	
	Native Plantings
	Agrecol Rainwater Renewal Seed Mix
TURF	
	Turf Hydroseed
	Reinders - Cadet 70/30 Fescue/Blue Mix
	Turf Hydroseed Low Grow
	Reinders No Mow/Low Grow Mix

PROPOSED BUILDING
86,700 SF
FFE=854.00

SHEET L-2
SHEET L-3A

SHEET L-2
SHEET L-3B



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CEDARBURG INDUSTRIAL
FORWARD WAY
CITY OF CEDARBURG, WISCONSIN

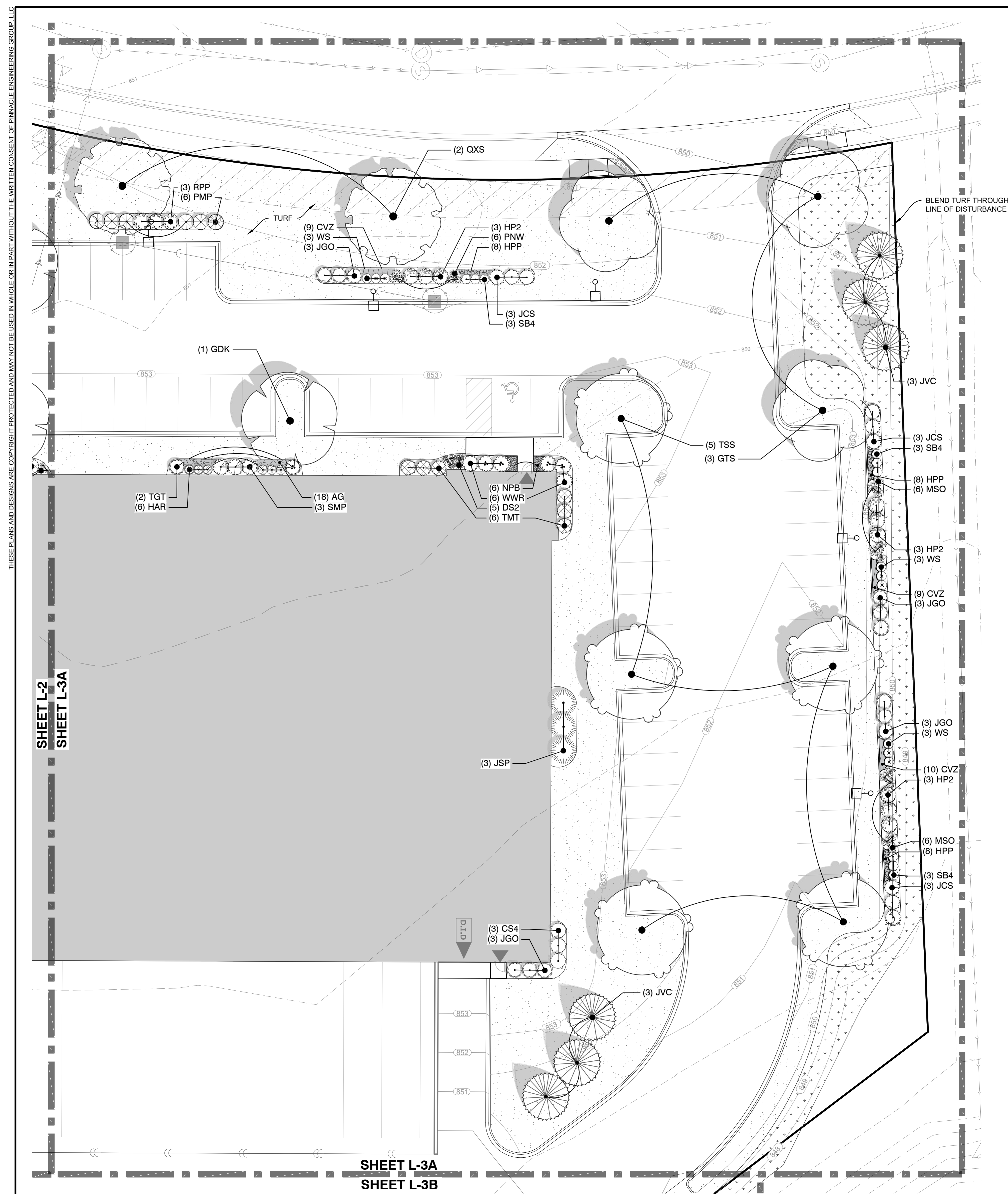
LANDSCAPE ENLARGEMENT

REVISIONS	
1	PC SUBMITTAL 09/29/25

SHEET
L-2
 OF
L-4
 REG. JOB NO. 6501.001
 REG. NO. TCM
 START DATE 09/11/25
 SCALE 1" = 20'
 202509250002

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SHEET L-2
SHEET L-3A

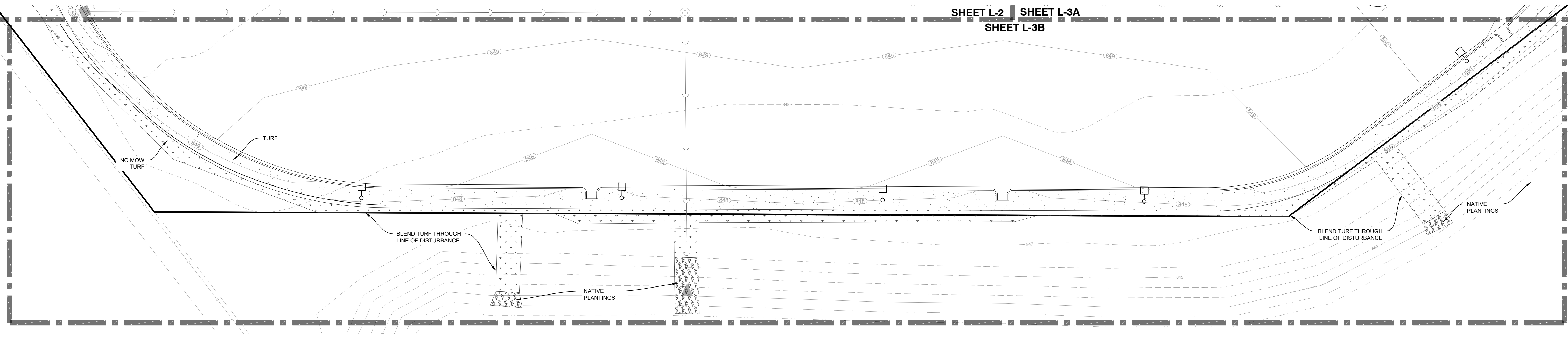


ENLARGEMENT L-3A
SCALE: 1"=20'

SHEET L-3A
SHEET L-3B

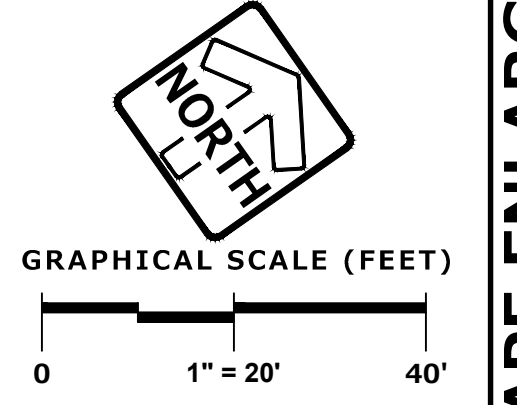
PLANT KEY	
CODE	BOTANICAL / COMMON NAME
TREES	
GTS	Gleditsia triacanthos 'Shademaster' Shademaster Honeylocust
GDK	Gymnocladus dioica Kentucky Coffee Tree
OXS	Quercus x schuetti Swamp Bur Oak
TSS	Tilia tomentosa 'Sterling' Sterling Silver Linden
UAV	Ulmus americana 'Valley Forge' Valley Forge Elm
EVERGREEN TREES	
JVC	Juniperus virginiana Eastern Red Cedar
SHRUBS	
ABU	Aesculus parviflora Bottlebrush Buckeye
CS4	Cornus sanguinea 'Anny's W Orange' Anny's Winter Orange Dogwood
CAF	Cornus stolonifera 'Arctic Fire' Arctic Fire Dogwood
HAR	Hydrangea paniculata 'SMHPS' Razleberri Hydrangea
HLP	Hydrangea paniculata 'SMNHPT' Little Lime Punch Hydrangea
HP2	Hydrangea paniculata 'V. Strawberry' Vanilla Strawberry Hydrangea
HRS	Hydrangea quercifolia 'Ruby Slippers' Ruby Slippers Hydrangea
RPP	Rosa rugosa 'Purple Pavement' Purple Pavement Rugosa Rose
SMP	Syringa meyeri 'Palibin' Dwarf Korean Lilac
SB4	Syringa x 'SMSJBP' Blooming Dwarf Purple Lilac
WS	Weigela florida 'Bokraspiw' Spilled Wine Weigela
WWR	Weigela florida 'Wine & Roses' Wine & Roses Weigela
EVERGREEN SHRUBS	
JSP	Juniperus chinensis 'J.N. Select Blue' Star Power Juniper
JCS	Juniperus chinensis 'Sea Green' Sea Green Juniper
JGO	Juniperus virginiana 'Grey Owl' Eastern Redcedar Juniper
PMP	Pinus mugo pumilio Dwarf Mugo Pine
TMT	Taxus x media 'Tauntoni' Tauton Yew
TGT	Thuja occidentalis 'Little Giant' Little Giant Arborvitae
ORNAMENTAL GRASSES	
DS2	Deschampsia cespitosa 'Schottland' Schottland Tufted Hair Grass
MSO	Miscanthus sinensis 'Oktoberfest' Oktoberfest Miscanthus
PNW	Panicum virgatum 'Northwind' Northwind Switch Grass
STD	Sporobolus heterolepis 'Tara' Prairie Dropseed
PERENNIALS	
AG	Agastache foeniculum 'G. J. Golden Jubilee Giant Hyssop
CVZ	Coreopsis verticillata 'Zagreb' Zagreb Coreopsis
ERM	Echinacea p. 'Rainb299' Butterfly Rainbow Marcella Coneflower
HPD	Heuchera x 'Purple D'oro' Purple D'oro Daylily
HPP	Heuchera m. 'Palace Purple' Palace Purple Coral Bells
NPB	Nepeta x 'faassenii' Furrisian Blue Catmint
SYMBOL BOTANICAL / COMMON NAME	
NATIVE	
Native Plantings	
Agrecol Rainwater Renewal Seed Mix	
TURF	
Turf Hydroseed	
Reinders - Cadet 70/30 Fescue/Blue Mix	
Turf Hydroseed Low Grow	
Reinders No Mow/Low Grow Mix	

DESIGNED: JBI
DRAWN: JBI
REVIEWED: DBR



ENLARGEMENT L-3B
SCALE: 1"=20'

SHEET L-2 | SHEET L-3A
SHEET L-3B



PLAN | DESIGN | DELIVER
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PINNACLE ENGINEERING GROUP
ENGINEERING | NATURAL RESOURCES | SURVEYING

WISCONSIN OFFICE:
20725 WATERTOWN ROAD, SUITE 100
BROOKFIELD, WI 53186
(262) 754-8888
CHICAGO | MILWAUKEE | NATIONWIDE

CEDARBURG INDUSTRIAL
FORWARD WAY
CITY OF CEDARBURG, WISCONSIN

LANDSCAPE ENLARGEMENT

REVISIONS	
1	PC SUBMITTAL 09/29/25

REG. JOB NO. 6501.001
REG. PM. TGM
START DATE 09/11/25
SCALE 1" = 20'

SHEET L-3 OF L-4

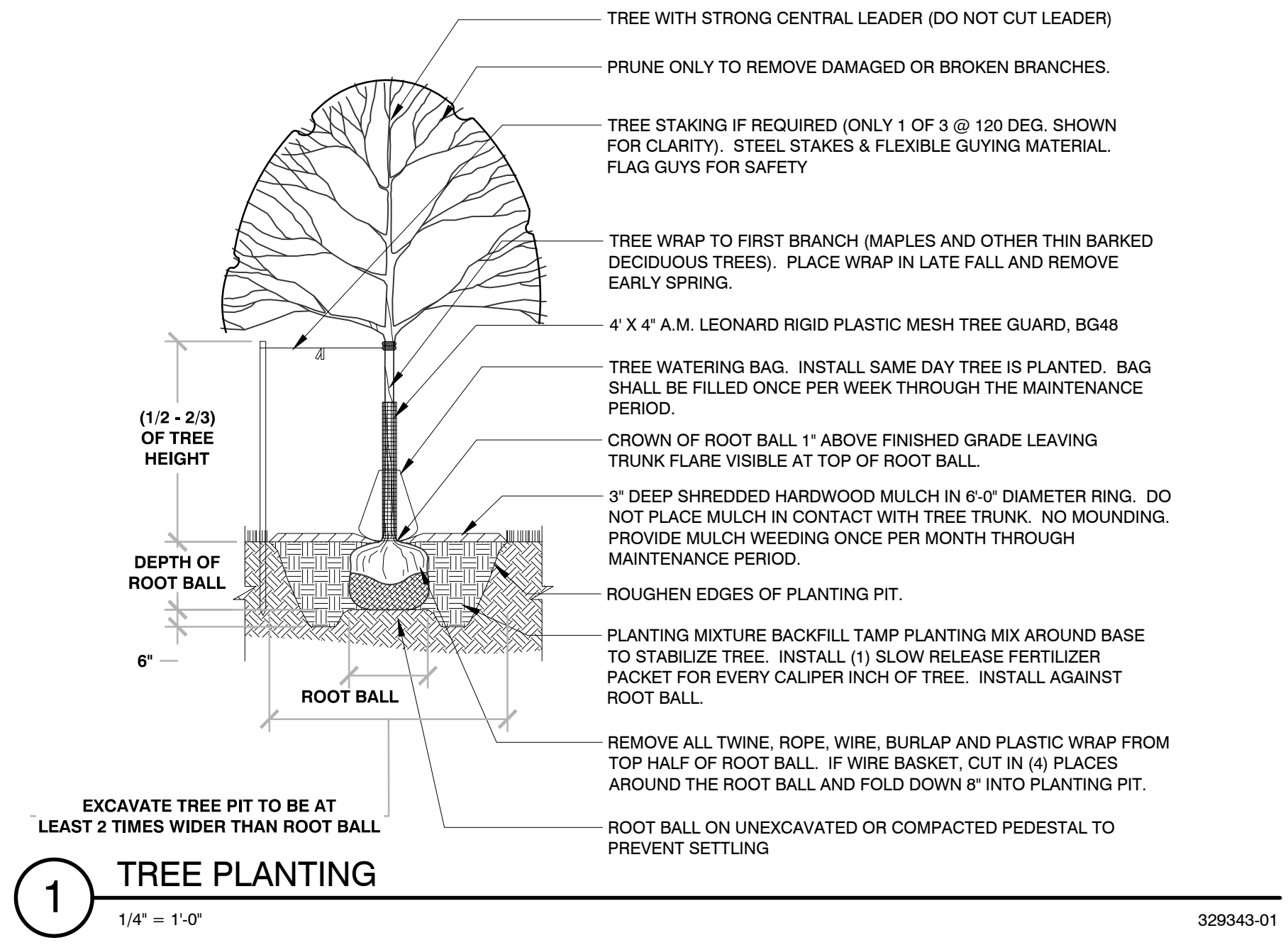
GENERAL PLANTING NOTES

- THE LAYOUT OF ALL PLANTING BEDS AND INDIVIDUAL TREES AND SHRUBS SHALL BE STAKED BY THE CONTRACTOR IN ADVANCE OF INSTALLATION. FLAGGING, STAKES, OR PAINT MAY BE USED TO DELINEATE LOCATIONS AS SCALED FROM THE PLANS. AN APPROVED REPRESENTATIVE WILL REVIEW THESE LOCATIONS WITH THE CONTRACTOR AND MAKE MINOR ADJUSTMENTS AS NECESSARY. BED LAYOUT SHALL ALSO INCLUDE PERENNIAL GROUPINGS BY SPECIES.
- THE CONTRACTOR IS RESPONSIBLE FOR INDEPENDENTLY DETERMINING THE PLANT MATERIAL QUANTITIES REQUIRED BY THE LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.
- NO PLANT MATERIAL OR PLANT SIZE SUBSTITUTIONS WILL BE ACCEPTED WITHOUT APPROVAL BY THE LANDSCAPE ARCHITECT. ANY CHANGES SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT IN WRITING PRIOR TO INSTALLATION.
- ALL BNB STOCK SHALL BE NURSERY GROWN IN A CLAY LOAM SOIL FOR A MINIMUM OF THREE GROWING SEASONS WITHIN 200 MILES OF PROJECT LOCATION, IN A ZONE COMPATIBLE WITH USDA HARDINESS ZONE 5A. SEED SHALL BE PROVIDED FROM A NURSERY (WITHIN 200 MILES) WITH A SIMILAR PLANT HARDINESS ZONE AS PROJECT LOCATION. EXISTING SOIL SHALL BE AMENDED PER SOIL ANALYSIS REPORT TO ENSURE A PROPER GROWING MEDIUM IS ACHIEVED.
- ALL PLANT MATERIAL SHALL COMPLY WITH STANDARDS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK - Z60.1 ANSI. LANDSCAPE ARCHITECT OR OWNERS AUTHORIZED REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND POTENTIALLY REJECT ANY PLANT MATERIAL DEEMED TO NOT MEET THE REQUIRED STANDARDS.
- ALL STOCK SHALL BE FREE OF DISEASES AND HARMFUL INSECTS, DAMAGE, DISORDERS AND DEFORMITIES.
- TREES SHALL HAVE SINGLE, STRAIGHT TRUNKS AND WELL BALANCED BRANCH SYSTEMS. MULTI-STEM TREES SHALL HAVE 3-4 STRAIGHT TRUNKS AND WELL BALANCED BRANCH SYSTEMS. HEIGHT-TO-CALIPER RATIOS SHALL BE CONSISTENT WITH THE LATEST EDITION OF ANSI Z60.1.
- ROOT SYSTEMS SHALL BE LARGE ENOUGH TO ALLOW FOR FULL RECOVERY OF THE TREE, AND SHALL CONFORM TO STANDARDS AS THEY APPEAR IN THE MOST CURRENT REVISION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S AMERICAN STANDARD OF NURSERY STOCK ANSI Z60.1.
- BNB TREES SHALL BE DUG WITH A BALL OF SOIL, NOT SOFT BALLED OR POTTED AND SHALL BE FIRM IN THEIR ROOTBALL. ROOT BALL SHALL BE WRAPPED (WITH BIODEGRADABLE MATERIAL). THE TREE ROOT FLARE, OR COLLAR, SHALL BE AT OR WITHIN THE TOP THREE INCHES OF GRADE.
- ALL SPRING TREES MUST BE FRESHLY DUG IN THE MOST RECENT SPRING.
- ALL AUTUMN TREES MUST BE FRESHLY DUG IN THE MOST RECENT AUTUMN.
- TREES SHALL BE ALIVE, HEALTHY AND APPROPRIATELY MOIST, AT TIME OF DELIVERY. TREES SHALL BE SUBJECT TO INSPECTION FOR CONFORMITY TO SPECIFICATION REQUIREMENTS AND APPROVAL BY THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE. THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY TREES THAT DO NOT MEET THE SPECIFICATIONS OR THAT HAVE BEEN DAMAGED DURING SHIPMENT. THE LANDSCAPE INSTALLER MUST RECEIVE APPROVAL FROM LANDSCAPE ARCHITECT FOR ANY SUBSTITUTIONS OR ALTERATIONS.
- ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH PLANTING DETAILS.
- ALL PLANTING BEDS SHALL HAVE A MINIMUM 10" DEPTH OF PREPARED SOIL. WITH APPROVAL, EXISTING SOIL MAY BE UTILIZED PROVIDED THE PROPER SOIL AMENDMENTS ARE TILLED THOROUGHLY INTO THE TOP 10" OF SOIL. REFER TO SOIL PLACEMENT NOTES.
- WHILE PLANTING TREES AND SHRUBS, BACKFILL 2/3 OF PLANTING HOLE AND WATER TREE THOROUGHLY BEFORE INSTALLING THE REMAINDER OF SOIL MIXTURE. AFTER ALL SOIL HAS BEEN PLACED INTO THE PLANTING HOLE WATER THOROUGHLY AGAIN.
- THE CONTRACTOR MUST LABEL ALL TREES WITH THE COMMON AND BOTANICAL NAMES PRIOR TO FINAL INSPECTION.
- OAK TREES SHALL BE TREATED FOR TWO-LINE CHESTNUT BORER BOTH AT THE TIME OF INSTALLATION AND DURING THE SECOND GROWING SEASON.
- ALL PLANTING BEDS SHALL BE MULCHED WITH 3" DEEP SHREDDED HARDWOOD MULCH, AND ALL TREES PLANTED IN TURF AREAS SHALL RECEIVE A 3" DEEP SHREDDED HARDWOOD MULCHED RING AS SHOWN IN PLANTING DETAILS.
- ALL PLANTING BEDS AND TREE RINGS SHALL HAVE A 4" DEEP TRENCHED BED EDGE CREATED BY EITHER A FLAT LANDSCAPE SPADE OR MECHANICAL EDGER. BED EDGES ARE TO BE CUT CLEAN AND SMOOTH AS SHOWN ON LANDSCAPE PLANS WITH A CLEAN DEFINITION BETWEEN TURF AND PLANTING AREAS.
- ALL TURF SEED AREAS SHALL RECEIVE A MINIMUM OF 6" DEPTH OF TOPSOIL. WITH APPROVAL, EXISTING SOIL MAY BE UTILIZED PROVIDED THE PROPER SOIL AMENDMENTS ARE TILLED THOROUGHLY INTO THE TOP 6" OF SOIL AS INDICATED IN THE SOIL PLACEMENT NOTES. REQUIRED AMENDMENTS SHALL BE DETERMINED BASED ON A SOIL ANALYSIS TO BE PERFORMED. ALL TOPSOIL AMENDMENT SHALL BE AGED WEED FREE MANURE OR CLASS 1 ORGANIC MATTER.
- FOR LAWN SEEDING, APPLY A STARTER FERTILIZER AND SEED UNIFORMLY AT THE RATE RECOMMENDED BY MANUFACTURER, AND PROVIDE A MULCH COVERING THAT IS SUITABLE TO PROMOTE SEED GERMINATION AND TURF ESTABLISHMENT. CONTRACTOR TO PROVIDE FERTILIZER, SEED, AND MULCH SPECIFICATIONS TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. EROSION CONTROL MEASURES ARE TO BE INSTALLED IN THOSE AREAS REQUIRING STABILIZATION (SWALES, SLOPES EXCEEDING 1:3, AND THOSE LOCATIONS INDICATED IN CIVIL DRAWINGS).
- THE CONTRACTOR TO ENSURE A SMOOTH, UNIFORM QUALITY TURF IS ACHIEVED WITH NO BARE SPOTS LARGER THAN 6" X 6". ANY BARE SPOTS LARGER THAN 6" X 6" AT THE END OF ESTABLISHMENT PERIOD SHALL BE RESEDED AT THE CONTRACTORS EXPENSE TO OBTAIN A DENSE, UNIFORM LAWN.
- ALL FINISH GRADING AND LAWN AREAS TO BE INSTALLED BY LANDSCAPE CONTRACTOR.
- ALL DISTURBED AREAS WITHIN THE PROJECT SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION.
- ALL DISTURBED AREAS OUTSIDE THE LIMITS OF WORK SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, INCLUDING ANY IRRIGATION LINES, PRIOR TO DIGGING. CONSULT DIGGERS HOTLINE.
- TREES SHALL BE INSTALLED NO CLOSER THAN:
 - 10 FEET FROM ANY FIRE HYDRANT
 - 7 FEET FROM STORM SEWER, SANITARY SEWER LATERALS, DRIVEWAYS, AND WATER SERVICE
- THE CONTRACTOR SHALL ENSURE THAT SOIL CONDITIONS AND COMPACTION ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AROUND THE CONSTRUCTION SITE. UNDESIRABLE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER SURFACE AND SUBSURFACE DRAINAGE IN ALL AREAS
- THE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS, FEES, AND LICENSES NECESSARY FOR THE INSTALLATION OF THIS PLAN.
- THE CONTRACTOR IS TO REVIEW ALL SITE ENGINEERING DOCUMENTS PRIOR TO INSTALLATION. ANY CONFLICTS MUST BE REPORTED TO THE LANDSCAPE ARCHITECT. THESE LANDSCAPE DRAWINGS ARE FOR THE INSTALLATION OF PLANT MATERIALS ONLY UNLESS OTHERWISE STATED.
- THE CONTRACTOR SHALL PROVIDE WATERING AND MAINTENANCE SERVICES FOR A PERIOD OF 60 DAYS TO ENSURE VEGETATIVE ESTABLISHMENT. UPON COMPLETION OF THE PROJECT, CONTRACTOR SHALL SUPPLY THE OWNER IN WRITING WITH ONGOING WATERING AND MAINTENANCE INSTRUCTIONS.
- PLANT MATERIALS SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM TIME OF OWNER ACCEPTANCE. ONLY ONE REPLACEMENT PER PLANT WILL BE REQUIRED DURING THE WARRANTY PERIOD EXCEPT IN THE EVENT OF FAILURE TO COMPLY WITH THE SPECIFIED REQUIREMENTS.
- THE CONTRACTOR IS RESPONSIBLE TO CONDUCT A FINAL WALK THROUGH WITH THE LANDSCAPE ARCHITECT AND OR OWNERS REPRESENTATIVE TO ANSWER QUESTIONS, PROVIDE INSTRUCTIONS, AND ENSURE THAT PROJECT REQUIREMENTS HAVE BEEN MET.

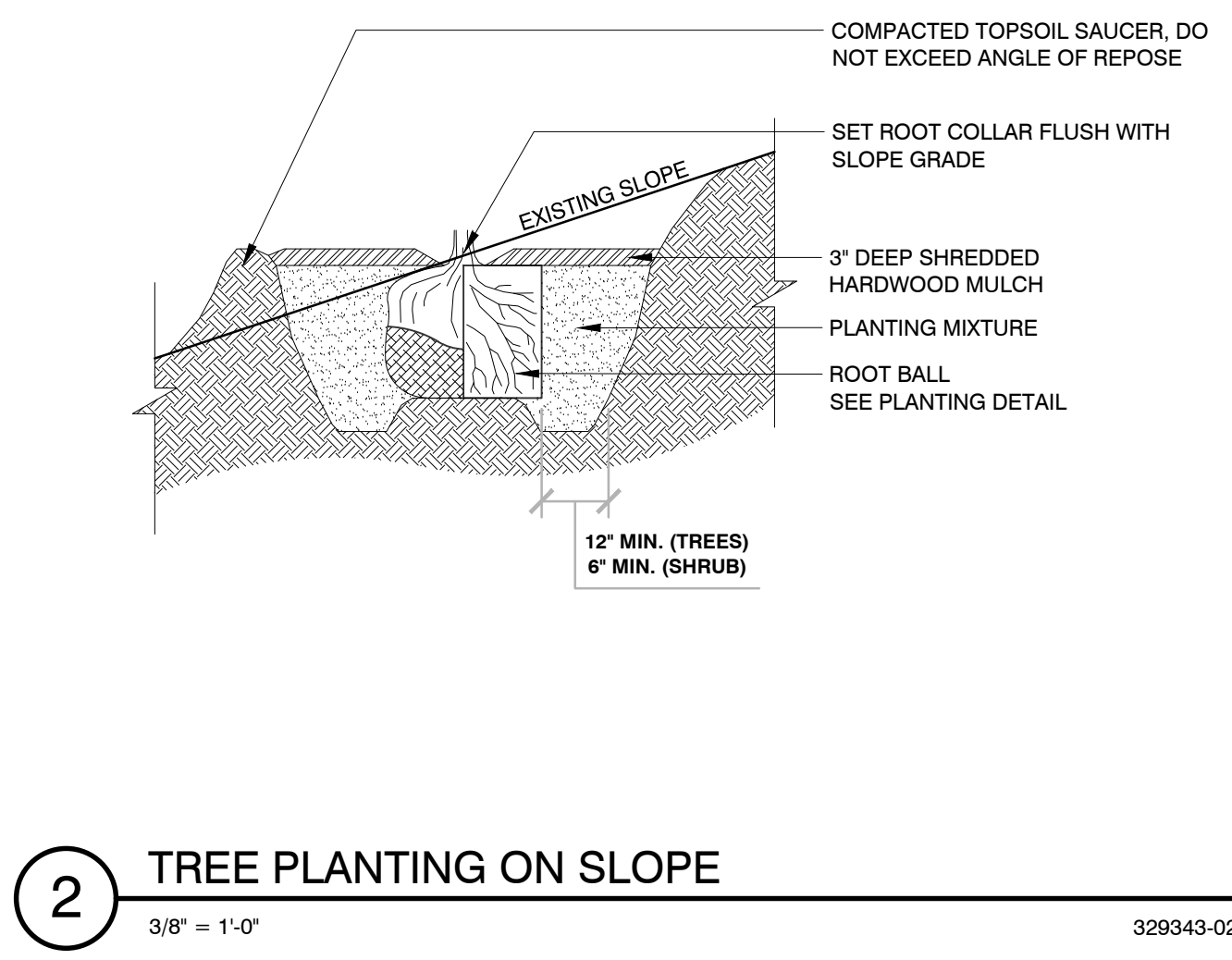
SOIL PLACEMENT NOTES

- LOOSEN SUBGRADE TO A MINIMUM DEPTH INDICATED IN PLANTING NOTES USING A CULTI-MULCHER OR SIMILAR EQUIPMENT, AND REMOVE STONES MEASURING OVER 1-1/2 INCHES IN ANY DIMENSION, STICKS, RUBBISH AND OTHER EXTRANEIOUS MATTER. AREAS ADJACENT TO WALKS AND PAVEMENT SHALL BE FREE OF EXCESS STONE AND PAVING MATERIALS SO AS TO PROVIDE AN UNINTERRUPTED CROSS SECTION OF SOIL. INTERNAL PARKING ISLANDS SHALL BE LOOSENESED TO A DEPTH OF 30".
- THOROUGHLY BLEND PLANTING SOIL MIX FOR PLANTING BED AREAS. (1 PART EXISTING SOIL, 1 PART TOPSOIL, 1 PART ORGANIC SOIL AMENDMENT, 2.9 POUNDS PER CUBIC YARD OF 4-4-4 ANALYSIS SLOW-RELEASE FERTILIZER)
- TREE AND SHRUB HOLES SHALL BE FILLED WITH A PREPARED PLANTING MIXTURE OF 1 PART TOPSOIL, 2 PARTS PLANTING SOIL MIX.
- SPREAD SOIL AND SOIL AMENDMENTS TO DEPTH INDICATED ON DRAWINGS, BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT. (FINISH GRADE OF PLANTING BEDS SHALL BE 3" BELOW ALL ADJACENT SURFACES. FINISH GRADE OF TURF SEEDING AREAS SHALL BE 1" BELOW ALL ADJACENT HARD SURFACES, WALKS, AND CURBS.)
- PLACE APPROXIMATELY 1/2 OF TOTAL AMOUNT OF SOIL REQUIRED, WORK INTO TOP OF LOOSENESED SUBGRADE TO CREATE A TRANSITION LAYER, THEN PLACE REMAINDER OF THE SOIL. SOIL TRANSITION LAYER SHALL BE TILLED TO A MINIMUM DEPTH OF 6" BELOW THE DEPTH OF NEWLY PLACED SOIL. PARKING LOT ISLANDS SHALL BE CROWNED TO A HEIGHT OF 6" TO PROVIDE PROPER DRAINAGE UNLESS OTHERWISE NOTED.
- DO NOT SPREAD IF PLANTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
- FINISH GRADING: GRADE SOIL TO A SMOOTH, UNIFORM SURFACE PLANE WITH A LOOSE, UNIFORMLY FINE TEXTURE.
- ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES.
- RESTORE PLANTING BEDS IF ERODED OR OTHERWISE DISTURBED AFTER FINISH GRADING AND BEFORE PLANTING.

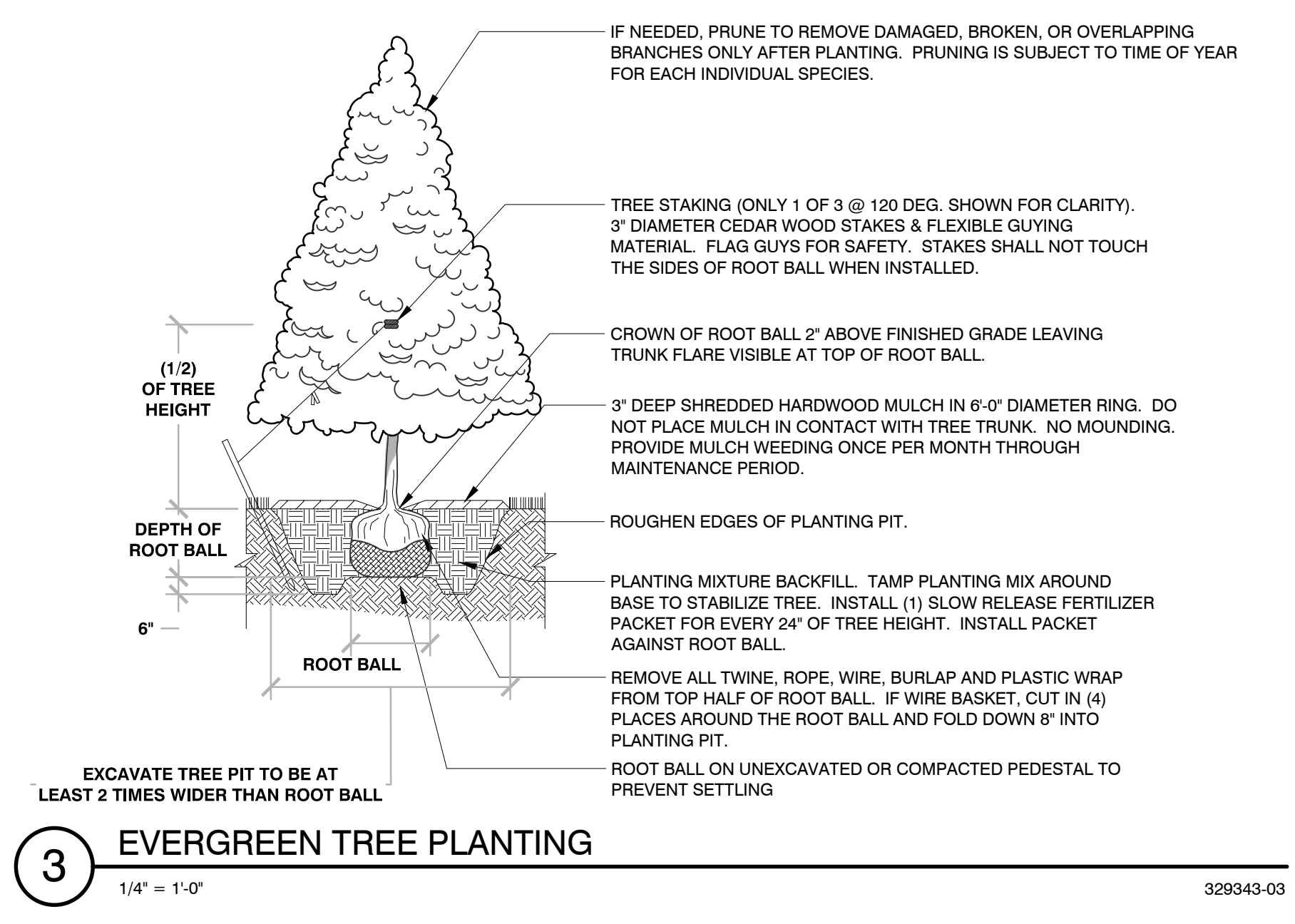
LANDSCAPE IMPROVEMENT TABLE	REQUIRED	PROVIDED
STREET TREES 525 FT • TREES	YES	9
PARKING SCREENING • FRONTAGE 436 FT • LOT LINE 150 FT	YES YES	102 PLANTS 42 PLANTS
PARKING INTERIOR GREEN SPACE • 4% OF PARKING AREA 37,242 SQ FT	1490 SQ FT	1860 SQ FT
PARKING INTERIOR 103 SPACES • ISLANDS 1 PER 12 SPACES • TREES 1 PER 10 SPACES	9 10	17 16



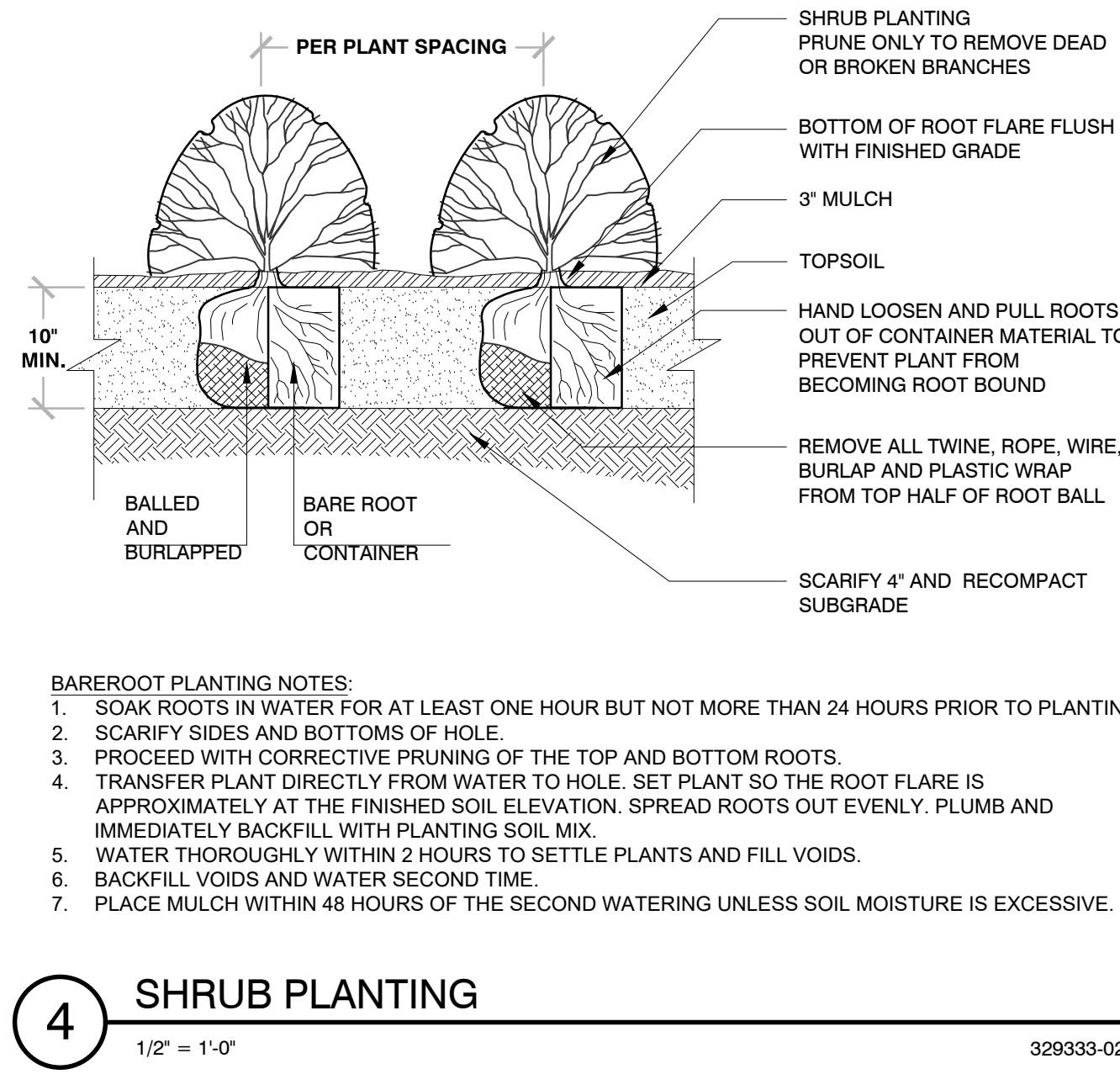
1 TREE PLANTING
1/4" = 1'-0"
329343-01



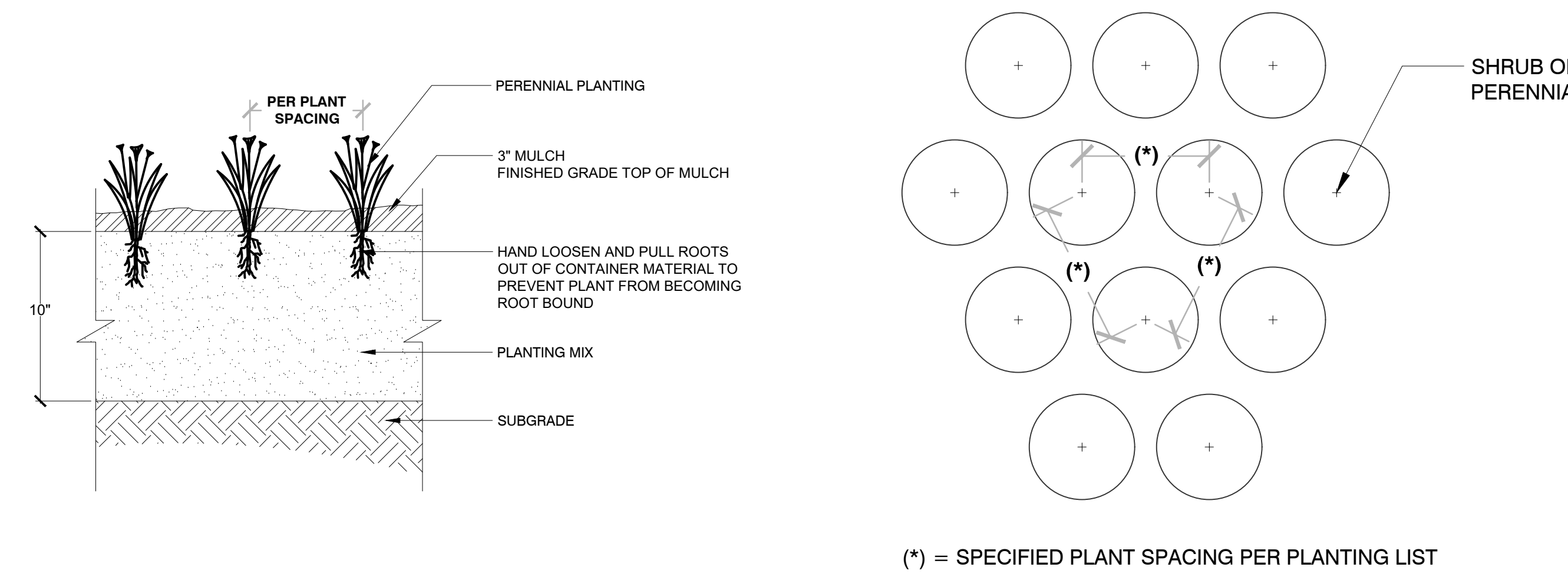
2 TREE PLANTING ON SLOPE
3/8" = 1'-0"
329343-02



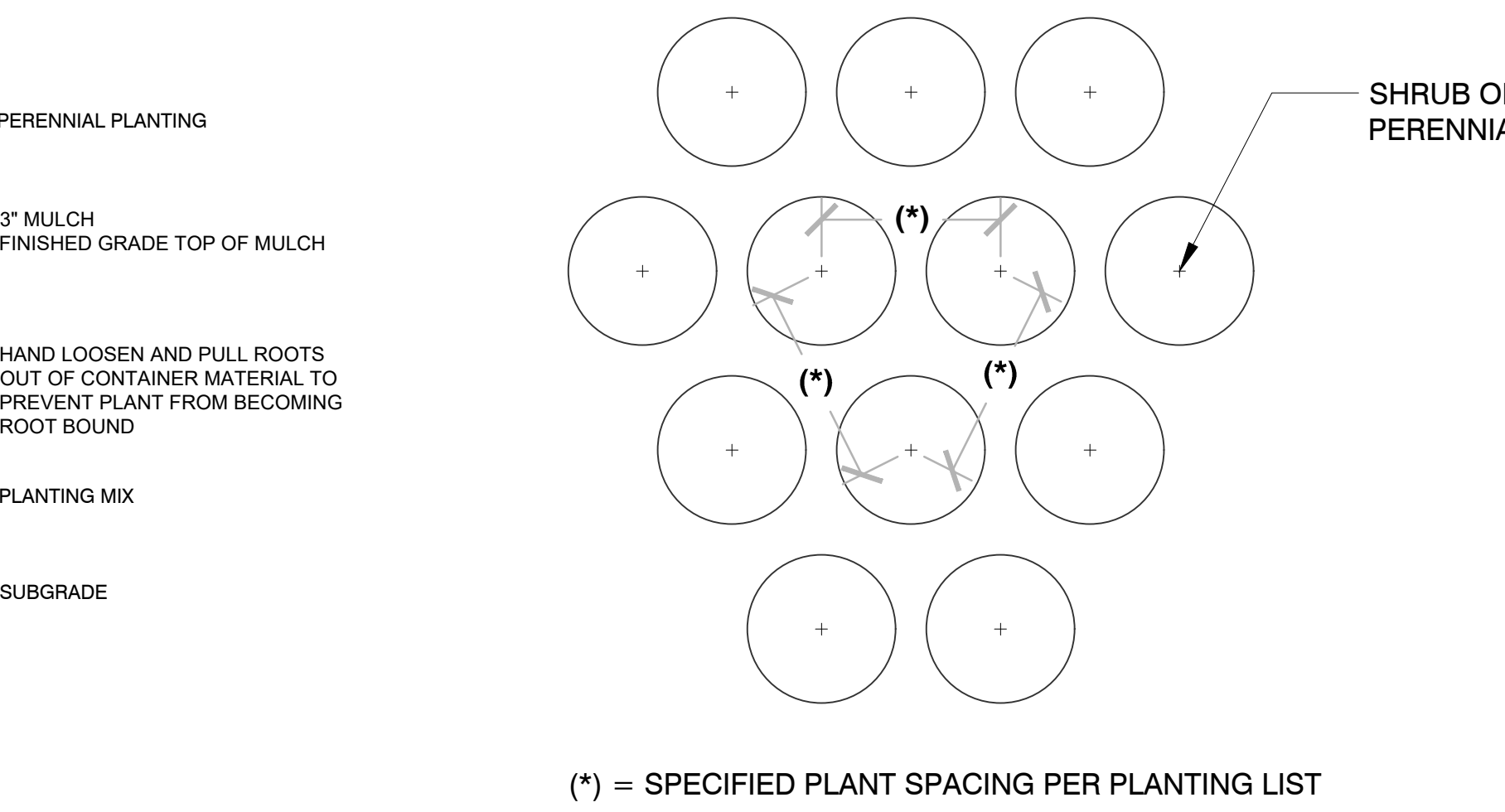
3 EVERGREEN TREE PLANTING
1/4" = 1'-0"
329343-03



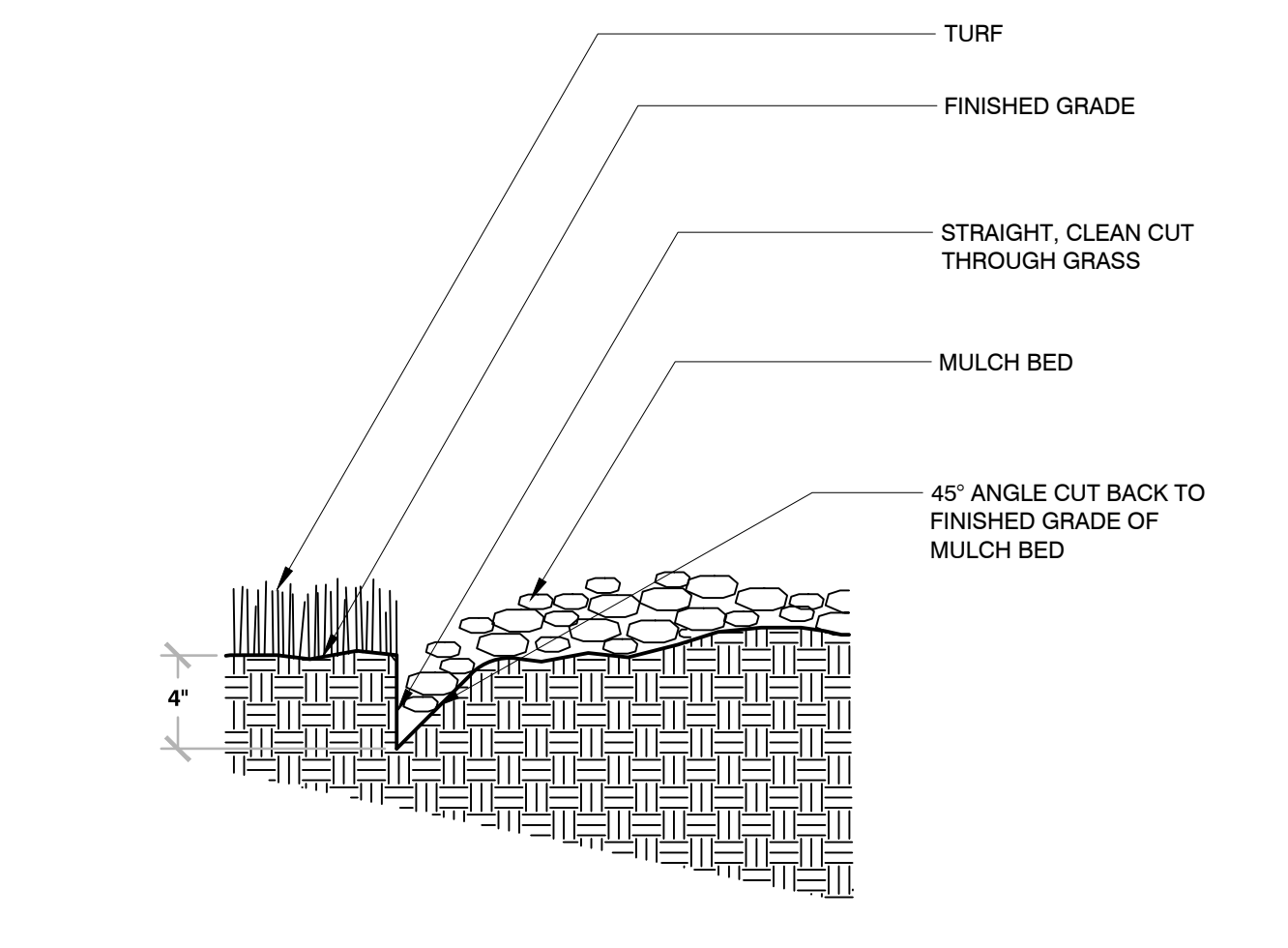
4 SHRUB PLANTING
1/2" = 1'-0"
329333-02



5 PERENNIAL PLANTING
1" = 1'-0"
3293-01



6 PLANT SPACING
3/4" = 1'-0"
3293-02



7 TRENCHED BED EDGE
3/4" = 1'-0"
3293-03

DESIGNED: BJ, CHECKED: BJ, REVIEWED: DJB, DATE: 09/11/25, PROJECT: 2:\PROJECTS\2025\6501-00-W\CAD\SHETS\6501-00_LANDSCAPE.PLAN.DWG

PINNACLE ENGINEERING GROUP
ENGINEERING | NATURAL RESOURCES | SURVEYING
2025 WATER TOWN ROAD, SUITE 100
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(262) 754-8888
CHICAGO | MILWAUKEE | NATIONAL

CEDARBURG INDUSTRIAL
FORWARD WAY
CITY OF CEDARBURG, WISCONSIN

LANDSCAPE GENERAL NOTES & DETAILS

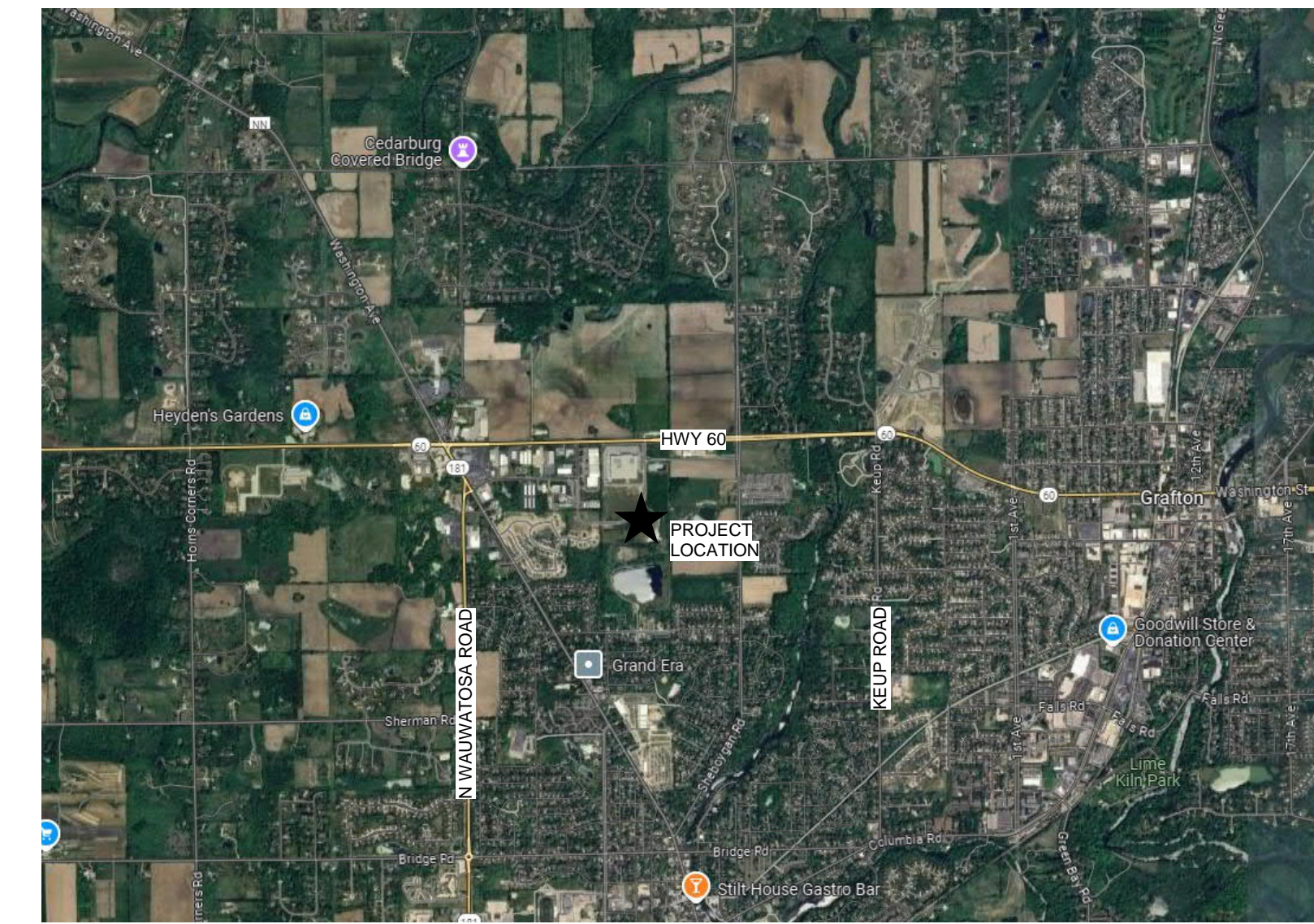
REVISIONS	
1. PC SUBMITTAL	09/29/25

REG. NO. 6501.00
REG. DATE 09/11/25
SCALE VARIES
SHEET L-4 OF L-4

LANDSCAPE GENERAL NOTES & DETAILS



**BUILDING DESIGN FOR:
CEDARBURG SPEC INDUSTRIAL
FORWARD DRIVE**



LOCATION MAP



N173 W21010
NORTHWEST PASSAGE WAY
JACKSON, WI 53037
PHONE 262.677.9933
FAX 262.677.9934
info@design2construct.com

BUILDING DESIGN FOR:
CEDARBURG SPEC INDUSTRIAL
 FORWARD DRIVE
 CEDARBURG, WI

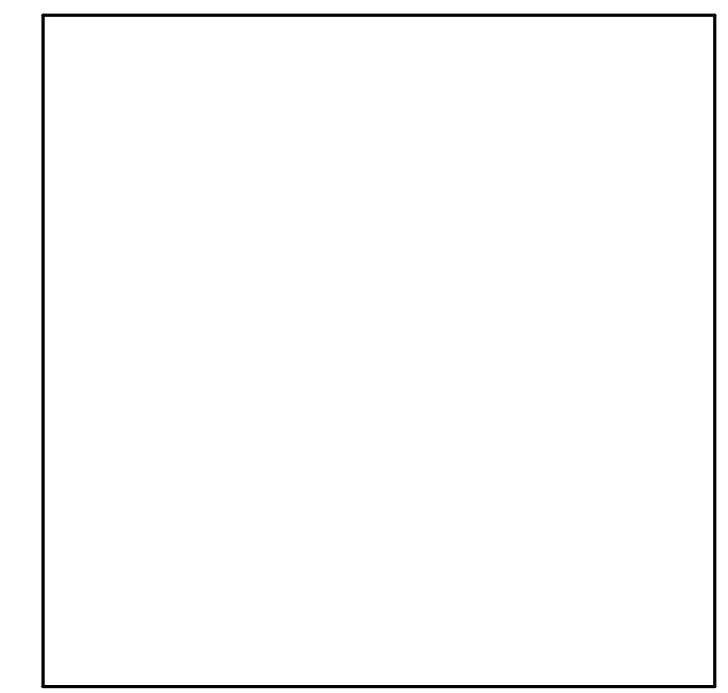
SHEET INDEX:

	REV	DATE
TS		TITLE SHEET
CIVIL		
C-1		COVER SHEET
C-2		GENERAL NOTES
C-3		EXISTING CONDITIONS & DEMOLITION PLAN
C-4		SITE DIMENSIONAL & PAVING PLAN
C-5		GRADING PLAN
C-6		EROSION CONTROL PLAN
C-7		UTILITY PLAN
C-8		CONSTRUCTION DETAILS
C-9		CONSTRUCTION DETAILS
EX-1		IMPERVIOUS AREA EXHIBIT
LANDSCAPING		
L-1		LANDSCAPE OVERVIEW
L-2		LANDSCAPE ENLARGEMENT
L-3		LANDSCAPE ENLARGEMENT
L-4		LANDSCAPE GENERAL NOTES & DETAILS
ARCHITECTURAL		
A1.0		ARCHITECTURAL SITE PLAN
A2.1		FIRST FLOOR PLAN - OVERALL
A4.1		EXTERIOR ELEVATIONS
SL-1		SITE LIGHTING LAYOUT
X10.1		RENDERINGS
X10.2		RENDERINGS
X10.3		RENDERINGS

PROJECT CONTACTS

STRUCTURAL CONSULTANT	ARCHITECT	MARK HERTZFELDT
	SUPERVISING PROFESSIONAL	
	PROJECT MANAGER	PM NAME
	PROJECT NO.	25-00141
	DATE	09.29.2025

CIVIL CONSULTANT



LANDSCAPE CONSULTANT

DESIGN
•
CONSTRUCTION

PHONE (262) 677-9933
FAX (262) 677-9934

•

N173 W21010
NORTHWEST PASSAGE WAY
JACKSON, WI 53037

SHEET TITLE
TITLE SHEET

REVISIONS

PROJECT DATA	
DATE	09.29.2025
JOB NO.	25-00141
SET USE	PLAN COMMISSION
DRAWN BY	TJD
SHEET NO.	

TS

CONSTRUCTION NOTE LEGEND

01 KNOCK OUT PANEL FOR FUTURE DOCK DOOR

DESIGN

2

CONSTRUCT
DEVELOPMENT CORPORATION

N173 W21010
NORTHWEST PASSAGE WAY
JACKSON, WI 53037

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BUILDING DESIGN FOR:
CEDARBURG SPEC INDUSTRIAL
FORWARD DRIVE
CEDARBURG, WI

SHEET TITLE

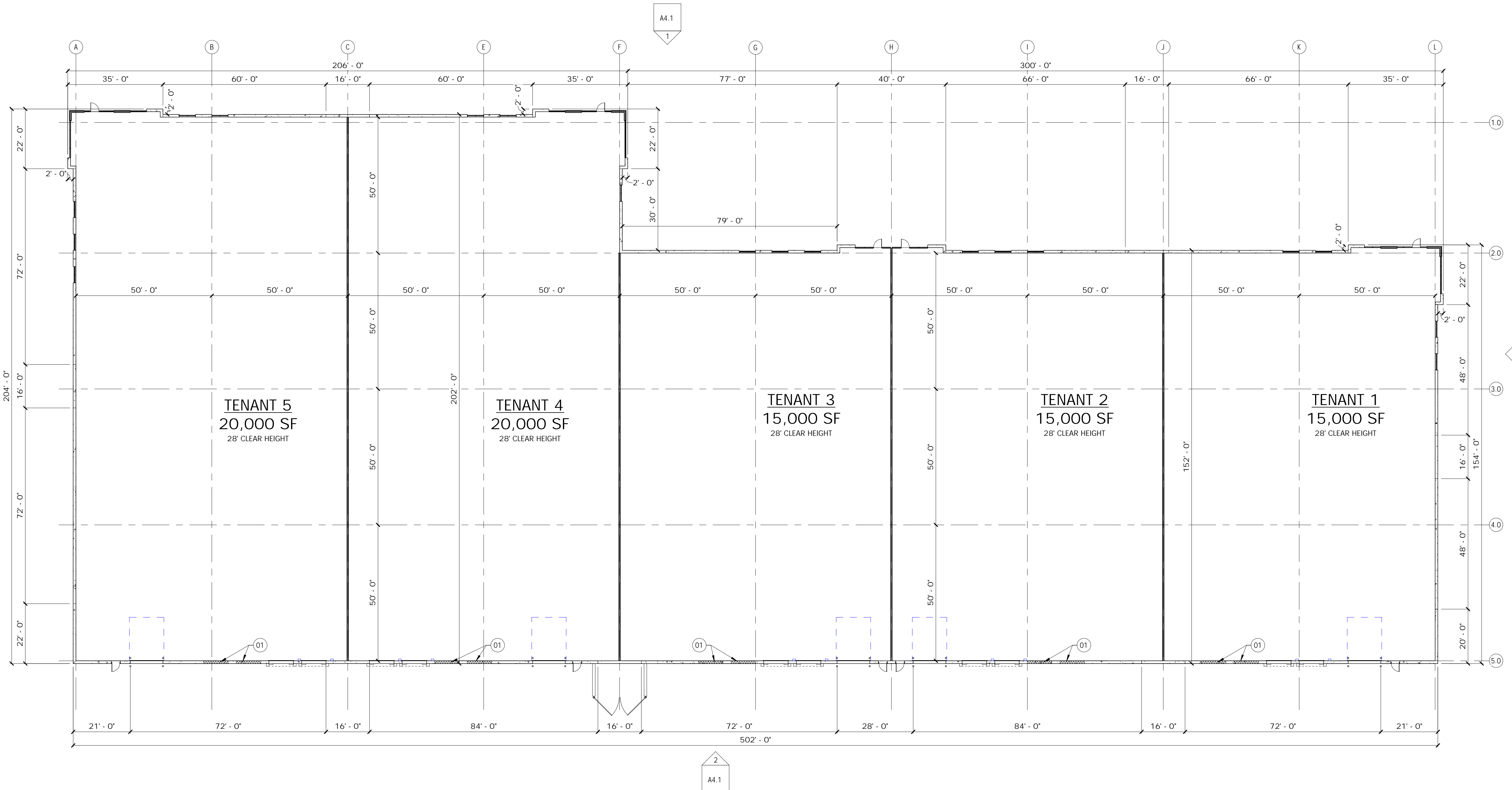
FIRST FLOOR PLAN - OVERALL

REVISIONS

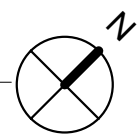
PROJECT DATA

DATE	09.29.2025
JOB NO.	25-00141
SET USE	PLAN COMMISSION
DRAWN BY	TJD
SHEET NO.	

A2.1

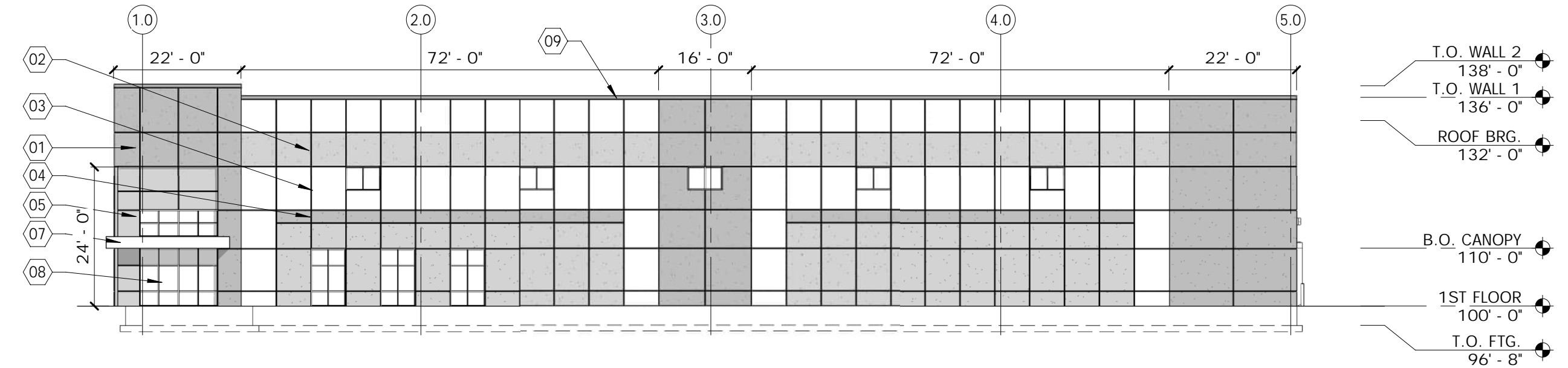


1 1ST FLOOR PLAN - OVERALL
SCALE: 1" = 20'-0"

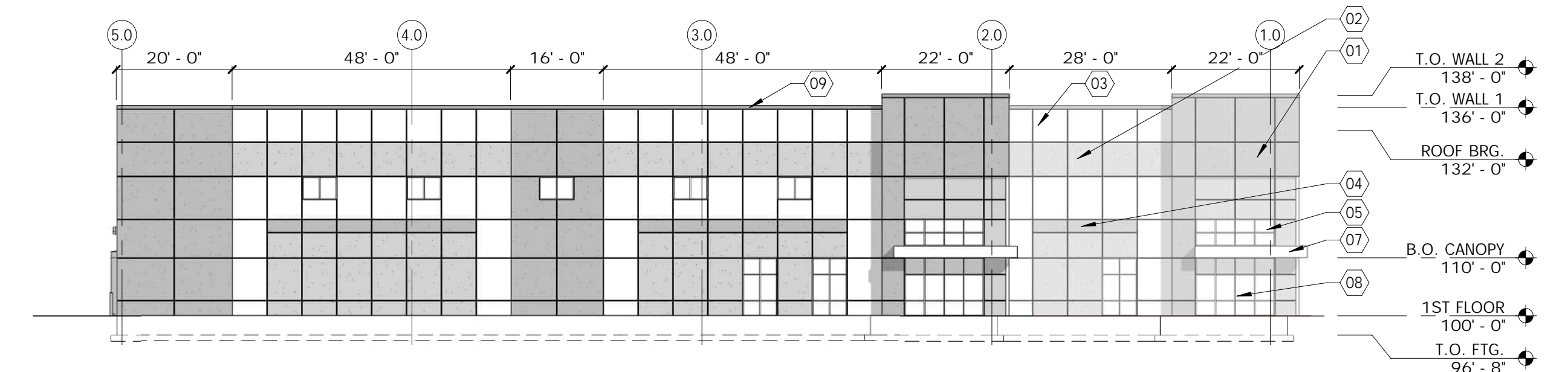


ELEVATION NOTE LEGEND

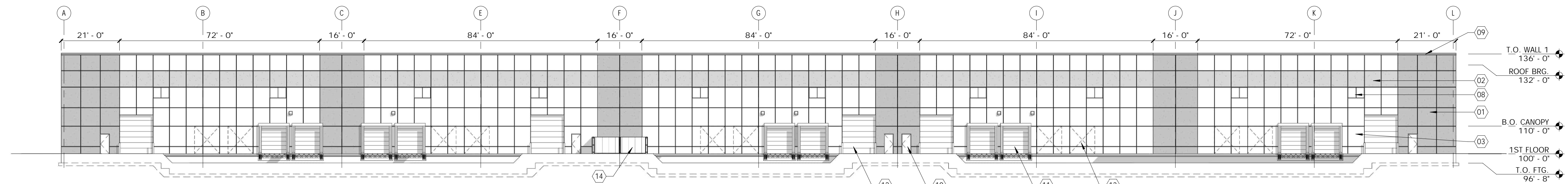
- 01 12" PRECAST PANEL - COLOR 1
- 02 12" PRECAST PANEL - COLOR 2
- 03 12" PRECAST PANEL - COLOR 3
- 04 METAL PANEL - MATCH PRECAST COLOR 4
- 05 METAL PANEL - MATCH PRECAST COLOR 4
- 06 BLACK ALUMINUM STOREFRONT WINDOW AND DOOR
- 07 BLACK METAL CANOPY
- 08 BLACK ALUMINUM STOREFRONT WINDOW
- 09 PREFINISHED METAL COPING
- 10 PAINTED HOLLOW METAL DOOR
- 11 DOCK DOOR
- 12 INSULATED OVERHEAD DOOR
- 13 KNOCK OUT PANEL FOR FUTURE DOCK DOOR
- 14 TRASH ENCLOSURE



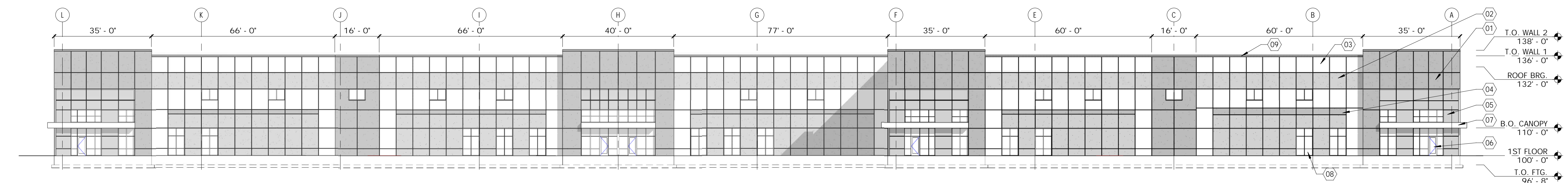
4 SOUTHWEST ELEVATION
 SCALE: 1" = 20'-0"



3 NORTHEAST ELEVATION
 SCALE: 1" = 20'-0"



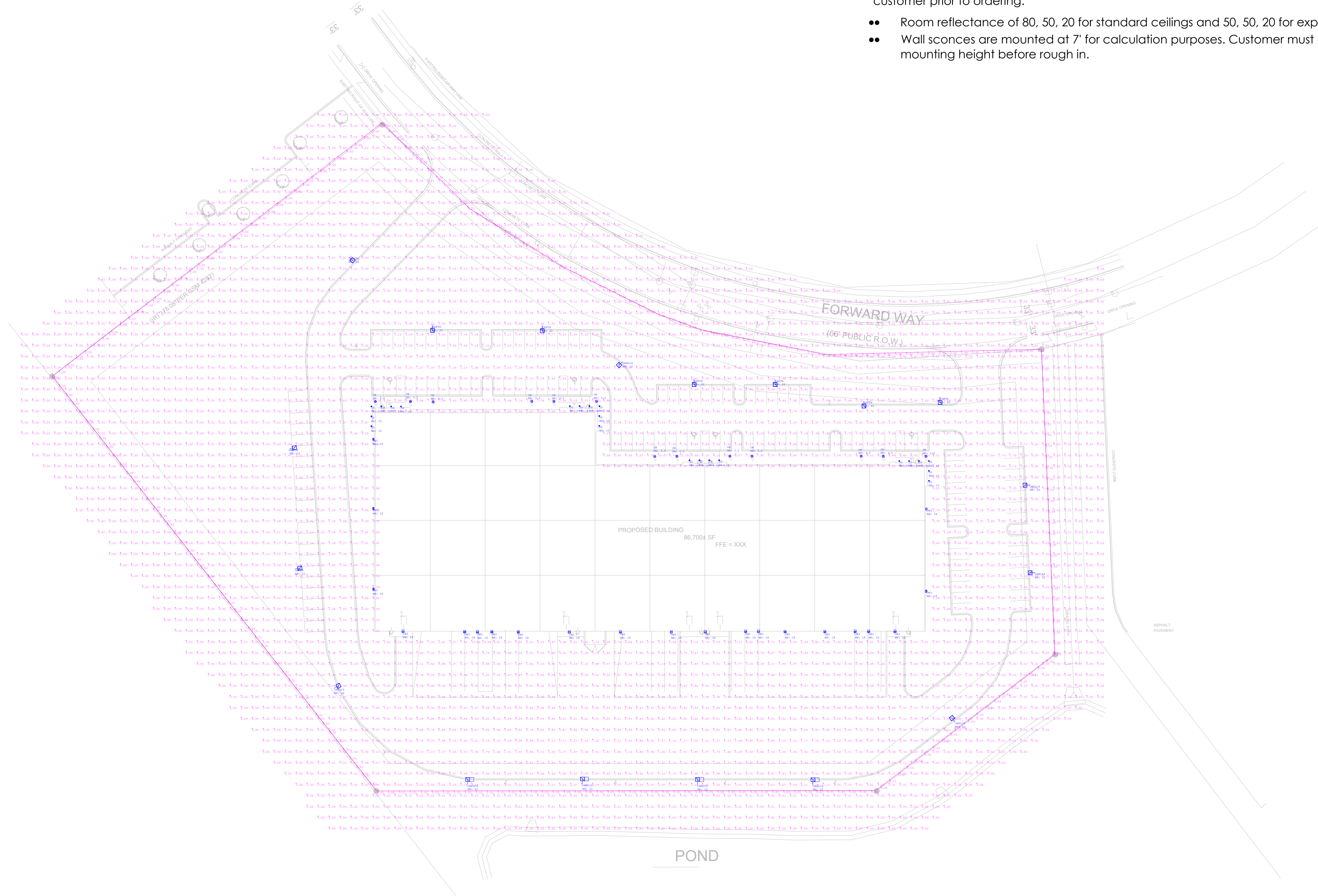
2 SOUTHEAST ELEVATION
 SCALE: 1" = 20'-0"



1 NORTHWEST ELEVATION
 SCALE: 1" = 20'-0"

NOTES:

- Customers are responsible for confirming mounting heights, fixture suspension types/ lengths, color temperature, CRI, linear fixture lengths, pole lengths, and bollard heights/ lengths prior to ordering.
- Mounting height (MH) is measured from the bottom of the fixture to the floor.
- This Lighting layout assumes the following unless values are specified and must be confirmed by the customer prior to ordering.
 - Room reflectance of 80, 50, 20 for standard ceilings and 50, 50, 20 for exposed ceilings
 - Wall sconces are mounted at 7' for calculation purposes. Customer must confirm desired mounting height before rough in.




Qty	Label	LLF	MFG	Description	Lum. Watts	Total Watts	Lum. Lumens
10	0ANLCA	0.900	LITHONIA	DSX1 LED P3 wK 80CRI BLCA MVOLT SPA + 20' POLE + 2' BASE	102	1020	9485
8	0AMTH	0.900	LITHONIA	DSX1 LED P3 wK 80CRI TFTM MVOLT SPA HS + 20' POLE + 3' BASE	102	816	10822
13	0B	0.900	LITHONIA	DSXB LED 12C 530 wK ASY MVOLT	22	296	1946
22	0D	0.900	LITHONIA	LDN4 wK10LOAR LSS MVOLT	1058	232.76	1047
21	0W3	0.900	LITHONIA	WDG2 LED P4 wK 80CRI VF MVOLT	35	735	4413

Label	CalcType	Units	Avg	Max	Min	Avg/M	Max/M
Presumed Property Line	Illuminance	Fc	0.02	0.11	0.00	N.A.	N.A.
East Parking Area	Illuminance	Fc	1.57	3.1	0.7	2.24	4.43
Loading Dock Area	Illuminance	Fc	1.91	10.6	0.3	6.37	35.33
North Parking Area	Illuminance	Fc	1.58	3.1	0.5	3.16	6.20

#	DATE	COMMENTS
REVISIONS		

DRAWN BY : JT
 DATE : SEPT 25, 2025
 SCALE : 1" = 50'

85K SPEC BUILDING
 CEDARBURG, WISCONSIN
 SITE LIGHTING LAYOUT



DESIGN 2 CONSTRUCT

RENDERINGS ARE FOR ILLUSTRATION PURPOSES ONLY. ITEMS REPRESENTED HERE ARE NOT INTENDED TO PRESENT AN EXACT REPRESENTATION OF THE FINAL PRODUCT AND MAY DIFFER.



DESIGN 2 CONSTRUCT



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DESIGN 2 CONSTRUCT



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DESIGN 2 CONSTRUCT

MATERIAL LEGEND:

- Precast Paint Color
 - Color #1
"Mink SW 6004"
 - Color #2
"Gray Matters SW 7066"
 - Color #3
"Eider White SW 7014"
 - Color #3 "Pewter Green SW 6208"
- ACM Panel:
 - Apolic Metal Panels
 - Custom color
Match – "Pewter Green SW6208"
- Aluminum Storefront
 - Anodized Black
- Glass
 - Grey Tinted



CEDARBURG SPEC INDUSTRIAL

Forward Way • Cedarburg, WI





Job Name:
Luther Group - Grafton Spec

Catalog Number:
DSX1 LED P8 XXC BLC4
MVOLT SPA STD FINISH
Notes:

Type:
OABLC4

ELL24-134734



D-Series Size 1 LED Area Luminaire



Catalog Number
Notes
Type

Hit the Tab key or mouse over the page to see all interactive elements.

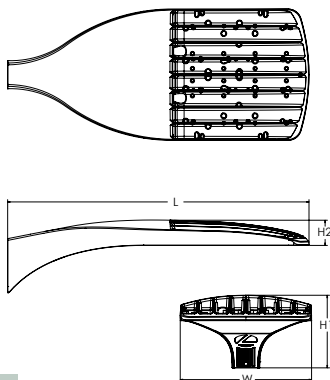
Introduction

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Specifications

- EPA:** 0.69 ft² (0.06 m²)
- Length:** 32.71" (83.1 cm)
- Width:** 14.26" (36.2 cm)
- Height H1:** 7.88" (20.0 cm)
- Height H2:** 2.73" (6.9 cm)
- Weight:** 34 lbs (15.4 kg)



ds Design Select options indicated by this color background.



Items marked by a shaded background qualify for the Design Select program and ship in 15 days or less. To learn more about Design Select, visit www.acuitybrands.com/designselect. *See ordering tree for details

Ordering Information

EXAMPLE: DSX1 LED P7 40K 70CRI T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

DSX1 LED	XXC-XXCRI - Specify							
Series	LEDs	Color temperature ²	Color Rendering Index ²	Distribution		Voltage		Mounting
DSX1 LED	Forward optics	(this section 70CRI only)		AFR Automotive front row	TSM Type V medium	MVOLT (120V-277V) ⁴		Shipped included
	P1 P6	30K 3000K	70CRI	T1S Type I short	TSLG Type V low glare	HVOLT (347V-480V) ^{5,6}		SPA Square pole mounting (#8 drilling)
	P2 P7	40K 4000K	70CRI	T2M Type II medium	TSW Type V wide	XVOLT (277V - 480V) ^{7,8}		RPA Round pole mounting (#8 drilling)
	P3 P8	50K 5000K	70CRI	T3M Type III medium	BLC3 Type III backlight control ³	120 ^{16,26}		SPA5 Square pole mounting #5 drilling ⁹
	P4 P9	(this section 80CRI only, extended lead times apply)		T3LG Type III low glare ³	BLC4 Type IV backlight control ³	208 ^{16,26}		RPAS Round pole mounting #5 drilling ⁹
	P5			T4M Type IV medium	LCCO Left corner cutoff ³	240 ^{16,26}		SPA8N Square narrow pole mounting #8 drilling
	Rotated optics	27K 2700K	80CRI	T4LG Type IV low glare ³	RCCO Right corner cutoff ³	277 ^{16,26}		WBA Wall bracket ¹⁰
	P10 ¹ P12 ¹	30K 3000K	80CRI	TFTM Forward throw medium		347 ^{16,26}		MA Mast arm adapter (mounts on 2 3/8" OD horizontal tenon)
	P11 ¹ P13 ¹	35K 3500K	80CRI			480 ^{16,26}		
		40K 4000K	80CRI					
		50K 5000K	80CRI					

Control options		Other options		Finish (required)
Shipped installed			Shipped installed	STD FINISH = Specify
NLTAIR2 PIRHN	nLight AIR gen 2 enabled with bi-level motion / ambient sensor, 8-40' mounting height, ambient sensor enabled at 2fc ^{11,12,20,21}	PER7 Seven-pin receptacle only (controls ordered separate) ^{14,21}	SPD20KV 20KV surge protection	DDBXD Dark Bronze
PIR	High/low, motion/ambient sensor, 8-40' mounting height, ambient sensor enabled at 2fc ^{11,12,20,21}	FAO Field adjustable output ^{15,21}	HS Houseside shield (black finish standard) ²²	DBLXD Black
PER	NEMA twist-lock receptacle only (controls ordered separate) ¹⁴	BL30 Bi-level switched dimming, 30% ^{16,21}	L90 Left rotated optics ¹	DNAXD Natural Aluminum
PERS	Five-pin receptacle only (controls ordered separate) ^{14,21}	BL50 Bi-level switched dimming, 50% ^{16,21}	R90 Right rotated optics ¹	DWHXD White
		DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately) ¹⁷	CCE Coastal Construction ²³	DBTXXD Textured dark bronze
		DS Dual switching ^{18,19,21}	HA 50°C ambient operation ²⁴	DBLXXD Textured black
			BAA Buy America(n) Act and/or Build America Buy America Qualified	DNATXD Textured natural aluminum
			SF Single fuse (120, 277, 347V) ²⁶	DWHGXD Textured white
			DF Double fuse (208, 240, 480V) ²⁶	
			Shipped separately	
			EGSR External Glare Shield (reversible, field install required, matches housing finish)	
			BSDB Bird Spikes (field install required)	





Job Name:
Luther Group - Grafton Spec

Catalog Number:
DSX1 LED P8 XXCRI TFTM
MVOLT SPA HS STD FINISH
Notes:

Type:
OAFTH
ELL24-134734



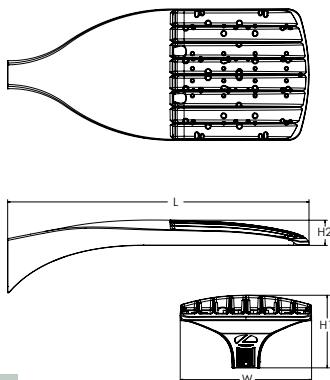
D-Series Size 1 LED Area Luminaire



d^{series}

Specifications

- EPA:** 0.69 ft² (0.06 m²)
- Length:** 32.71" (83.1 cm)
- Width:** 14.26" (36.2 cm)
- Height H1:** 7.88" (20.0 cm)
- Height H2:** 2.73" (6.9 cm)
- Weight:** 34 lbs (15.4 kg)



ds Design Select options indicated by this color background.

Catalog Number _____

Notes _____

Type _____

Hit the Tab key or mouse over the page to see all interactive elements.

Introduction

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.



Items marked by a shaded background qualify for the Design Select program and ship in 15 days or less. To learn more about Design Select, visit www.acuitybrands.com/designselect. *See ordering tree for details

Ordering Information

EXAMPLE: DSX1 LED P7 40K 70CRI T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

Series	LEDs	Color temperature ²	Color Rendering Index ²	Distribution	Voltage	Mounting
DSX1 LED	Forward optics	(this section 70CRI only)		AFR Automotive front row	MVOLT (120V-277V) ⁴	Shipped included
	P1 P6	30K 3000K	70CRI	T1S Type I short	HVOLT (347V-480V) ^{5,6}	SPA Square pole mounting (#8 drilling)
	P2 P7	40K 4000K	70CRI	T2M Type II medium	XVOLT (277V - 480V) ^{7,8}	RPA Round pole mounting (#8 drilling)
	P3 P8	50K 5000K	70CRI	T3M Type III medium		SPA5 Square pole mounting #5 drilling ⁹
	P4 P9	(this section 80CRI only, extended lead times apply)		T3LG Type III low glare ³	120 ^{16,26}	RPAS Round pole mounting #5 drilling ⁹
	P5			T4M Type IV medium	208 ^{16,26}	SPA8N Square narrow pole mounting #8 drilling
	Rotated optics			T4LG Type IV low glare ³	240 ^{16,26}	WBA Wall bracket ¹⁰
	P10 ¹ P12 ¹	27K 2700K	80CRI	T4LV Type IV low glare ³	277 ^{16,26}	MA Mast arm adapter (mounts on 2 3/8" OD horizontal tenon)
	P11 ¹ P13 ¹	30K 3000K	80CRI	TFTM Forward throw medium	347 ^{16,26}	
		35K 3500K	80CRI		480 ^{16,26}	
		40K 4000K	80CRI			
		50K 5000K	80CRI			

Control options	Other options	Finish (required)
Shipped installed	Shipped installed	STD FINISH = Specify
NLTAIR2 PIRHN nLight AIR gen 2 enabled with bi-level motion / ambient sensor, 8-40' mounting height, ambient sensor enabled at 2fc. ^{11,12,20,21}	SPD20KV 20KV surge protection	DDBXD Dark Bronze
PIR High/low, motion/ambient sensor, 8-40' mounting height, ambient sensor enabled at 2fc. ^{13,20,21}	HS Houseside shield (black finish standard) ²²	DBLXD Black
PER NEMA twist-lock receptacle only (controls ordered separately) ¹⁴	L90 Left rotated optics ¹	DNAXD Natural Aluminum
PER5 Five-pin receptacle only (controls ordered separately) ^{14,21}	R90 Right rotated optics ¹	DWHXD White
PER7 Seven-pin receptacle only (controls ordered separate) ^{14,21}	CCE Coastal Construction ²³	DBBTXD Textured dark bronze
FAO Field adjustable output ^{15,21}	HA 50°C ambient operation ²⁴	DBLXD Textured black
BL30 Bi-level switched dimming, 30% ^{16,21}	BAA Buy America(n) Act and/or Build America Buy America Qualified	DNATXD Textured natural aluminum
BL50 Bi-level switched dimming, 50% ^{16,21}	SF Single fuse (120, 277, 347V) ²⁶	DWHGXD Textured white
DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately) ¹⁷	DF Double fuse (208, 240, 480V) ²⁶	
DS Dual switching ^{18,19,21}	Shipped separately	
	EGSR External Glare Shield (reversible, field install required, matches housing finish)	
	BSDB Bird Spikes (field install required)	





D-Series LED Bollard



d#series

Specifications

- Diameter:** 8" Round (20.3 cm)
- Height:** 42" (106.7 cm)
- Weight (max):** 27 lbs (12.25 kg)



Catalog Number

Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

Introduction

The D-Series LED Bollard is a stylish, energy-saving, long-life solution designed to perform the way a bollard should—with zero uplight. An optical leap forward, this full cut-off luminaire will meet the most stringent of lighting codes. The D-Series LED Bollard's rugged construction, durable finish and long-lasting LEDs will provide years of maintenance-free service.

Ordering Information

EXAMPLE: DSXB LED 16C 700 40K SYM MVOLT DDBXD

DSXB LED		XXK = Specify						STD FINISH = Specify	
Series	LEDs	Drive current	Color temperature		Distribution	Voltage	Control options	Other options	Finish (required)
DSXB LED	Asymmetric	350 350 mA	30K	3000 K	ASY Asymmetric ¹ SYM Symmetric ²	MVOLT ⁵ 120 ⁵ 208 ⁵ 240 ⁵ 277 ⁵ 347 ⁴	Shipped installed PE Photoelectric cell, button type DMG 00-10v dimming wires pulled outside fixture (for use with an external control, ordered separately) ELCW Emergency battery backup ⁶	Shipped installed SF Single fuse (120, 277, 347V) ^{4,7} DF Double fuse (208, 240V) ^{4,7} H24 24" overall height H30 30" overall height H36 36" overall height FG Ground-fault festoon outlet L/AB Without anchor bolts L/AB4 4-bolt retrofit base without anchor bolts ⁸	DWHXD White DNAXD Natural aluminum DDBXD Dark bronze DBLXD Black DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white
		12C 12 LEDs ¹	450 450 mA ^{3,4}	40K 4000 K					
	Symmetric	530 530 mA	50K	5000 K					
	16C 16 LEDs ²	700 700 mA	AMBPC	Amber phosphor converted					
			AMBLW	Amber limited wavelength ^{3,4}					

Accessories

Ordered and shipped separately.

- MRAB U Anchor bolts for DSXB⁸

NOTES

- Only available in the 12C, ASY version.
- Only available in the 16C, SYM version.
- Only available with 450 AMBLW version.
- Not available with ELCW.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120, 208, 240 or 277 options only when ordering with fusing (SF, DF options), or photocontrol (PE option).
- Not available with 347V. Not available with fusing. Not available with 450 AMBLW.
- Single fuse (SF) requires 120, 277, or 347 voltage option. Double fuse (DF) requires 208 or 240 voltage option.
- MRAB U not available with L/AB4 option.





FEATURES & SPECIFICATIONS

INTENDED USE — Typical applications include corridors, lobbies, conference rooms and private offices.
CONSTRUCTION — Galvanized steel mounting/plaster frame; galvanized steel junction box with bottom-hinged access covers and spring latches. Reflectors are retained by torsion springs. Vertically adjustable mounting brackets with commercial bar hangers provide 3-3/4" total adjustment. Two combination 1/2"-3/4" and four 1/2" knockouts for straight-through conduit runs. Capacity: 8 (4 in, 4 out). No. 12 AWG conductors, rated for 90°C. Accommodates 12"-24" joist spacing. Passive cooling thermal management for 25°C standard; high ambient (40°C) option available. Light engine and drivers are accessible from above or below ceiling. Max ceiling thickness 1-1/2".
OPTICS — LEDs are binned to a 3-step MacAdam Ellipse; 80 CRI minimum. 90 CRI optional. LED light source concealed with diffusing optical lens. General illumination lighting with 1.0 S/MH and 55° cutoff to source and source image. Self-flanged anodized reflectors in specular, semi-specular, or matte diffuse finishes. Also available in white and black painted reflectors.
A+ CAPABLE LUMINAIRE — This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and out-of-the-box control compatibility with simple commissioning when used with Acuity Brands controls products. All configurations of this luminaire are calibrated and tested to meet the Acuity Brands' specifications for chromatic consistency — including color rendering, color fidelity and color temperature tolerance around standard CIE chromaticity coordinates. To learn more about A+ standards, specifications, and testing visit www.acuitybrands.com/aplus.
UGR — UGR is zero for fixtures aimed at nadir with a cut-off equal to or less than 60deg per CIE 117-1996 Discomfort Galre in Interior Lighting. [UGR FAQs](#)
ELECTRICAL — Multi-volt (120-277V, 50/60Hz) 0-10V dimming drivers mounted to junction box, 10% or 1% minimum dimming level available. 0-10V dimming fixture requires two (2) additional low-voltage wires to be pulled.
LUMEN MAINTENANCE — 70% lumen maintenance at 60,000 hours.
LISTINGS — Certified to US and Canadian safety standards. Wet location standard (covered ceiling). IP55 rated. Drivers are ROHS compliant
GOVERNMENT PROCUREMENT — BAA — Product with the BAA option qualifies as a domestic end product under the Buy American Act as implemented in the FAR and DFARS. Product with the BAA option also qualifies as manufactured in the United States under DOT Buy America regulations. BABA — Build America Buy America: Product with the BAA option also qualifies as produced in the United States under the definitions of the Build America, Buy America Act. Please refer to www.acuitybrands.com/buy-american for additional information.
WARRANTY — 5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions
Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

PERFORMANCE DATA

LDN4			
Nominal	Lumens	Wattage	Lm/W
500	523.6	5.74	91.2
750	751.1	8.6	87.3
1000	1045	10.58	98.8
1500	1512	17.5	86.4
2000	2006	22.12	90.7
2500	2551	26.1	97.7
3000	3007	32.1	93.7
4000	4212	43	98.0

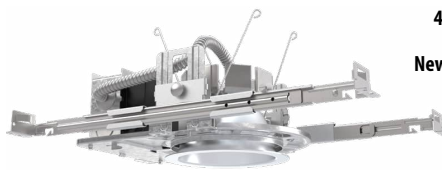
Notes
 Tested in accordance with IESNA LM-79-08
 Tested to current IES and NEMA standards under stabilized laboratory conditions
 Based on LDN4 AR LSS 35K 80CRI



Catalog Number
Notes
Type

LDN4 STATIC WHITE

4" Open and Wallwash LED Non-IC New Construction Downlight

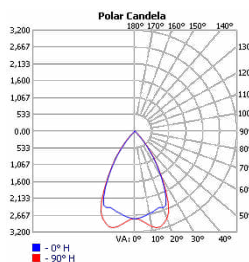


Open Trim

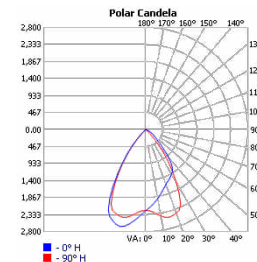


Wallwash Trim

DISTRIBUTIONS



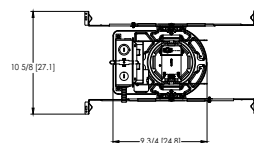
Open



Wallwash

DIMENSIONS

LDN4 500-2000 Lumens



Aperture: Ø 4-5/16" [11]
 Ceiling Cutout: Ø 5-1/8" [13] Self-flanged
 Overlap Trim: Ø 5-7/16" [13.8]
 Ceiling Cutout: Ø 5-1/4" [13.3] Flangeless

See page 4 for other fixture dimensions



WDGE2 LED

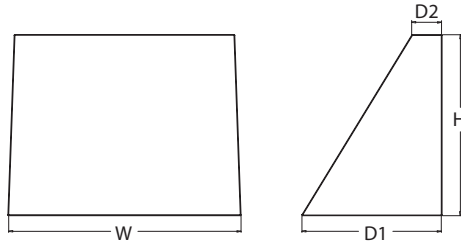
Architectural Wall Sconce

Visual Comfort Optic



Specifications

- Depth (D1):** 7"
- Depth (D2):** 1.5"
- Height:** 9"
- Width:** 11.5"
- Weight:** 13.5 lbs (without options)



Catalog Number
Notes
Type

Hit the Tab key or mouse over the page to see all interactive elements.

Introduction

The WDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution. Embedded with nLight® AIR wireless controls, the WDGE family provides additional energy savings and code compliance.

WDGE2 delivers up to 6,000 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. When combined with multiple integrated emergency battery backup options, including an 18W cold temperature option, the WDGE2 becomes the ideal wall-mounted lighting solution for pedestrian scale applications in any environment.

Items marked by a shaded background qualify for the Design Select program and ship in 15 days or less. To learn more about Design Select, visit www.acuitybrands.com/designselect. *See ordering tree for details

WDGE LED Family Overview

Luminaire	Optics	Standard EM, 0°C	Cold EM, -20°C	Sensor	Approximate Lumens (4000K, 80CRI)							
					P0	P1	P2	P3	P4	P5	P6	
WDGE1 LED	Visual Comfort	4W		--	750	1,200	2,000	--	--	--	--	--
WDGE2 LED	Visual Comfort	10W	18W	Standalone / nLight	--	1,200	2,000	3,000	4,500	6,000	--	--
WDGE2 LED	Precision Refractive	10W	18W	Standalone / nLight	700	1,200	2,000	3,200	4,200	--	--	--
WDGE3 LED	Precision Refractive	15W	18W	Standalone / nLight	6,000	7,500	8,500	10,000	12,000	--	--	--
WDGE4 LED	Precision Refractive			Standalone / nLight	--	12,000	16,000	18,000	20,000	22,000	25,000	--

Ordering Information

EXAMPLE: WDGE2 LED P3 40K 80CRI VF MVOLT SRM DDBXD

Series	Package	XXK-XXCRI = Specify		Distribution	Voltage	Mounting			
		Color Temperature	CRI			Shipped included	Shipped separately		
WDGE2 LED	P1 ¹	P1SW	27K 2700K	VF Visual comfort forward throw	MVOLT	SRM Surface mounting bracket	AWS 3/8inch Architectural wall spacer ⁵		
	P2 ¹	P2SW	30K 3000K					90CRI	
	P3 ¹	P3SW	35K 3500K	VW Visual comfort wide	347 ³				ICW Indirect Canopy/Ceiling Washer bracket (dry/damp locations only) ⁴
	P4 ¹	Door with small window (SW) is required to accommodate sensors. See page 2 for more details.			480 ³				
	P5 ¹								

Options		STD FINISH = Specify	
E4WH	Emergency battery backup, Certified in CA Title 20 MAEDBS (4W, 0°C min)	Standalone Sensors/Controls (only available with P1SW, P2SW & P3SW)	DDBXD Dark bronze
E10WH	Emergency battery backup, Certified in CA Title 20 MAEDBS (10W, 5°C min)	PIR Bi-level (100/35%) motion sensor for 8-15' mounting heights. Intended for use on switched circuits with external dusk to dawn switching.	DBLXD Black
E20WC	Emergency battery backup, Certified in CA Title 20 MAEDBS (18W, -20°C min)	PIRH Bi-level (100/35%) motion sensor for 15-30' mounting heights. Intended for use on switched circuits with external dusk to dawn switching	DNAXD Natural aluminum
PE	Photocell, Button Type ⁶	PIR1FC3V Bi-level (100/35%) motion sensor for 8-15' mounting heights with photocell pre-programmed for dusk to dawn operation.	DWHXD White
DS	Dual switching (comes with 2 drivers and 2 light engines; see page 3 for details) ⁷	PIRH1FC3V Bi-level (100/35%) motion sensor for 15-30' mounting heights with photocell pre-programmed for dusk to dawn operation.	DSSXD Sandstone
DMG	0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately) ⁸	Networked Sensors/Controls (only available with P1SW, P2SW & P3SW)	DDBTXD Textured dark bronze
BCE	Bottom conduit entry for back box (PBBW). Total of 4 entry points.	NLTAIR2 PIR Embedded wireless controls by nLight with Passive Infrared Occ sensor and on/off photocell for 8-15' mounting heights.	DBLBXD Textured black
DSLE	Dual Switching (1 Driver, 2 Light Engines)	NLTAIR2 PIRH Embedded wireless controls by nLight with Passive Infrared Occ sensor and on/off photocell for 15-30' mounting heights.	DNATXD Textured natural aluminum
CCE	Coastal Construction ⁹	NLTAIREM2 PIR Embedded wireless controls by nLight with UL924 listed emergency operation, Passive Infrared Occ sensor and on/off photocell for 8-15' mounting heights ⁹	DWHGXD Textured white
		NLTAIREM2 PIRH Embedded wireless controls by nLight with UL924 listed emergency operation, Passive Infrared Occ sensor and on/off photocell for 15-30' mounting heights ⁹	DSSTXD Textured sandstone

Document Number	<p style="text-align: center;">DECLARATION OF RESTRICTIONS AND COVENANTS</p> <p style="text-align: center;">Title of Document</p>
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1104511
RONALD A. VOIGT
OZAUKEE COUNTY
REGISTER OF DEEDS
RECORDED ON
10/26/2020 08:46 AM
REC FEE: 30.00
TRANS FEE:
PAGES: 9
EXEMPT #:
ELECTRONICALLY RECORDED

Recording Area
Name and Return Address
Michael P. Herbrand
Houseman & Feind, LLP
P. O. Box 104
Grafton, WI 53024

Parcel Identification Number (PIN)

**CITY OF CEDARBURG
HIGHWAY 60 BUSINESS PARK
DECLARATION OF RESTRICTIONS AND COVENANTS
RECITALS**

WHEREAS, the City of Cedarburg ("City") is the sole owner of the Property (as hereinafter defined) located within the City limits, more particularly described in Section I, herein; and

WHEREAS, the City has determined that it is in the best interests of the City, the prospective owners of the Property, and the City's citizens to provide for controlled development of the Property as a business park; and

WHEREAS, the covenants set forth herein are intended by the City to incorporate portions of the strictest performance standards, as set forth in the Performance Standards in the M-3 Business Park Districts, sections 13-1-169, 13-1-170, 13-1-171, 13-1-172, 13-1-173, 13-1-174, 13-1-175, 13-1-176, and 13-1-177 of the Cedarburg Municipal Code of Ordinances, with an emphasis on aesthetics and high architectural standards;

NOW THEREFORE, LET IT BE KNOWN that each and every person, party or entity hereafter purchasing or owning or in any way taking possession of the Property or any portion thereof shall do so subject to the following restrictions and covenants, to wit:

SECTION 1 – PROPERTY SUBJECT TO THIS DECLARATION

The following property ("Property") shall be subject to this Declaration:

Northwest 1/4 and Southwest 1/4 of the Northeast 1/4 of Section 22, Town 10 North, Range 21 East, in the City of Cedarburg, Ozaukee County, Wisconsin, bounded and described as follows:

Commencing at the Northwest corner of the Northeast 1/4 of said Section 22; thence South 02° 07'53" East along the West line of said 1/4 Section a distance of 56.00 feet to a point in the South line of State Trunk Highway 60 and the point of beginning of Property to be described; thence North 87° 14' 38" East along said South line 983.53 feet to a point; thence North 86°44' 38" East along said South line 344.64 feet to a point in the East line of the West 1/2 of the Northeast 114 of said Section 22; thence South 02° 10'31" East along said East line 1943.69 feet to a point; thence South 87° 13' 05" West 1329.62 feet to a point in the West line of the Northeast 114 of said Section 22; thence North 02°07' 53" West along said West line 1941.30 feet to the point of beginning. Containing 2,579,695 square feet or 59.2217 acres.

SECTION 2 - GENERAL PURPOSE

A. PURPOSE: The general purpose of this Declaration is to insure the best use and most appropriate development and improvement of each building site on the Property; to protect owners of building sites against such use of surrounding building sites as will detract from the commercial quality of the property; to guard against the erection thereon of poorly designed or proportioned structures; to obtain harmonious use of materials and color schemes; to insure the highest and best commercial development of said Property; to encourage and secure the erection of attractive buildings thereon with appropriate locations thereof on building sites; to prevent haphazard and inharmonious improvement of building sites; to secure and maintain proper setbacks from streets and adequate open spaces between structures; and in general to provide for a high quality of improvement in said Property, and thereby to preserve and enhance the value of investments made by owners of the building sites.

B. MUNICIPAL CODE: This Declaration shall not abrogate, replace or supersede the City of Cedarburg Municipal Code of Ordinances ("Code"). Any development within the Property shall comply with both this Declaration and the Code. In the event of a conflict between the terms of this Declaration and the Code, the more strict terms of either shall apply.

SECTION 3 - COVENANTS

A. APPROVAL OF BUILDING PLANS: No building, structure or improvement shall be constructed or placed on any lot, nor shall any building, structure or improvement be remodeled or altered, until detailed plans and specifications for such building, structure or improvement or remodeling, alteration or addition thereto, have been reviewed and approved by the City of Cedarburg Plan Commission ("Plan Commission").

B. ARCHITECTURAL STANDARDS: Buildings and structures shall comply with the following standards:

i) Buildings shall be designed by an architect or engineer. All sides, elevations or facades of all buildings and structures shall be visually pleasing and architecturally and aesthetically compatible with the surrounding environment, as determined by the Plan Commission. Building materials shall be selected for their ability to present a visual statement of a building's purpose, attractiveness and permanence. The building materials used shall be harmonious with the general character of other buildings and structures on the Property.

ii) The front, side and rear walls of all buildings shall be faced with brick, decorative masonry, stone, or architecturally-finished (including, without limitation, painted) precast concrete panels or other decorative material approved by the Plan Commission. For the purpose of this architectural standard, light weight or cinder concrete block shall not be considered a decorative masonry material. Exterior gutters and downspouts shall be permitted only along the side and rear of buildings.

Metal siding shall be used only as a minor building component not to exceed twenty-five percent (25%) of exterior wall surface, excluding roofing, in combination with one of the above materials unless there is Plan Commission approval to exceed this amount. The metal panels must be attractive, durable, of an earth tone or compatible color and not merely an inexpensive method of building.

iii) No building, structure or improvement shall be in excess of forty-five (45) feet in height above grade, excluding any utility penthouse.

iv) The architectural standards and design of any accessory buildings shall be consistent with the design and materials of the principal buildings(s).

v) Prefinished metal siding on rear or side walls shall be permitted until all expansions have been completed. At the time of completion, all side and rear walls shall have finished materials as agreed upon by the Plan Commission.

C. SITE DESIGN STANDARDS: Sites shall be designed to comply with the following standards:

i) With the exception of any lot line abutting State Highway 60, no part or portion of any building shall be erected, constructed or extended nearer than forty (40) feet from the front lot line of the subject site. Parking of motor vehicles and storage of materials, products or equipment shall be prohibited at all times within twenty-five (25) feet from the front lot line of the subject site.

ii) With the exception of any lot line abutting State Highway 60, no part or portion of any building shall be erected, constructed or extended nearer than twenty-five (25) feet to any interior side lot line in said property. Side yards on the street side of corner lots shall be a minimum of forty (40) feet and the use and treatment of such street side yard areas shall be in accordance with the provisions of Section 3(C)(i) above.

iii) With the exception of any lot line abutting State Highway 60, no part or portion of any building shall be erected, constructed or extended nearer than twenty-five (25) feet to any rear lot line.

iv) No part or portion of any building shall be erected, constructed or extended nearer than thirty (30) feet from the lot line abutting State Highway 60, regardless of whether or not the area is a front, side or rear lot line.

v) The entire front, side or rear lot line setback area shall be sodded or seeded and suitably landscaped not later than twelve (12) months after occupancy with materials approved by the Plan Commission. The setback landscaping shall include all areas between side lot lines from the front property line to the building face, excepting only such areas as may be required for driveways or walks.

vi) To achieve a park like appearance, site coverage by principal and accessory

buildings, parking areas and driveways shall not exceed seventy percent (70%) of the lot area, and open space shall comprise a minimum of thirty percent (30%) of the lot area including proper setbacks and offsets. All Property landscaped space in the parking lot shall be considered part of the open space requirement.

vii) All trash must be kept in proper containers enclosed by a fence of solid decorative material that will provide a visual screen. Such fence shall be a minimum of six (6) feet in height, and a maximum of 10 feet in height, and shall be painted or otherwise maintained so as to present a good appearance and be in good repair at all times. Planting shall be provided at the base of all fencing where such base is visible from any dedicated or reserved public street. All fencing exceeding 6 feet in height shall require prior approval by the Plan Commission.

viii) All utility lines within said property shall, where feasible, be installed underground in easements provided, therefore.

D. SIGNAGE STANDARDS: Subject to a variance to these standards being granted by the Plan Commission, at its discretion, signs shall be in accord with the following standards:

i) One (1) wall sign may be allowed on the exterior wall of the principal building. The maximum area of such a wall sign shall be one hundred (100) square feet. In a multi-tenant building, each tenant may share a portion of the maximum total of one hundred (100) square feet of wall signage. On a corner lot, each exterior wall facing a public street may share a portion of the maximum total of the one hundred (100) square feet of wall signage.

ii) One (1) ground-mounted sign may be allowed per premises (not including a pole sign or pylon sign). The maximum area of such a ground-mounted sign shall be fifty (50) square feet per side or one hundred (100) square feet for both sides, and the maximum height shall be six (6) feet.

iii) The color and materials used in structural elements of signage (not including the message area) should be consistent with and related to the building façade materials on the site. The colors used in message areas for all signage on a site should be similar or complementary to create a unified and coordinated appearance.

iv) Internally lit signage must be submitted for approval by the plan commission upon submission of building plans.

v) On-premises directional signage may be allowed giving directions to areas such as employee or visitor parking, and shipping or loading zones. The maximum size of each such directional sign shall be two (2) square feet per side or four (4) square feet for both sides.

vi) Temporary construction signs and banners, real estate signs, and election campaign signs shall be permitted in accord with the provisions of the City of Cedarburg Sign Code.

vii) Specifically prohibited signs include billboards, roof signs, pole or pylon signs, and electronic, flashing, or moving signs of any kind.

viii) The City, through the Plan Commission, may grant additional and/or larger signage rights or standards in its discretion, including, without limitation, in the form of a variance to the foregoing signage standards.

E. PARKING STANDARDS: Parking shall be in accord with the following standards:

i) Amount of parking spaces provided shall be in accord with applicable requirements of the City of Cedarburg Zoning Ordinance.

ii) All parking lots, roadways, driveways and loading areas shall be surfaced with either asphalt or concrete within twelve (12) months after occupancy of the site.

iii) Parking lots shall incorporate the following landscaping design standards:

a. Perimeter and interior lot line greenbelt. A perimeter greenbelt of at least five (5) feet in width shall be installed along all interior lot lines. Perimeter edges should be landscaped with a combination of plant material and earth berming whenever possible. Perimeter greenbelt landscaping may be omitted alongside lot lines which have shared driveways with adjacent lots. The omitted area is limited to that portion from the street to the required minimum building setback line or as necessary to accommodate access cuts.

b. Additional interior greenspace. The interior of parking lots shall be provided with landscape areas consisting of at least five percent (5%) of the total surface area intermittently placed throughout the parking area.

c. Location. Interior landscape plantings may be located in protected areas such as along walkways, in center islands, in end islands, or between parking stalls. Perimeter edge screening and berming should be limited in height to allow a line of sight to the buildings and not obstruct sight distance at entry drives. Parking areas located beyond the twenty-five (25) foot setback or offset required from a dedicated or reserved public street shall be screened by berm and/or landscaping.

d. Landscape Materials. Landscape materials may include shrubs, hardy flowering trees and/or decorative evergreen and deciduous trees. New trees shall have a minimum caliper of two inch (2") to two and one-half inches (2 ½") for canopy trees. The area around trees and planting beds shall be planted with shrubs or ground cover and covered with mulch, bark or appropriate landscape stones.

F. LANDSCAPING STANDARDS: The following landscaping standards shall be adhered to for all developments within the business park:

i) All developed areas of any lot not used for building, parking, driveways, or storage shall be landscaped with a combination of grass, trees, shrubs, berms and planted ground covers. Areas of the site held or designated for expansion shall be planted with grass and maintained as specified herein. Parking lots shall be landscaped as indicated above in Section 3(E)(iii). In addition, landscape plantings shall be provided in accord with a landscape plan prepared by the owner and approved by the Plan Commission. Street trees will be provided by the City.

ii) A landscaping plan shall be prepared and submitted for approval by the Plan Commission at the plan review stage. All landscaping shall be installed prior to the occupancy of any building or the end of the first planting season, whichever occurs first. If any landscaping from the approved plan is not completed at the City's occupancy inspection, the owner shall submit a bond or letter of credit to the City in an amount equal to the estimated cost of the uncompleted landscaping as specified in the landscaping plan prior to the City issuing a certificate of occupancy to the owner. The bond will be refunded to the owner or letter of credit released, by the City Building Inspector, or his designee, upon satisfactory installation of all uncompleted landscaping elements as specified in the approved landscaping plan.

iii) It is the owner's responsibility to maintain all landscaping in an attractive and well-trimmed condition at all times. The owner shall also replace any dead or damaged trees or shrubs with a similar species. Any dead or damaged sod shall also be replaced.

iv) All unused Property area that is planned for future building expansion or other purposes shall be maintained and kept free of unsightly plant growth, stored material, rubbish, refuse, or debris.

SECTION 4 – GENERAL PROVISIONS

A. **TERM:** The restrictions and covenants herein contained shall be deemed to be running with the Property and shall be binding upon all persons, parties and entities having an interest in the Property affected thereby, or claiming such rights for a period of twenty-five (25) years from the date hereof, after which time this Declaration shall be automatically extended for a successive period of five (5) years unless an instrument signed by a majority of Lot Owners has been recorded changing or terminating these restrictions or covenants or reducing the term thereof. For the purpose of calculating votes and determining a majority of Lot Owners under this Declaration of Restrictions and Covenants, each Lot Owner (defined herein as an owner of a parcel of land within the Property, but specifically excluding any outlots) will be allocated votes on a per acre basis (e.g. an owner of 20 acres of the Property – excluding outlots - is entitled to 20 total votes).

B. **ENFORCEMENT OF DECLARATION:**

i). City, any of its individual Alderpersons, Officers, employees, agents or assigns, any owner of real property within the Property, any member of the public, or any

governmental entity of any kind shall have the right to enforce, by proceedings at law or in equity, all the terms, conditions, and provisions of this Declaration. Any owner of all or any portion of the Property violating any of the terms, conditions or provisions of this Declaration shall pay all costs, expenses and actual attorney's fees incurred by any prosecuting individual or governmental entity. Neither the City, its individual Alderpersons, Officers, employees, agents or assigns, any owner of real property within the Property, any member of the public, or any governmental entity of any kind shall be subject to any suit or claim for failure to take any action allowed or required herein.

ii). Each remedy set forth in this Declaration shall be in addition to all other rights and remedies available at law or in equity. All such remedies shall be cumulative and the election of one shall not constitute a waiver of any other. Any forbearance or failure to exercise any such right or remedy for any violation shall not be a waiver of such right or remedy under any circumstances.

C. INVALIDATION: Invalidation of any of the restrictions or covenants herein contained, or any part thereof, by any judgment or court order shall not affect any of the other provisions herein contained, which shall remain in full force and effect.

D. GOVERNING LAW: The Laws of the State of Wisconsin shall apply to and be interpreted as to any dispute arising under this document.

E. DIVIDING OR COMBINING LOTS PROHIBITED WITHOUT PLAN COMMISSION CONSENT: No portion of the Property shall be divided or combined during the term of these restrictions and covenants without the prior approval of the Plan Commission.

F. AMENDMENT: Any of the provisions of this Declaration may be annulled, waived, changed, modified or amended at any time by written document setting forth such annulment, waiver, change, modification or amendment, executed by the owners of at least seventy-five percent (75%) of the total number of lots comprising the Property. During that period of time that the City owns any undeveloped parcel of land within the Property (not including any outlot for stormwater control), no proposed amendment or termination shall be binding or effective without the prior approval of the Plan Commission and prior written consent of the City.

G. BINDING EFFECT: This Declaration and all amendments shall be executed as required by law so as to entitle it to be recorded and shall be effective upon recording in the office of the Register of Deeds for Ozaukee County, Wisconsin. This Declaration shall be binding upon and inure to the benefit of the City and its successors and assigns, and all persons, parties or entities who may hereafter become owner(s) of the Property or any portion thereof, and their legal representatives, heirs, successors and assigns.

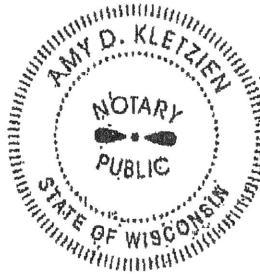
IN WITNESS WHEREOF, the City of Cedarburg has caused these presents to be signed this 13th date of October, 2020.

CITY OF CEDARBURG

by: *M. J. O'Keefe*
Michael J. O'Keefe, Mayor

Attest: *Tracie Sette*
Tracie Sette, City Clerk

Came before me this 13th day of October, 2020 the above-named Michael J. O'Keefe and Tracie Sette, Mayor, and City Clerk of the City of Cedarburg, and acknowledged the same.



Amy D. Kletzien
Notary Public, State of Wisconsin
My commission: 4/15/23

This instrument was drafted by:
Michael P. Herbrand
Houseman & Feind, LLP
1650 9th Avenue
P.O. Box 104
Grafton, WI 53024
(262) 377-0600
(262) 377-6080 (fax)
mike.herbrand@housemanlaw.com

**First Amendment to
City of Cedarburg Highway 60 Business Park
Declaration of Restrictions and Covenants**

This First Amendment (hereinafter “First Amendment”) to the Declaration of Restrictions and Covenants of the City of Cedarburg Highway 60 Business Park is made and shall be effective as of the date of the latest signature set forth below.

RECITALS

Whereas, in 2020, the City of Cedarburg (“City”), a Wisconsin Municipal Corporation, developed the Highway 60 Business Park (“Business Park”), for the purpose of fostering further industrial and commercial business development within the City, on the property described in detail on **Exhibit A**, attached hereto and incorporated herein by reference (hereinafter the land described on Exhibit A shall be referred to as the “Property”); and

Whereas, pursuant to the creation of the Business Park, the City recorded with the Ozaukee County Register of Deeds Office a Declaration of Restrictions and Covenants against the Property (“Declaration”) which Declaration was recorded on October 26, 2020, at 8:46 am, as Document No. 1104511; and

Whereas, by the terms of the Declaration at Section 4(F), the Declaration may be amended at any time by written document setting forth such amendment, executed by the owners of at least seventy-five percent of the total number of lots comprising the Property; and

Whereas, by the terms of the Declaration at Section 4(A), for the purpose of calculating votes and determining a majority of Lot Owners under the Declaration, each Lot Owner will be allocated votes on a per acre basis, excluding outlots; and

Whereas, the Lot Owners within the Business Park and their respective available votes as of March 1, 2025 are as follows:

- Wilo USA LLC** Parcel # 13-022-02-001.00 (25.9225 acres)
- City of Cedarburg** Parcel # 13-022-02-002.00 (5.9220 acres)
- City of Cedarburg** Parcel # 13-022-02-004.00 (3.0580 acres)
- City of Cedarburg** Parcel # 13-022-02-007.00 (3.45 acres)
- City of Cedarburg** Parcel # 13-022-03-004.00 (8.092 acres)
- PB&S Holdings LLC** – Parcel # 13-022-02-006.00 (4.0669 acres)
- Cornerstone CLC Properties LLC** – Parcel # 13-022-03-003.00 (2.4930 acres)

Whereas, at least seventy-five percent of the Lot Owners within the Business Park, calculated on a per acre basis pursuant to Section 4(A) of the Declaration, wish to amend the Declaration, as provided in Section 4(F) of the Declaration.

Now, therefore, the Declaration shall be amended as follows:

- A. The following is hereby added to the end of **Section 3.B(iii)**: The foregoing limitation shall not apply to a "mobile service support structure," as that term is defined by Wis. Stat. s. 66.0404(1)(n)(2023-24).

- B. All remaining terms and conditions of the Declaration of Restrictions and Covenants, not inconsistent with the terms and conditions set forth herein, shall remain in full force and effect.

In Witness Whereof, the undersigned have executed this First Amendment as of the date set forth below.

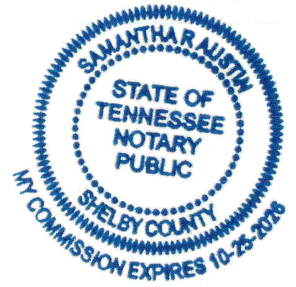
Owner: **WILO USA LLC**

[Signature]
By: Jeff Plaster, CEO/Managing Director

Date: 4/10/25

State of Wisconsin)
: SS
County of Ozaukee)

Personally came before me this 10th day of April, 2025, the above-named Jeff Plaster to me known to be the person who executed the foregoing instrument and acknowledged the same.



[Signature] @
Notary Public, Shelby County, TN
My Commission expires: 10/25/2026

Owner: CITY OF CEDARBURG

Patricia Thome

By: Patricia Thome, Mayor

Date: 4/15/2025

Tracie Sette

By: Tracie Sette, City Clerk

Date: 4/15/2025

State of Wisconsin)

: SS

County of Ozaukee)

Personally came before me this 15 day of April, 2025, the above-named Patricia Thome and Tracie Sette to me known to be the persons who executed the foregoing instrument and acknowledged the same.

JESSICA J. CAMPOLO
Notary Public
State of Wisconsin

Jessica J. Campolo

Notary Public, Ozaukee County, WI

My Commission expires: 12/29/2025

SARB PLAN REVIEW GUIDE

Sec. 13-1-120 Purpose of site plan and architectural review.

For the purpose of promoting compatible development, stability of property values, fostering the attractiveness and functional utility of the community as a place to live and work, preserving the character and quality of the built environment by maintaining the integrity of those areas which have a discernible character or are of a special historic significance, protecting certain public investments in the area, and raising the level of community expectations for the quality of its environment, this section requiring site plan and architectural review is intended.

Sec. 13-1-121 Site plan review principles and standards.

To implement the purposes set forth in section 13-1-120, the city plan commission shall following due consideration of the recommendation(s) of the Site and Architectural Design Review Board (SARB), review the site, existing and proposed structures, neighboring uses, utilization of landscaping and open space, parking areas, driveway locations, loading and unloading (in the case of commercial and industrial uses), highway access, traffic generation and circulation, drainage, sewerage and water systems, and the proposed operation for all new and modified commercial/office/industrial/institutional sites. The city plan commission will approve said site plans only after determining that:

- (a) The proposed use(s) conform(s) to the uses permitted in that zoning district.

- (b) The dimensional arrangement of buildings and structures conform to the required area, yard, setback, and height restrictions of this chapter.

- (c) The proposed use conforms to all use and design provisions and requirements (if any) as found in this chapter for the specified uses.

- (d) There is a proper relationship between the existing and proposed streets and highways within the vicinity of the project in order to assure the safety and convenience of pedestrian and vehicular traffic.

(e) The proposed on-site buildings, structures, and entryways are situated and designed to minimize adverse effects upon owners and occupants of adjacent and surrounding properties by providing for adequate design of ingress/egress, interior/exterior traffic flow, storm water drainage, erosion, grading, lighting, and parking, as specified by this chapter or any other codes or laws.

(f) Natural features of the landscape are retained where they can enhance the development on the site, or where they furnish a barrier or buffer between the project and adjoining properties used for dissimilar purposes or where they assist in preserving the general safety, health, welfare, and appearance of the neighborhood.

(g) Adverse effects of the proposed development and activities upon adjoining residents or owners are minimized by appropriate screening, fencing, or landscaping, as provided or required in this chapter.

(h) Land, buildings, and structures are readily accessible to emergency vehicles and the handicapped.

(i) The site plan is consistent with the intent and purpose of this chapter, which is to promote the public health, safety, and general welfare, to encourage the use of lands in accordance with their character and adaptability, to avoid the overcrowding of population, to lessen congestion on the public roads and streets, to reduce hazards of life and property, and to facilitate existing community development plans.

(j) The site plan is consistent with the public goals, objectives, principles, standards, policies, and urban design criteria set forth in the city's adopted community master plan or components thereof.

Sec. 13-1-122 Architectural review principles and standards.

Architectural review and standards are applicable to all new commercial, office, industrial, and institutional buildings and all new principal buildings proposed for construction on all new lots created by a subdivision plat, by Certified Survey Map and on all infill lots. Architectural style is not restricted; however, structures must be compatible with the surrounding area. To provide criteria for the implementation of the purposes set forth in section 13-1-120, the following architectural review principles, criteria, and procedures are established:

- (a) Building scale and mass.** The relative proportion of a building to its neighboring existing buildings, to pedestrians or observers, or to other existing buildings shall be maintained or enhanced when new buildings are built or when existing buildings are remodeled or altered. New buildings and additions to existing buildings shall harmonize and correspond to the existing character of the immediate neighborhood. In approving infill projects, the FAR standard for the zoning district in which the building is located shall not govern the building size, but rather, building size will be established, on a case-by-case basis, to reflect the existing character of the neighborhood.
- (b) Building rooflines and roof shapes.** The visual continuity of roofs and their contributing elements (parapet walls, coping, cornices, etc.) shall be maintained in building development or redevelopment.
- (c) Materials.** Material selection for architectural design shall be based upon the prevailing material already used on existing buildings in the area. No building shall be permitted where any exposed facade is constructed or faced with a finished material which is aesthetically incompatible with other building facades in the area and which presents an unattractive appearance to the public and surrounding properties.
- (d) Colors.** Since the selection of building colors has a significant aesthetic and visual impact upon the public and neighboring properties, color shall be selected in general harmony with the existing neighborhood buildings.
- (e) Building location.** No building shall be permitted to be sited in a manner which would-unnecessarily destroy or substantially damage the beauty of the area, particularly insofar as it would adversely affect values incident to ownership of land in the area or which would unnecessarily have an adverse effect on the beauty and general enjoyment of existing structures on adjoining properties.
- (f) Historic structures.** Any construction, rehabilitation and/or restoration of any landmark or historic building or structure within the Washington Avenue Historic District and proposed for any locally designated historic building shall conform to all the requirements of this chapter and with the terms and conditions outlined by the landmarks commission and included in the city's Building/Historic Code.

(g) Infill lot. An infill lot is a single vacant lot located in a predominately built-up area, which is bounded on two or more sides by existing development. In addition any lot which contains an existing building, which will be removed and replaced with a new building, shall also be considered an infill lot. The infill status of a lot shall continue until building plans have been approved by the SARB, a building permit acquired and the building constructed in accordance with the approved plans and an occupancy permit issued. Once the occupancy permit is issued, the status of the lot shall change to non-infill and any additions or modifications thereafter shall be processed under normal procedures in accordance with article F.

(2) The city plan commission shall, following due consideration of the recommendation(s) of the SARB, review the proposed architectural style/design, materials, and colors, in the context of the surrounding area and the purpose set forth in Section 13-1-120 above, for all new or substantially modified buildings located on commercial/office/industrial/institutional sites. The city plan commission will approve said site plans only after determining that these plans comply with the architectural review principles and criteria set forth in Section 13-1-122 (a)-(g) above.

PLANNER REPORT

To: City of Cedarburg Site and
Architectural Review Board

By: Mary Censky
Date Prepared: October 21, 2025

General Information:

Agenda Item: 5.B.

Applicant/Property Owner:

The Glen at Quarry Park LLC, in c/o
John Wahlen and Joe Orendorf of
Cornerstone Development

Request:

Review, discussion and favorable
recommendation to Plan
Commission.

Current Zoning:

Part A-1 Agricultural (Temp), and
part Rs-3 Single-Family Residential

Requested Zoning:

Rs-3 Single-Family Residential
District w/ PUD Planned Unit
Development Overlay District

Current Master Plan Classification:

Part Low-Medium Density
Residential, and part Medium
Density Residential

Surrounding Zoning/Land Use:

North: Town of Cedarburg
South: Rs-3 Single-Family
Residential District
East: Rs-3 Single-Family
Residential District
West: Rd-1 Two-Family
Residential w/ PUD Planned Unit
Development Overlay

Lot Size:

11.5 acres

Location:

Directly west of the properties
located at 1067 and 1085
Washington Avenue

Discussion:

The applicant proposes a twenty-four lot/home single-family-detached residential Planned Unit Development for this 11.5 acre site. The following comments have been received by various departments in their review of the plan:

- There is electric on the adjacent property to the south. This can be extended to serve the new subdivision, from the southwest corner. The takeoff point is within 50' of the lot line. Utility easements will be required for the electric facilities.

Thank you. Jeff Thierfelder Utility Engineer Cedarburg Light & Water Utility

- In reviewing the plans for this, we have concern over the dead-end termination of "Road A." -
- By our calculation, the dead-end is 800+ feet from Holly Lane/Court B, which is a significant distance for our apparatus to back down to exit. I understand that there is intent to expand to the North of this eventually, but with no concrete timeline or approvals for this, we have concern with it being left a dead-end for an unknown and possibly extensive period of time. Because of this, we would like to see the addition of some way for our vehicles to turn around at the end of it, which is typically a cul-de-sac or hammerhead type turnaround.
- Court B appears to be of adequate width for fire apparatus, but just to make sure, it should have a 45' radius from the center to the front face of the curb. The drawings show 60' to the far side of the sidewalk.

Thank you, Blake R. Karnitz, FO, FM Captain of CRR Cedarburg Fire Department

- My comments for the Glen at Quarry Park Plans are as follows:
 - When this land is developed, W60 N1067 Sheboygan Road and W60 N1085 Sheboygan Road need to connect to City sewer and water and pay their impact fees. Storm Easements should be 20' wide
 - Provide separate storm laterals for each lot
 - Use Manholes for mainline storm sewer not just catch basins with main under the curb
 - Provide drainage easement where wet pond outlet and pond overflow exits the site to Sheboygan Road. May also need to reshape this ditch to make it more defined. Current outlet of the current ditch at Sheboygan Road is 8", is that sufficient?
 - Roadway vertical curve K values shall be Sag $K_{min}=26$, Crest $K_{min}=12$
 - Move Hammerhead Tee as close as possible to lot line.
 - Make Hammerhead Tee 33' wide per city code.
 - Proposed roadway terminates 2' above existing grade at north property line. Will this have negative impacts on future development of the land to the north?
 - Initial review of the Storm Water Management Plan looks to be compliant. A more thorough review will be needed at later date.
 - These comments are made after reviewing the initial draft of the plans. I reserve the right to make further comments as more detailed plans are submitted.

Let me know with any questions. Thanks, Mike Wieser, P.E. Director of Engineering & Public Works

Rs-3 Single-Family Residential Zoning District does comport with Low-Medium Density and Medium Density Residential Land Use Classifications.

In review of this project against the Rs-3 standards:

- Maximum Density permitted is 3.6 units/net buildable acre (i.e., 41 units). Twenty-four units are proposed (i.e., 2.0 units/net buildable acre).
- Minimum required lot size in Rs-3 is 12,000 square feet. Proposed lot sizes are
 - Largest 20,652 sq. ft.
 - Smallest 10,568 sq. ft.
 - Average 13,153 sq. ft.
- Minimum required lot width in Rs-3 is 90 feet. Proposed lot widths are
 - Widest 120-feet
 - Narrowest 80-feet
 - Average 86.37 feet

To allow exceptions as noted above would require that this site be rezoned to Rs-3 with a PUD Planned Unit Development Overlay.

Recommendation:

At this time, the Planner recommends the SARB recommend denial of the plat as presented for its inconsistency with the existing zoning of the property.

The Planner recommends that the SARB use this opportunity to provide guidance and feedback to the applicant as to the concepts presented before they would return with a revised plan and/or a request for suitable rezoning.



LAND DEVELOPMENT APPLICATION

PROPERTY LOCATION/ADDRESS: Lot 1 Holly Lane & W60 N1067 Sheboygan Road, Cedarburg, WI 53012

APPLICANT/BUSINESSNAME: The Glen at Quarry Park LLC

APPLICANT/BUSINESS ADDRESS: John Wahlen, Cornerstone, N63W23849 Main St., Sussex, WI 53089

STATUS OF APPLICANT: OWNER AGENT BUYER OTHER _____

PHONE: 262-932-4188 EMAIL: jw@cornerstonedevelopment.com

PROPERTY OWNER (IF DIFFERENT): same as above

PROPERTY OWNER MAILING ADDRESS: _____

PROPERTY OWNER PHONE: _____ PROPERTY OWNER EMAIL: _____

REQUEST FOR (CHECK ALL THAT APPLY):

- | | |
|--|--|
| <input type="checkbox"/> CONCEPT REVIEW | <input type="checkbox"/> CONDITIONAL USE ZONING |
| <input type="checkbox"/> SITE/ARCHITECTURAL PLAN APPROVAL | <input type="checkbox"/> ANNEXATION REQUEST |
| <input checked="" type="checkbox"/> SUBDIVISION PLAT OR CSM REVIEW | <input type="checkbox"/> VARIANCE/BOARD OF APPEALS |
| <input type="checkbox"/> ZONING DISTRICT CHANGE | <input type="checkbox"/> OTHER _____ |

DESCRIBE REQUEST: Preliminary plat review for this new 24-lot subdivision

PLEASE SUBMIT: **FIVE (5) COPIES OF WRITTEN DESCRIPTION OF PROPOSAL OR REQUEST FOR CITY STAFF REVIEW -PLUS ELECTRONIC FIVE (5) FULL SETS OF SUPPORTING DRAWINGS, SKETCHES OR SURVEY MAPS FOR CITY STAFF REVIEW PLUS ELECTRONIC TEN (10) SETS OF PLANS (11" x 17" MAX) FOR PLAN COMMISSION REVIEW -PLUS ELECTRONIC**

ELECTRONIC COPIES MAY BE SENT TO THANAMAN@CITYOFCEDARBURG.WI.GOV

The undersigned certifies that he/she has familiarized themselves with the State and Local codes and procedures pertaining to this application. The undersigned further hereby certifies that the information contained in this application is true and correct. This application shall be signed by the property owner(s).

PROPERTY OWNER(S) SIGNATURE:  DATE: 9/10/25

FOR CITY STAFF USE ONLY

TOTAL FEE: \$ 295.00 (SEE FEE SCHEDULE ON REVERSE PAGE) DATE FEE PAID: 9-15-2025

APPLICATION AND FEE RECEIVED BY: Theresa Hanaman PLAN COMMISSION MEETING DATE: _____

ATTACHMENTS (CHECK IF RECEIVED):

- FIVE DESCRIPTIONS FIVE FULL-SIZE SETS THIRTEEN PLAN SETS

PROPERTY TAX KEY NO/PLAN COMMISSION FILE NO: 13-022-13-007.00 $\frac{1}{2}$ 13:022-13-003.00

ZONING: A-1 Temp ALDERMANIC DISTRICT: _____ PREVIOUS MEETING: _____

Proposed Glen at Quarry Park GIS Aerial Map View

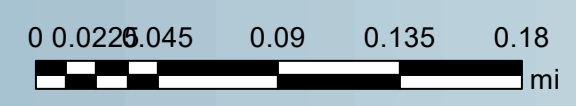


Legend					
	Tax Parcel		Historical Parcel Lines		Cemetery Plat
	Gap		Assessors Plat		Condominium Plat
	Overlap		CSM		Subdivision Plat
	Plat of Survey		County Road		Town/Public Road
	US Highway		Ramp		Railroad Centerline
	State Highway		Private Road		

Product of the LAND INFORMATION OFFICE

9/15/2025, 11:08:06 AM

9/15/2025, 11:08:06 AM



DISCLAIMER: This map is not a substitute for an actual field survey or onsite investigation. The accuracy of this map is limited to the quality of the records from which it was assembled.

OZAUKEE COUNTY

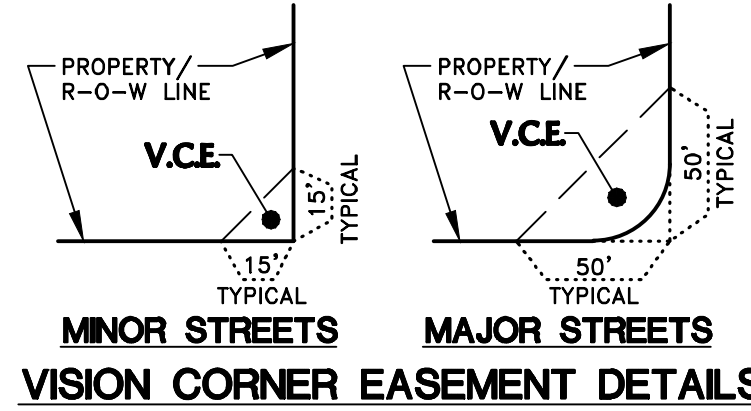
PRELIMINARY PLAT OF THE GLEN AT QUARRY PARK

BEING A REDIVISION OF LOT 1 AND A PART OF LOT 2 OF CERTIFIED SURVEY MAP NO. 3797, LOCATED IN A PART OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 22, TOWN 10 NORTH, RANGE 21 EAST, IN THE CITY OF CEDARBURG, OZAUKEE COUNTY, WISCONSIN.

LEGEND	
	INDICATES SOIL BORING LOCATION
	INDICATES PROPOSED FIRE HYDRANT
	INDICATES EXISTING WATERMAIN
	INDICATES PROPOSED WATERMAIN
	INDICATES EXISTING SANITARY SEWER
	INDICATES PROPOSED SANITARY SEWER
	INDICATES EXISTING STORM SEWER
	INDICATES PROPOSED STORM SEWER
	INDICATES EXISTING CONTOUR

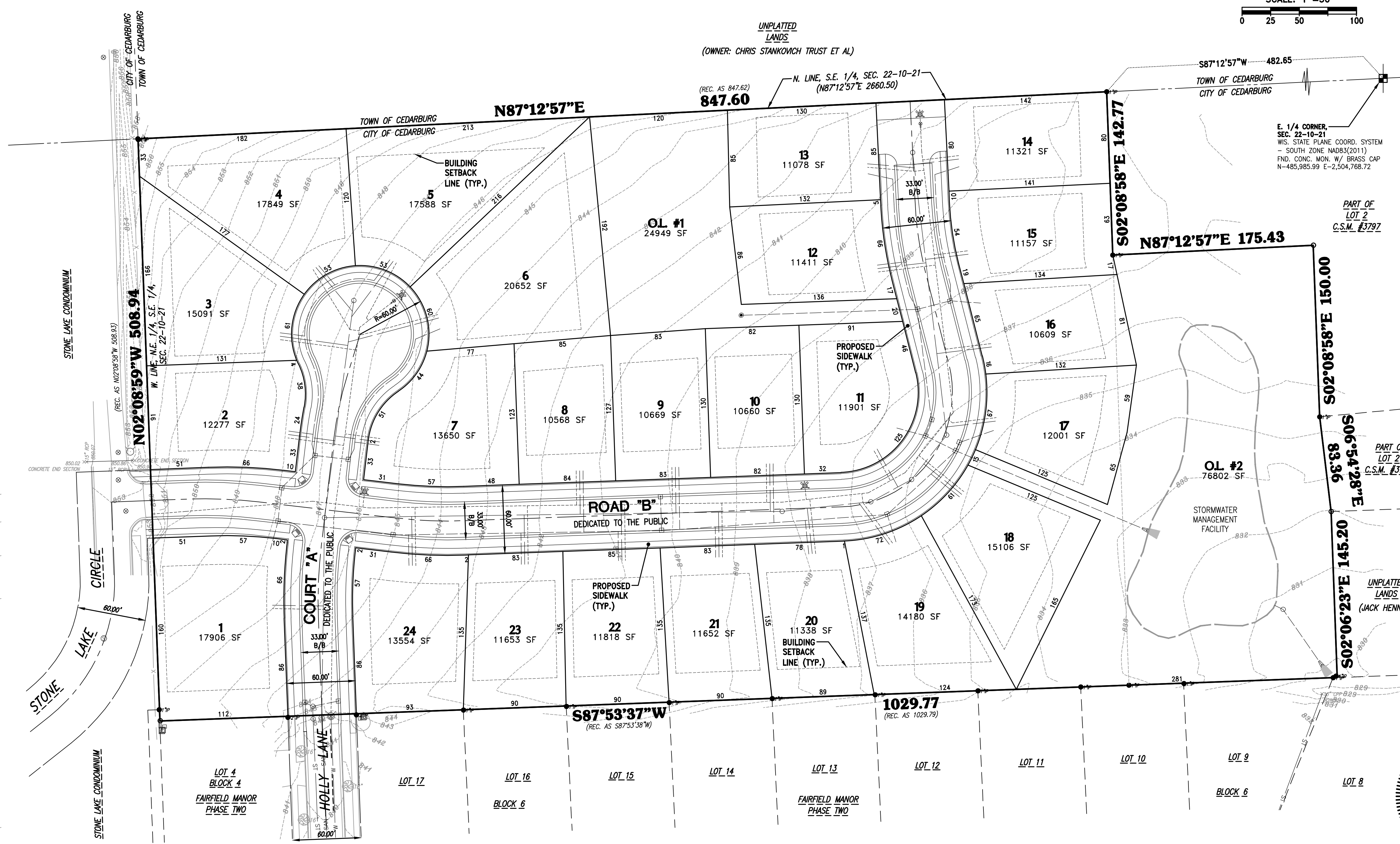
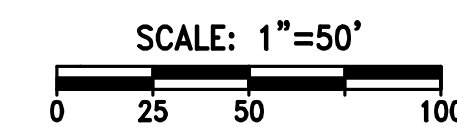
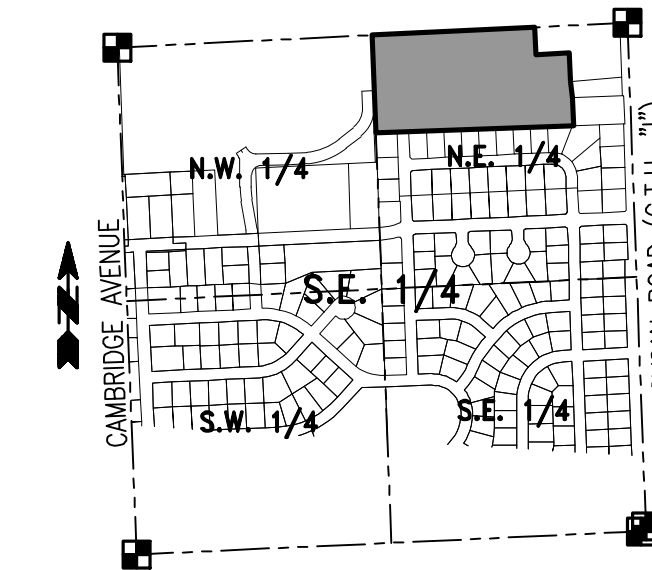
VISION CORNER EASEMENT: (V.C.E.)

Corner lots as shown on this plat are subject to a Vision Corner Easement in that no structure or improvements of any kind is permitted within the Vision Corner. No vegetation (except trees) shall exceed a maximum height of 30 inches, as measured from the road edge to the top of the vegetation, in the location designated as the vision corner. Trees in the vision corner shall be trimmed to a height of 60 inches, as measured from the road edge to the bottom branches, to allow for a clear view of oncoming traffic.



Proposed Lot Characteristics

- Lot Size: 10,000 sf (minimum)
- Lot Width: 80' (minimum)
- Setbacks:
 - Front: 25'
 - Side: 7.5'
 - Rear: 25'
- Front Side Corner = 15'



DEVELOPMENT SUMMARY:

1. Tax Key No. 13-022-13-003.00 & 13-022-13-009.00.
2. Subdivision contains approximately 11.5485 Acres.
3. Subdivision contains 24 Lots and 2 Outlots.
4. All lots to be served by Sanitary Sewer and Watermain.
5. Public Roads to have Concrete Curb and Gutter, Asphalt Pavement with Storm Sewer.
6. Utility easements shall be provided where necessary on the residential lots to accommodate underground telephone, electric and gas services that cannot be placed in the right-of-way.
7. Outlot 1 contains Open Space.
8. The Owners of all Lots within this Subdivision shall each own an equal undivided fractional interest in Outlots 1 & 2 of this Subdivision. Ozaukee County shall not be liable for fees or special charges in the event they become the owner of any Lot or Outlot in the Subdivision by reason of tax delinquency.
9. Stormwater Management Facilities are located on Outlot 2 of this Subdivision. The Owners of the residential Lots within this Subdivision shall each be liable for an equal undivided fractional share of the cost to repair, maintain or restore said Stormwater Management Facilities within this Subdivision. Said repairs, maintenance and restoration shall be performed by the Owners of all Lots within this Subdivision.

HORIZONTAL DATUM PLANE:

All bearings are referenced to Grid North of the Wisconsin State Plane Coordinate System, South Zone (NAD-1983/2011), in which the East line of the S.E. 1/4 of Section 22, Town 10 North, Range 21 East, bears North 02°06'23" West.

VERTICAL DATUM PLANE:

All elevations are referenced to the North American Vertical Datum of 1988 (12) via a ground survey by Trio Engineering, LLC.

AGENCIES HAVING THE AUTHORITY TO OBJECT:

- State of Wisconsin, Department of Administration

APPROVING AUTHORITY:

- City of Cedarburg

ENGINEER / SURVEYOR:

TRIO ENGINEERING, LLC
4100 N. CALHOUN ROAD, STE 300
BROOKFIELD, WISCONSIN 53005
PHONE: (262) 790-1480

DEVELOPER:

CORNERSTONE DEVELOPMENT
N63 W23849 MAIN ST.
SUSSEX, WI 53089
PHONE: (262) 932-4188

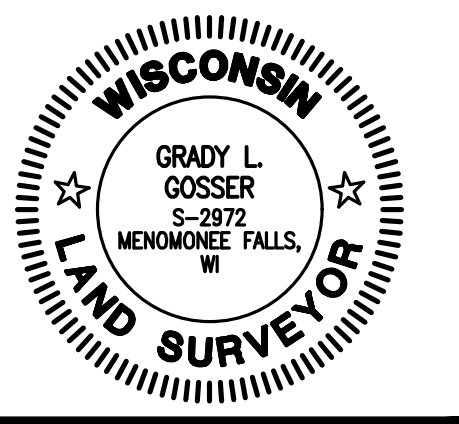
SURVEYOR'S CERTIFICATE:

I hereby certify that this preliminary plat is a correct representative of all existing land divisions and features and that I have fully complied with the provisions of the subdivision and platting code of the City of Cedarburg.

Date: 09-09-25



Grady L. Gosser, R.L.S.
Professional Land Surveyor S-2972
TRIO ENGINEERING, LLC
4100 N. Calhoun Road, Suite 300
Brookfield, WI 53005
Phone: (262)790-1480 Fax: (262)790-1481



4100 N. CALHOUN RD, SUITE 300
BROOKFIELD, WI 53005
PHONE: (262) 790-1480
FAX: (262) 790-1481
EMAIL: ggosser@trioeng.com

PROJECT:
THE GLEN AT QUARRY PARK
CITY OF CEDARBURG, WISCONSIN

BY: CORNERSTONE DEVELOPMENT
N63 W23849 MAIN ST.
SUSSEX, WI 53089

REVISION HISTORY	
DATE	DESCRIPTION

DATE:
SEPTEMBER 9, 2025

JOB NUMBER:
25-024-796-01

DESCRIPTION:
PRELIMINARY PLAT

SHEET

1 OF 1

GENERAL NOTES

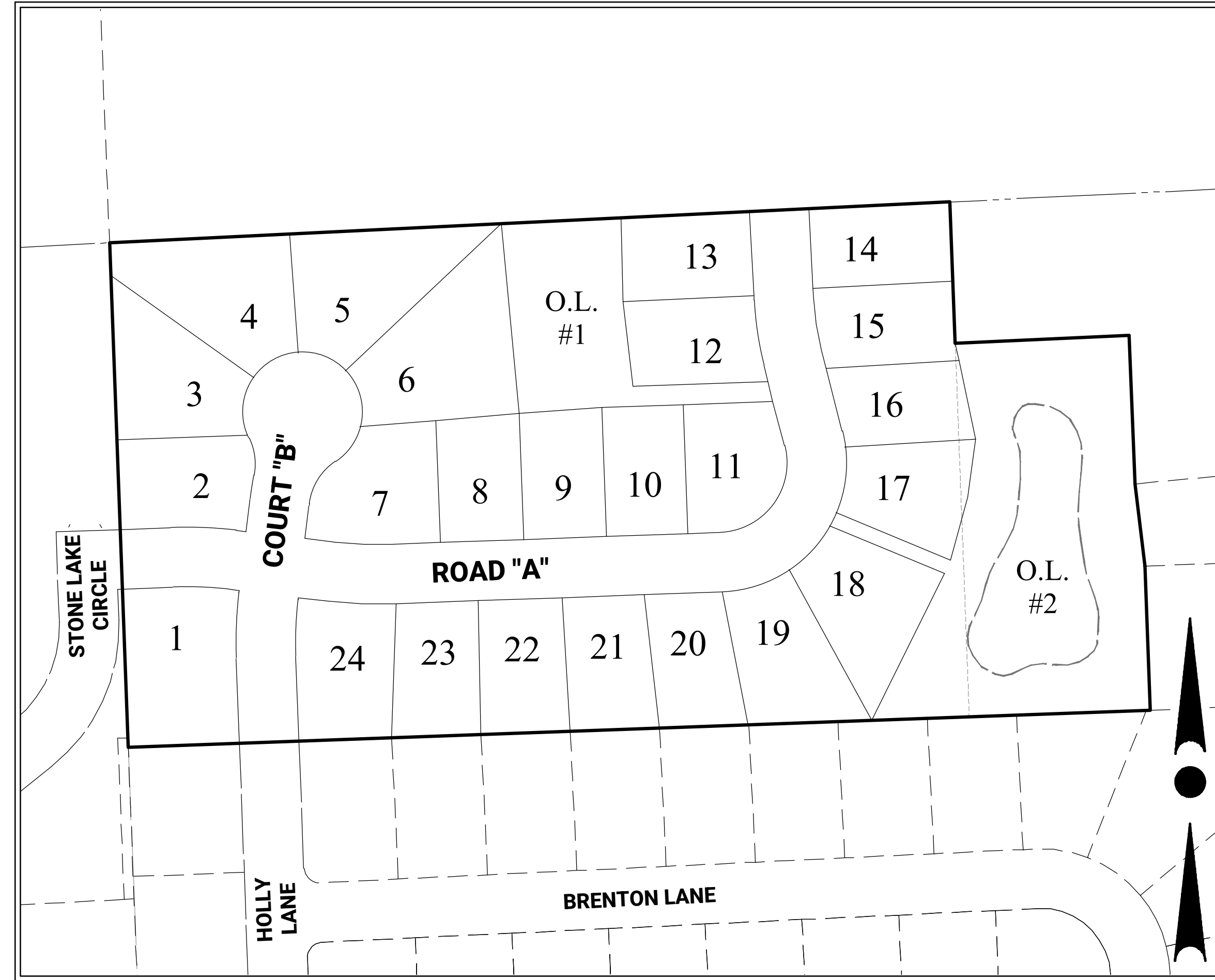
- THE LATEST EDITIONS OF THE FOLLOWING DOCUMENTS AND ANY SUPPLEMENTS THERETO, SHALL GOVERN ALL CONSTRUCTION ITEMS ON THIS PLAN UNLESS OTHERWISE NOTED.
 -STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, 6TH EDITION (SSSWCW)
 -THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION
 -WDR STORMWATER RUNOFF TECHNICAL STANDARDS.
 -WISDOT PAL APPROVED EROSION CONTROL MEASURES LIST, LATEST EDITION.
 -CITY OF CEDARBURG TECHNICAL STANDARDS.
- THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO MINIMIZE EROSION, WATER POLLUTION AND SILTATION CAUSED BY CONSTRUCTION OF THIS PROJECT. EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS.
- EROSION CONTROL PLAN: PRIOR TO BEGINNING WORK, AN APPROVED EROSION CONTROL PLAN WILL BE PROVIDED BY THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR PROPERLY IMPLEMENTING THE APPROVED PLAN.
- THE CONTRACTOR SHALL FIELD VERIFY THE ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL ALSO FIELD VERIFY LOCATION, ELEVATION AND SIZE OF EXISTING UTILITIES, AND VERIFY FLOOR, CURB OR PAVEMENT ELEVATIONS WHERE MATCHING INTO EXISTING WORK. THE CONTRACTOR SHALL FIELD VERIFY HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATES TO KNOWN PROPERTY LINES. NOTIFY ENGINEER OF DISCREPANCIES IN EITHER VERTICAL OR HORIZONTAL CONTROL PRIOR TO PROCEEDING WITH WORK.
- THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION (CALL DIGGERS HOTLINE AT 800-242-8511). COST OF REPLACEMENT OR REPAIR OF EXISTING UTILITIES DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- EXISTING UTILITY INFORMATION IS SHOWN FROM SURVEY WORK, FIELD OBSERVATIONS, AVAILABLE PUBLIC RECORDS, AND AS-BUILT DRAWINGS. EXACT LOCATIONS AND ELEVATIONS OF UTILITIES SHALL BE DETERMINED PRIOR TO INSTALLING NEW WORK. EXCAVATE TEST PITS AS REQUIRED.
- PROPERTY CORNERS SHALL BE CAREFULLY PROTECTED UNTIL THEY HAVE BEEN REFERENCED BY A PROFESSIONAL LAND SURVEYOR. PROPERTY MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- ENGINEER SHALL BE NOTIFIED 48 HOURS IN ADVANCE OF PERFORMING ANY CONSTRUCTION.
- ALL TRENCHING SHALL BE PERFORMED ACCORDING TO OSHA STANDARDS.
- ALL ITEMS SHALL INCLUDE ALL THE NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.
- THE CONTRACTOR SHALL CLEAN ALL ADJACENT STREETS OF ANY SEDIMENT OR DEBRIS BY SWEEPING BEFORE THE END OF THE WORKING DAY OR AS REQUIRED BY THE CITY OF CEDARBURG.
- THE CONTRACTOR MUST AND IS REQUIRED TO NOTIFY THE CITY OF CEDARBURG SEWER AND WATER UTILITY A MINIMUM OF 48 HOURS IN ADVANCE OF WATER MAIN FILLING, WATER MAIN FLUSHING, WATER MAIN TESTING AND WATER MAIN CONNECTIONS. NO CONNECTION SHALL BE MADE TO THE EXISTING WATER SYSTEM UNTIL SAFE SAMPLES FROM THE NEW MAIN HAVE BEEN OBTAINED.

THE GLEN AT QUARRY PARK

SINGLE FAMILY RESIDENTIAL SUBDIVISION

PRELIMINARY SITE DEVELOPMENT PLANS

CITY OF CEDARBURG, WISCONSIN



SITE PLAN
SCALE: 1" = 100'

ENGINEER:
 TRIO ENGINEERING, LLC
 4100 N CALHOUN ROAD, SUITE 300
 BROOKFIELD, WI 53005
 CONTACT: MR. JOSHUA PUDELKO, P.E., M.S.
 PHONE: 262-790-1480
 FAX: 262-790-1481
 EMAIL: jpudelko@trioeng.com



LOCATION MAP
NOT TO SCALE

SHEET INDEX

CIVIL	
T1	- COVER SHEET
C0.10	- EXISTING SITE PLAN
C0.20	- PROPOSED SITE PLAN
C1.00	- GRADING PLAN
C2.00	- OVERALL ROADWAY & UTILITY PLAN
C2.01-C2.02	- ROADWAY & SANITARY SEWER PLAN & PROFILE
C3.00-C3.01	- CONSTRUCTION NOTES & DETAILS



PROJECT:
THE GLEN AT QUARRY PARK
 CITY OF CEDARBURG, WISCONSIN
 BY: CORNERSTONE DEVELOPMENT
 N63 W23849 MAIN ST.
 SUSSEX, WI 53089

REVISION HISTORY	
DATE	DESCRIPTION
09/09/2025	PRELIMINARY SUBMITTAL

DATE:
 SEPTEMBER 9, 2025

JOB NUMBER:
 25-24-796

DESCRIPTION:
 COVER SHEET


SHEET
T1

X:\2025\25-24-796 THE GLEN AT QUARRY PARK - CEDARBURG\DRAWINGS\PRELIMINARY\THE GLEN AT QUARRY PARK_COVER&DETAILS_22X34.DWG

X:\2025\25-24-796 THE GLEN AT QUARRY PARK - CEDARBURG\DRAWINGS\PRELIMINARY\THE GLEN AT QUARRY PARK_EX SITE_22X34.DWG



SCALE: 1" = 50' (22"x34")
SCALE: 1" = 100' (11"x17")

 CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE. CALL DIGGERS HOTLINE 1-800-242-8511

NOTE: EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.

- Proposed Lot Characteristics**
- Lot Size: 10,000 sf (minimum)
 - Lot Width: 80' (minimum)
 - Setbacks:
 - Front: 25'
 - Side: 7.5'
 - Rear: 25'
 - Front Side Corner = 15'



19035 W CAPITOL DR., SUITE 200
BROOKFIELD, WI 53045
PHONE: (262) 790-1480
FAX: (262) 790-1481
EMAIL: jjudelko@tribeng.com

PROJECT:
THE GLEN AT QUARRY PARK
CITY OF CEDARBURG, WISCONSIN
BY: CORNERSTONE DEVELOPMENT
N63 W23849 MAIN ST.
SUSSEX, WI 53089

REVISION HISTORY	
DATE	DESCRIPTION
09/09/2025	PRELIMINARY SUBMITTAL

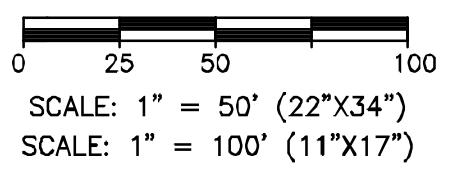
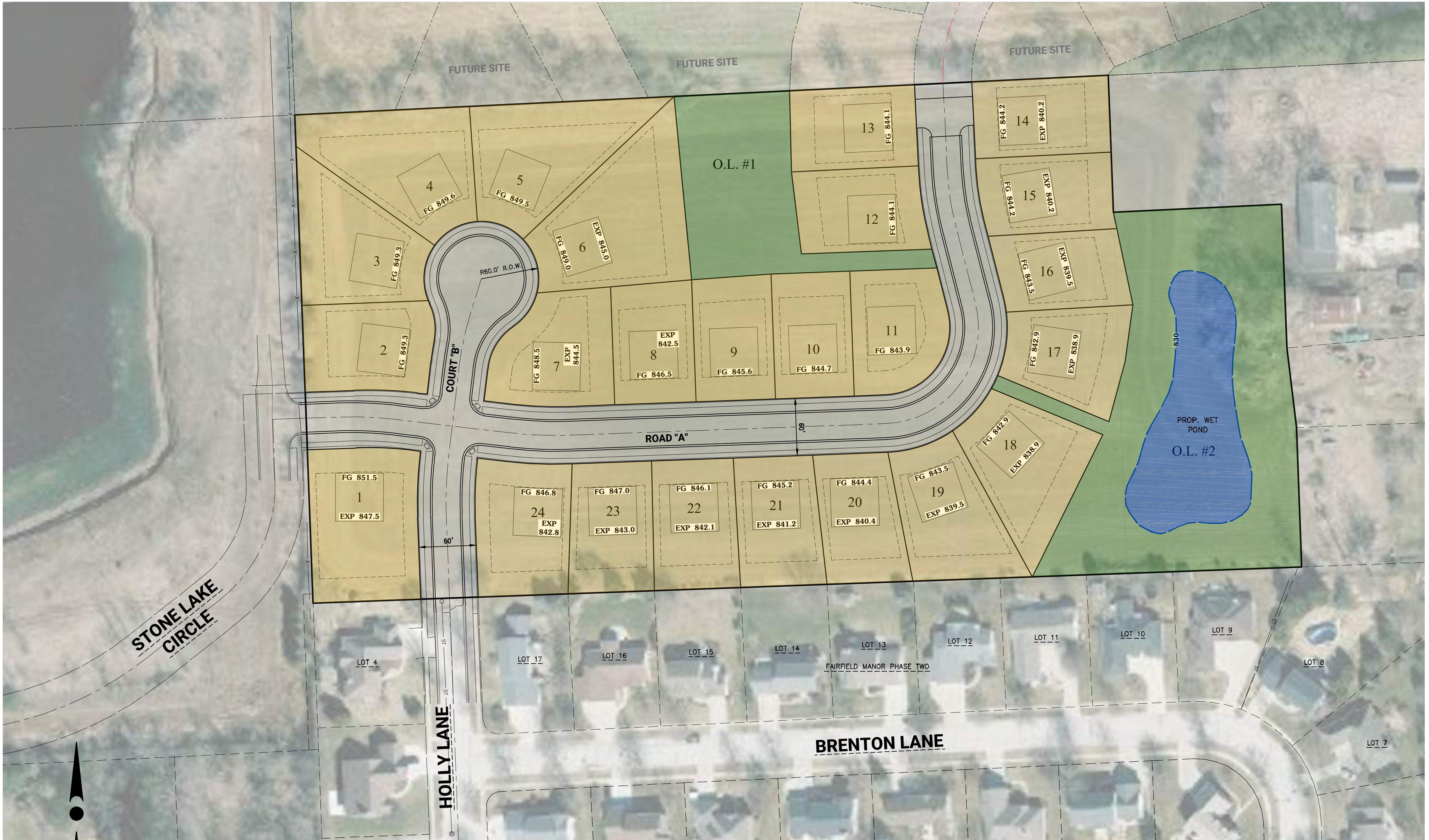
DATE:
SEPTEMBER 9, 2025

JOB NUMBER:
25-24-796

DESCRIPTION:
EXISTING SITE PLAN

SHEET
C0.1

X:\2025\25-24-796 THE GLEN AT QUARRY PARK - CEDARBURG\DRAWINGS\PRELIMINARY\THE GLEN AT QUARRY PARK_SITE_22X34.DWG



SCALE: 1" = 50' (22"x34")
SCALE: 1" = 100' (11"x17")

NOTE:
EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.
CALL DIGGERS HOTLINE 1-800-242-8511

Road Length
- South Area = 1,353 lf
(56.4 lf/lot)

Proposed Lot Characteristics
- Lot Size: 10,000 sf (minimum)
- Lot Width: 80' (minimum)
- Setbacks:
- Front: 25'
- Side: 7.5'
- Rear: 25'
- Front Side Corner = 15'

Site Data
- DEVELOPMENT AREA (per GIS)*
- Michael Halloran 10.0 ac
- West Portion of Jack Henning 1.53 ac
- SUBTOTAL (South Area) 11.53 ac

Development Summary
- SOUTH AREA 11.53 ac
- Single Family Lots = 24 lots
- Density = 2.08 un/ac



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PROJECT:
THE GLEN AT QUARRY PARK
CITY OF CEDARBURG, WISCONSIN
BY: CORNERSTONE DEVELOPMENT
N63 W23849 MAIN ST.
SUSSEX, WI 53089

REVISION HISTORY	
DATE	DESCRIPTION
09/09/2025	PRELIMINARY SUBMITTAL

DATE:
SEPTEMBER 9, 2025

JOB NUMBER:
25-24-796

DESCRIPTION:
PROPOSED SITE PLAN

SHEET
C0.2



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BROOKFIELD, WI 53045
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EMAIL: jjudelko@trioeng.com

PROJECT:
THE GLEN AT QUARRY PARK
CITY OF CEDARBURG, WISCONSIN
BY: CORNERSTONE DEVELOPMENT
N63 W23849 MAIN ST.
SUSSEX, WI 53089

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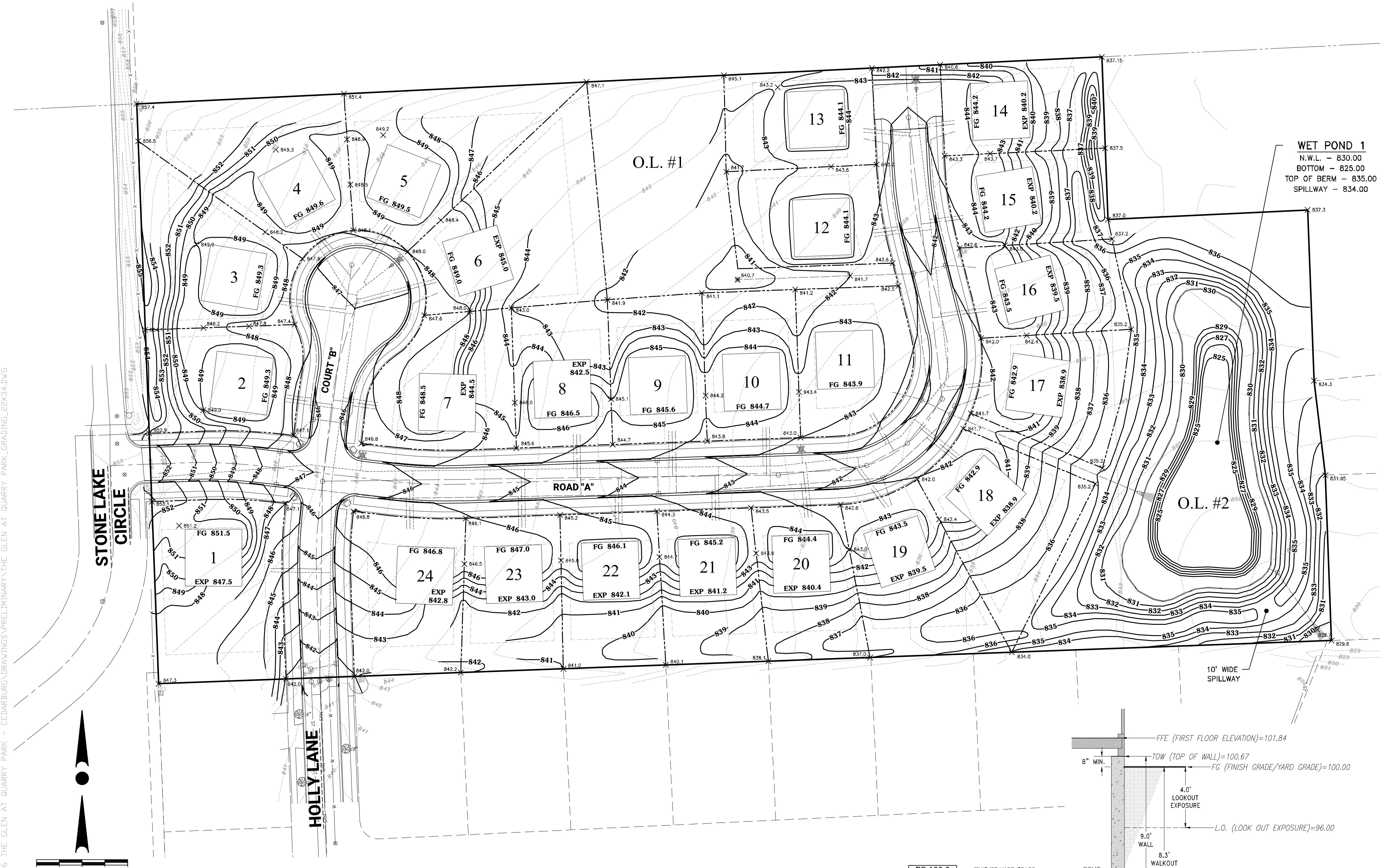
DATE:
SEPTEMBER 9, 2025

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25-24-796

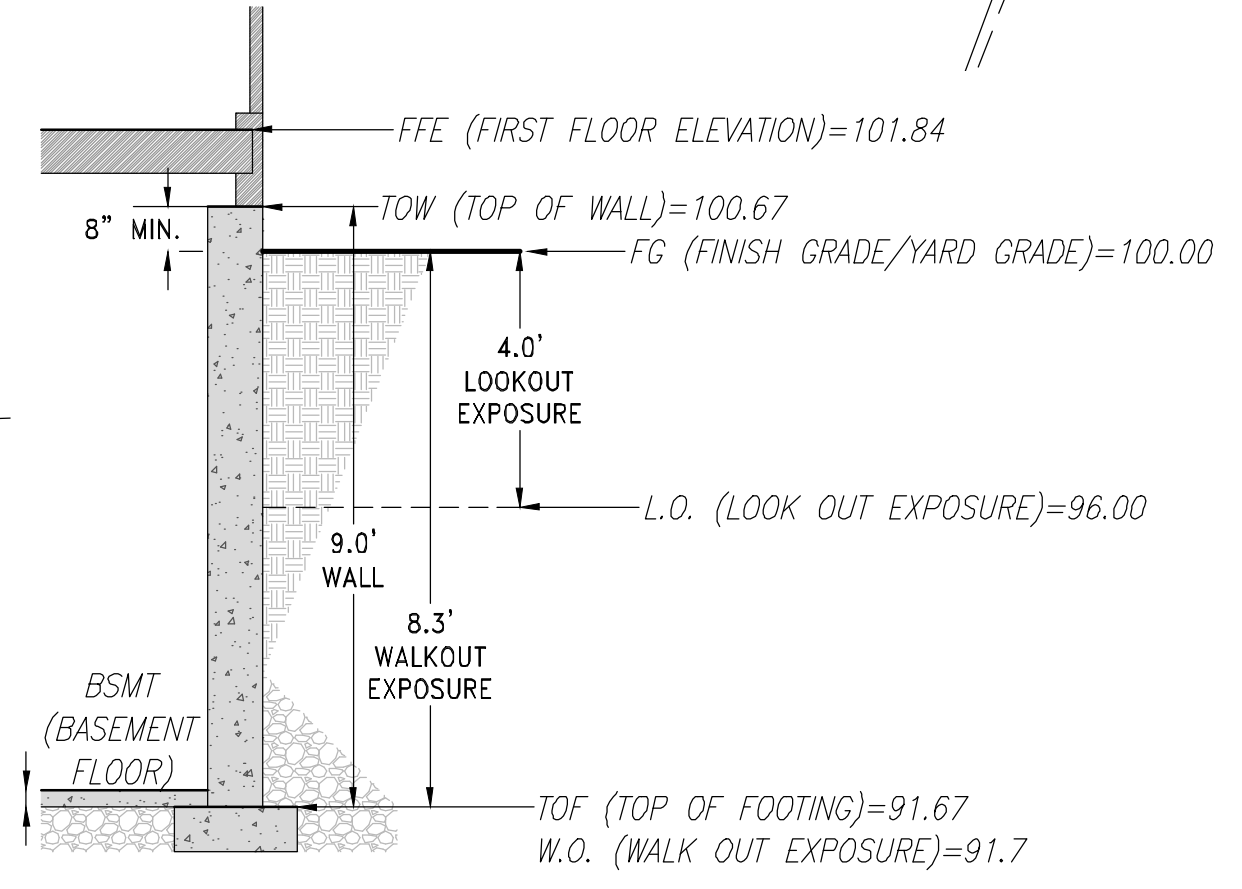
DESCRIPTION:
GRADING &
DRAINAGE PLAN

SHEET

C1.00



WET POND 1
N.W.L. - 830.00
BOTTOM - 825.00
TOP OF BERM - 835.00
SPILLWAY - 834.00



TYPICAL HOME ELEVATIONS
NOT TO SCALE

- FG 100.0 - FINISHED YARD GRADE
- TOW 100.7 - TOP OF FOUNDATION ELEV.
- EXP 96.0 - EXPOSURE ELEV.
- BSMT 92.7 - BASEMENT ELEV.

TYPICAL HOME ELEVATION DETAIL
NO SCALE

LEGEND:

- 795 - EXISTING CONTOUR
- 796 - PROPOSED CONTOUR
- FLOW ARROW
- X 779.40 - PROPOSED SPOT ELEVATION
- FG XXX.X - FINISH YARD GRADE
- EXP XXX.X - EXPOSURE YARD GRADE

X:\2025\25-24-796 THE GLEN AT QUARRY PARK - CEDARBURG\DRAWINGS\PRELIMINARY\THE GLEN AT QUARRY PARK_GRADING_2524-796.DWG

SCALE: 1" = 40' (22"X34")
SCALE: 1" = 80' (11"X17")

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PROJECT:
THE GLEN AT QUARRY PARK
CITY OF CEDARBURG, WISCONSIN
BY: CORNERSTONE DEVELOPMENT
N63 W23849 MAIN ST.
SUSSEX, WI 53089

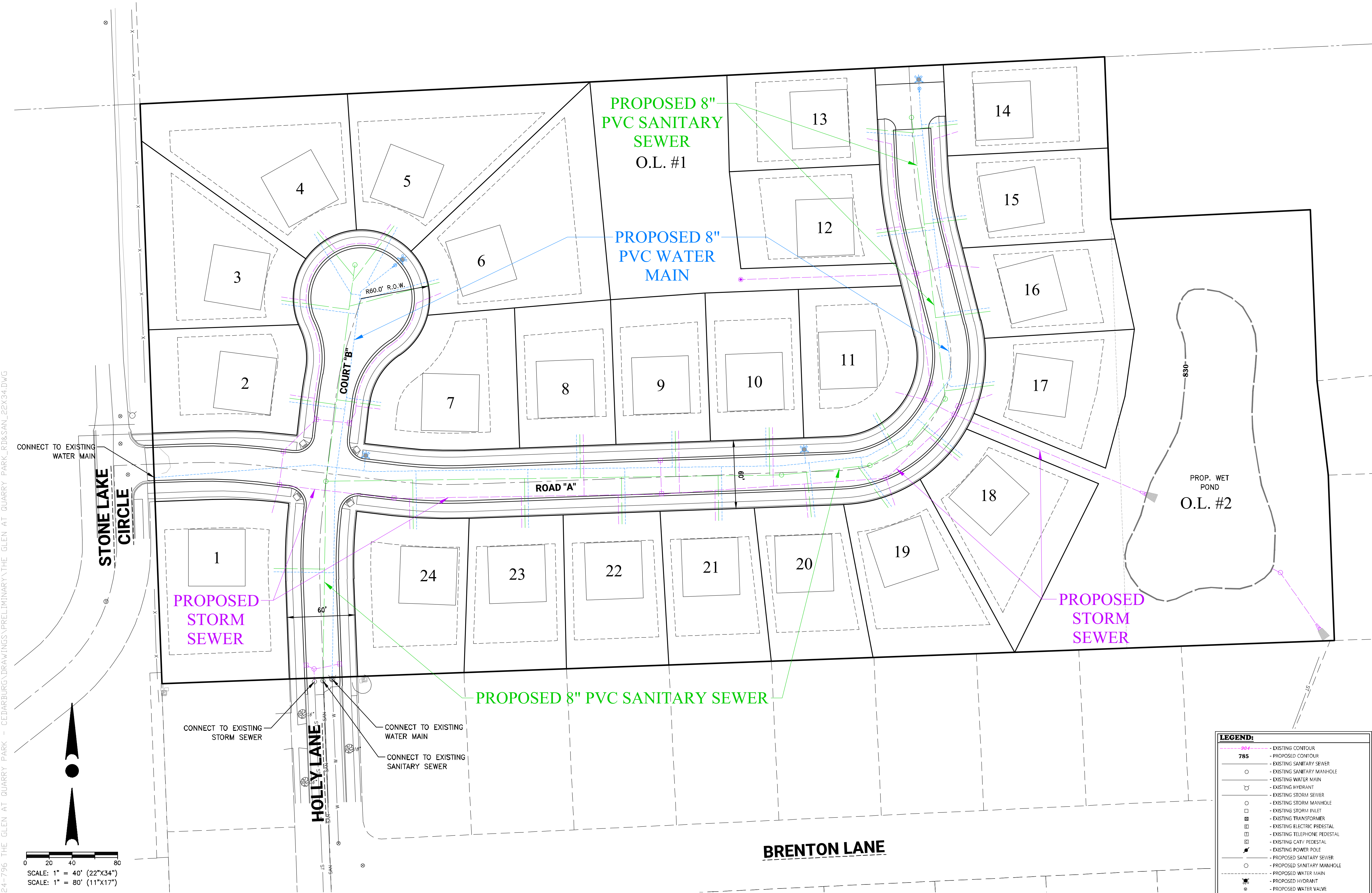
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SEPTEMBER 9, 2025

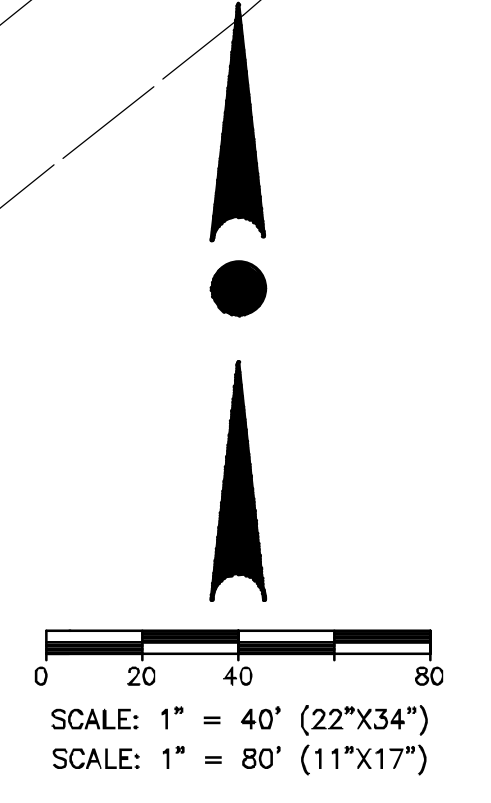
JOB NUMBER:
25-24-796

DESCRIPTION:
UTILITY SYSTEM PLAN

SHEET
C2.00



X:\2025\25-24-796 THE GLEN AT QUARRY PARK - CEDARBURG\DRAWINGS\PRELIMINARY\THE GLEN AT QUARRY PARK_RJD&SAN_22X34.DWG



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LEGEND:

	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED 8" PVC SANITARY SEWER
	PROPOSED 8" PVC WATER MAIN
	PROPOSED STORM SEWER
	EXISTING SANITARY MANHOLE
	EXISTING WATER MAIN
	EXISTING HYDRANT
	EXISTING STORM SEWER
	EXISTING STORM MANHOLE
	EXISTING STORM INLET
	EXISTING TRANSFORMER
	EXISTING ELECTRIC PEDESTAL
	EXISTING TELEPHONE PEDESTAL
	EXISTING CATV PEDESTAL
	EXISTING POWER POLE
	PROPOSED SANITARY SEWER
	PROPOSED SANITARY MANHOLE
	PROPOSED WATER MAIN
	PROPOSED HYDRANT
	PROPOSED WATER VALVE
	PROPOSED STORM SEWER
	PROPOSED STORM MANHOLE
	PROPOSED STORM INLET
	PROPOSED STORM END SECTION
	PROPOSED REJECT CURB & GUTTER



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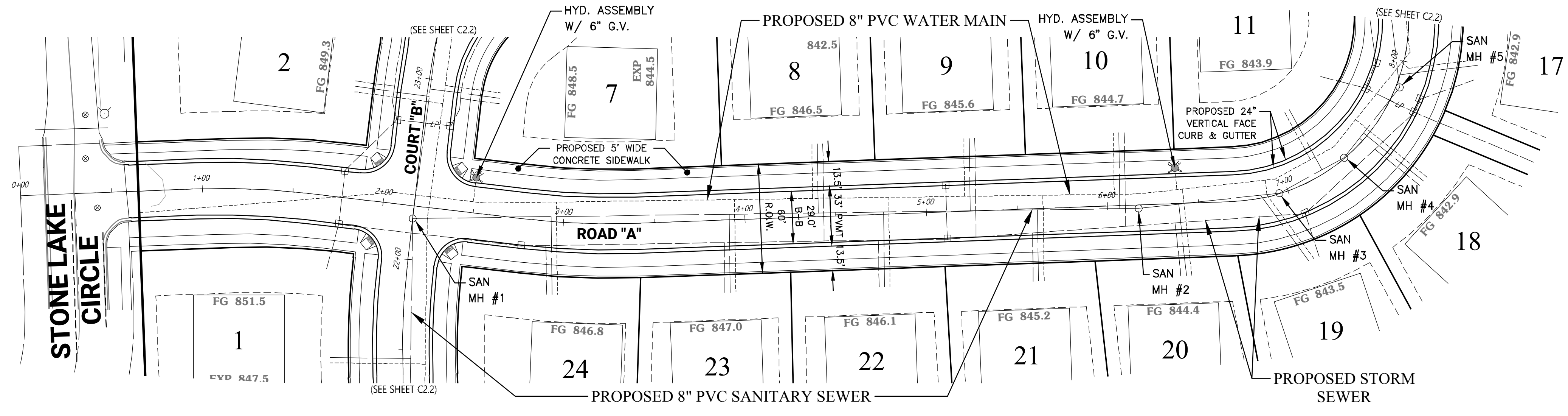
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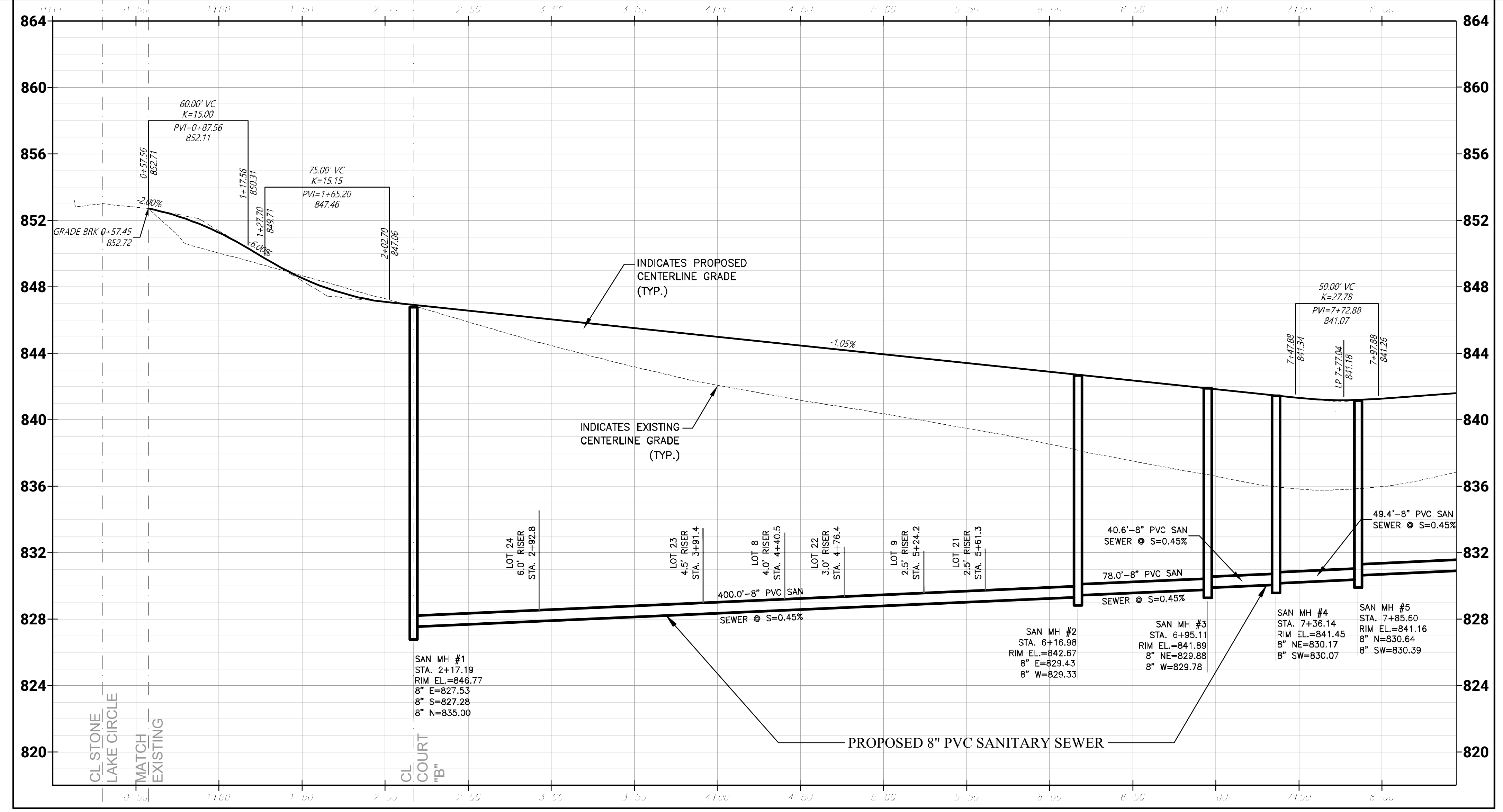
DESCRIPTION:
ROADWAY &
SANITARY PLAN &
PROFILE

SHEET

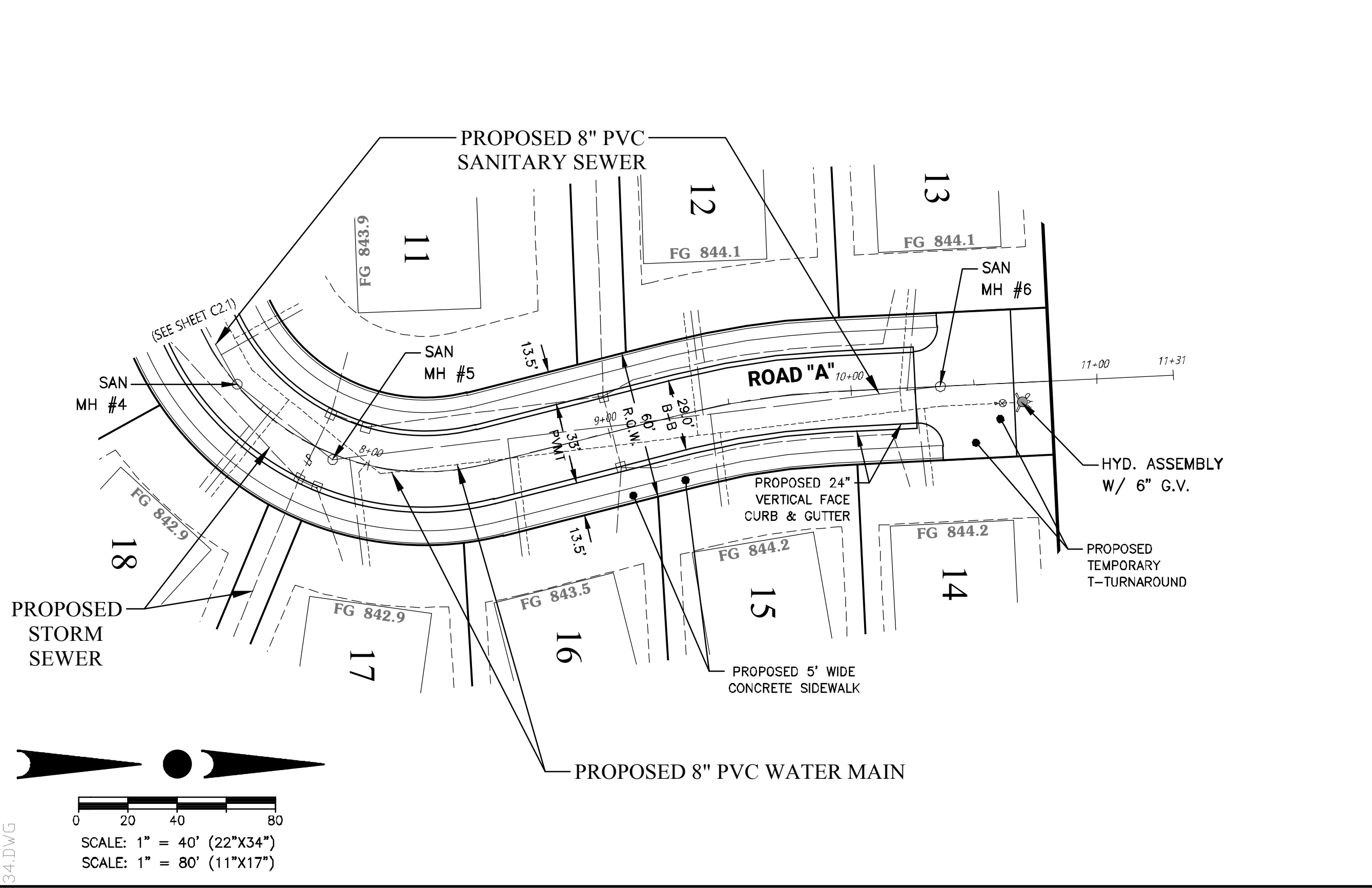
C2.1



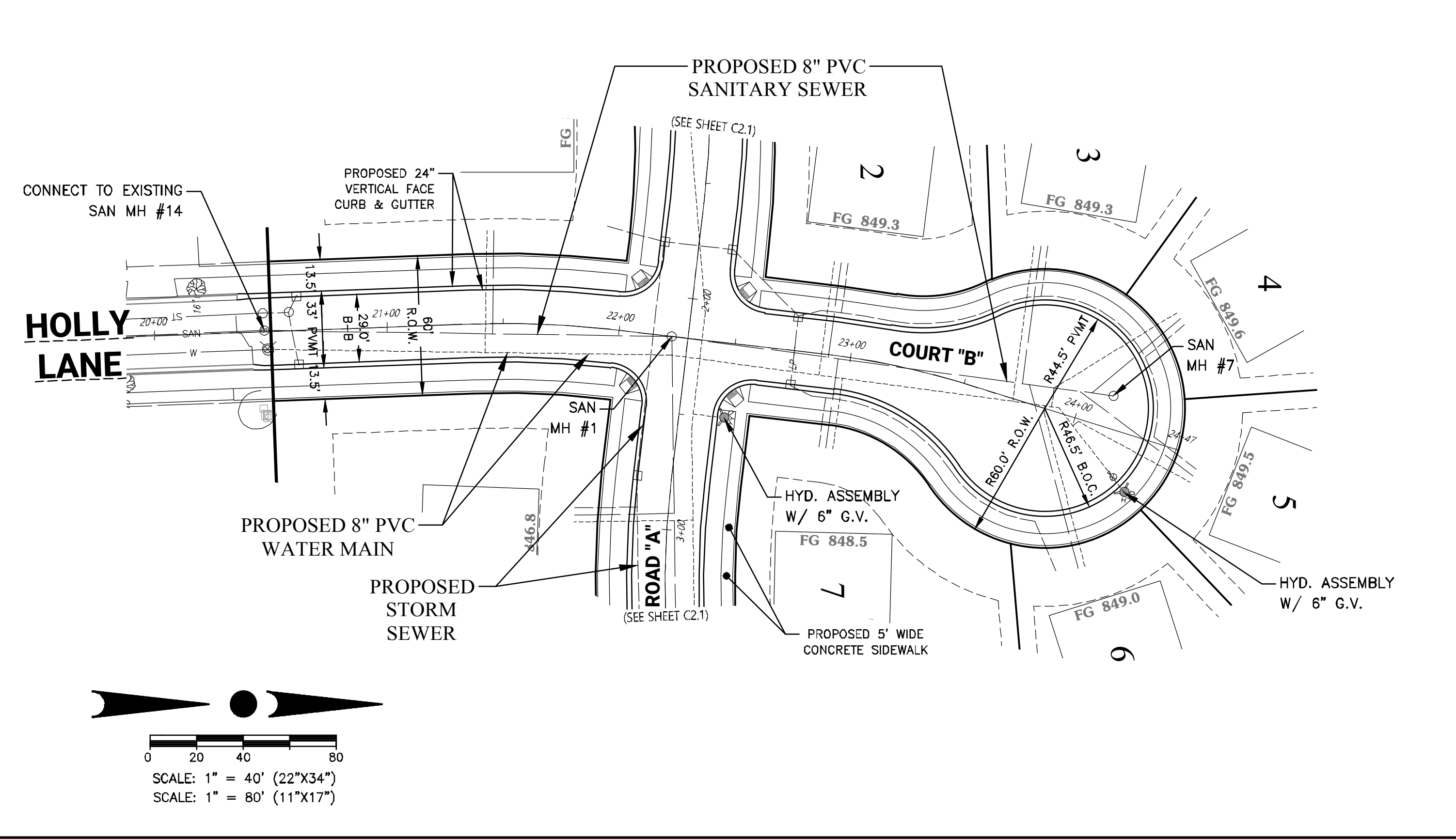
ROADWAY AND SANITARY SEWER
FROM: STA: 0+00 TO: STA: 8+00

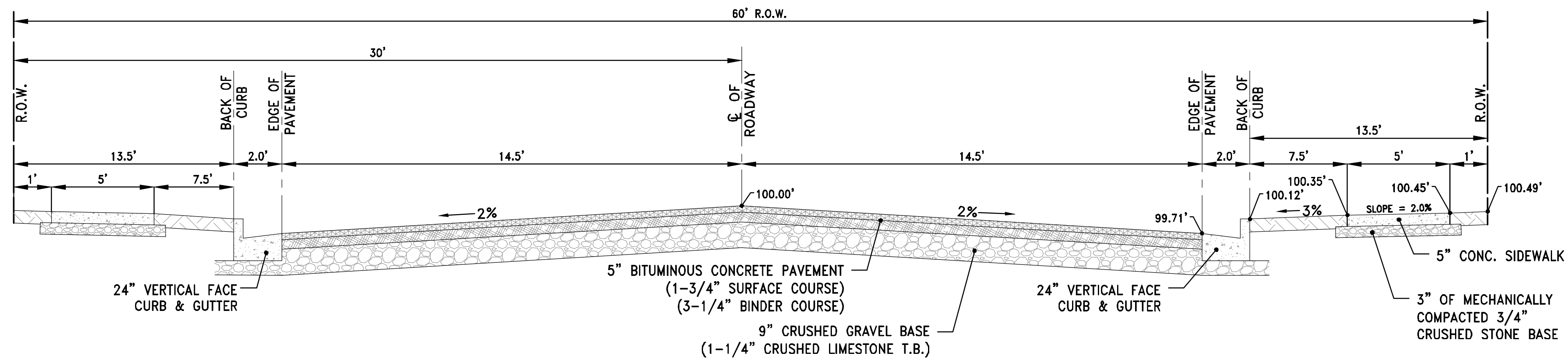


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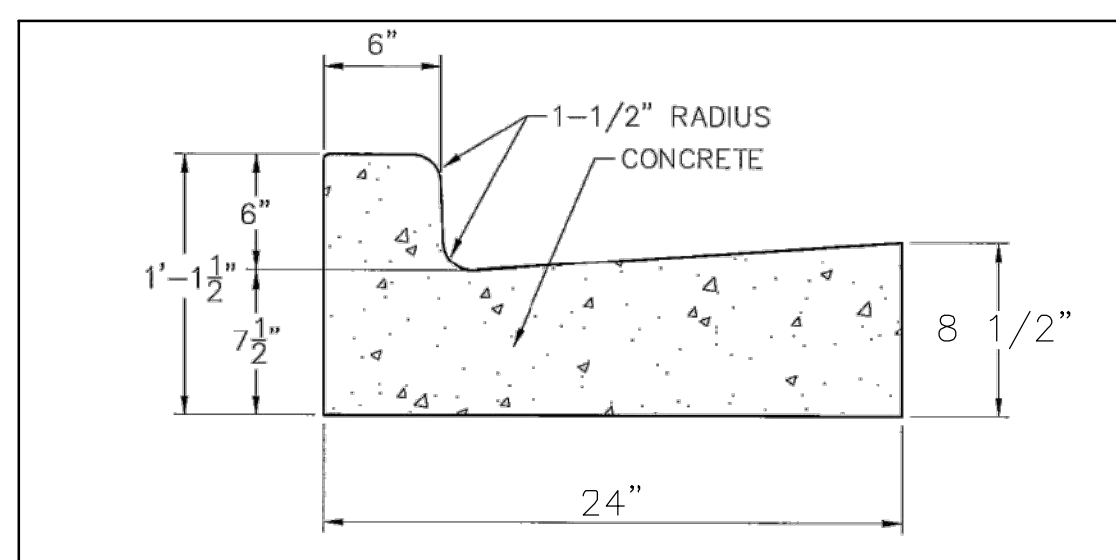


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SCALE: 1" = 80' (11"X17")

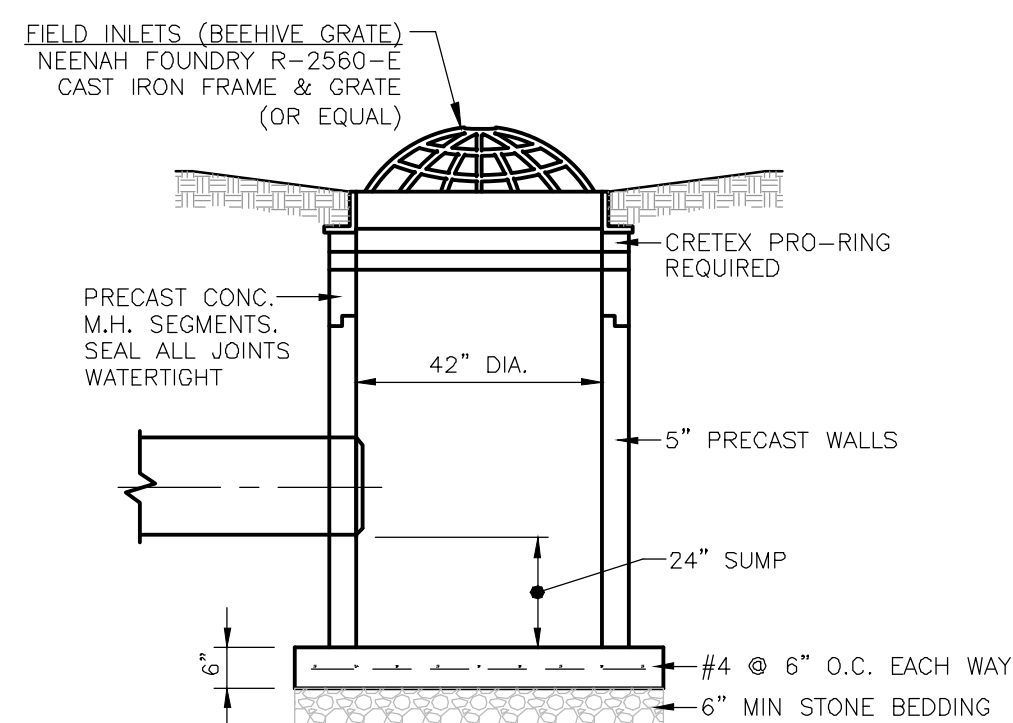




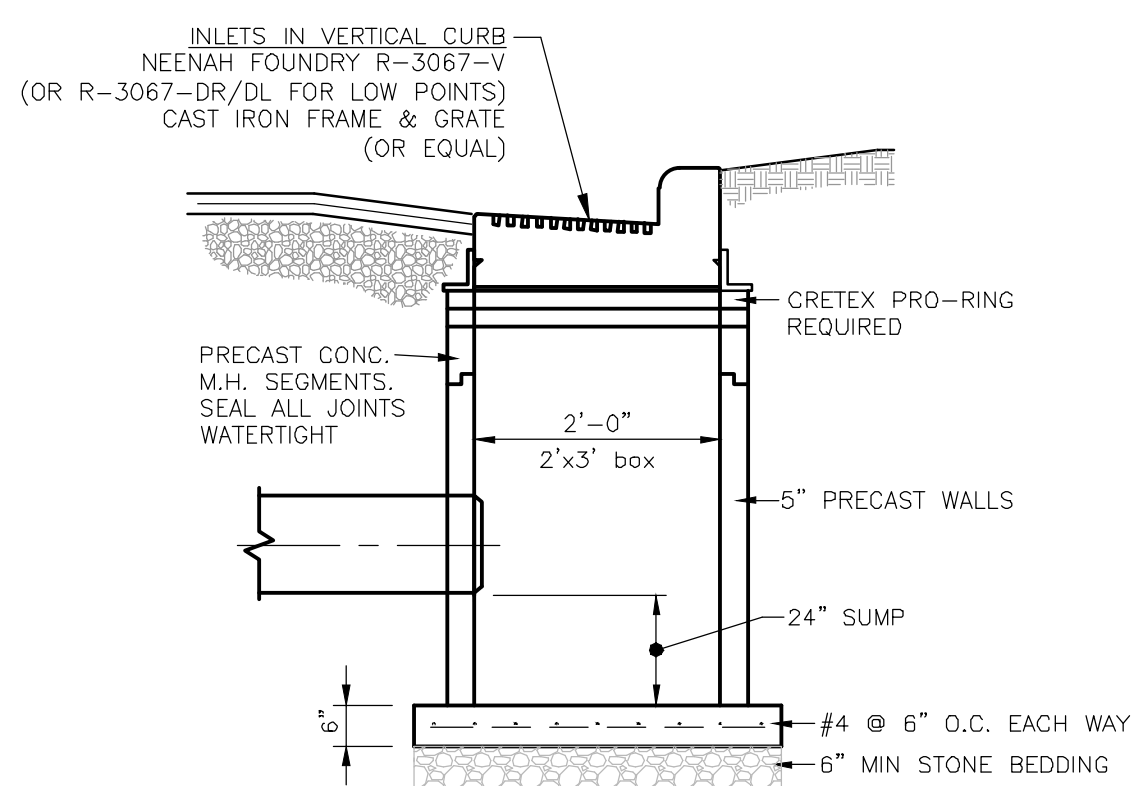
60' R.O.W. ROAD CROSS SECTION
NO SCALE



LOW SIDE CURB & GUTTER
NO SCALE

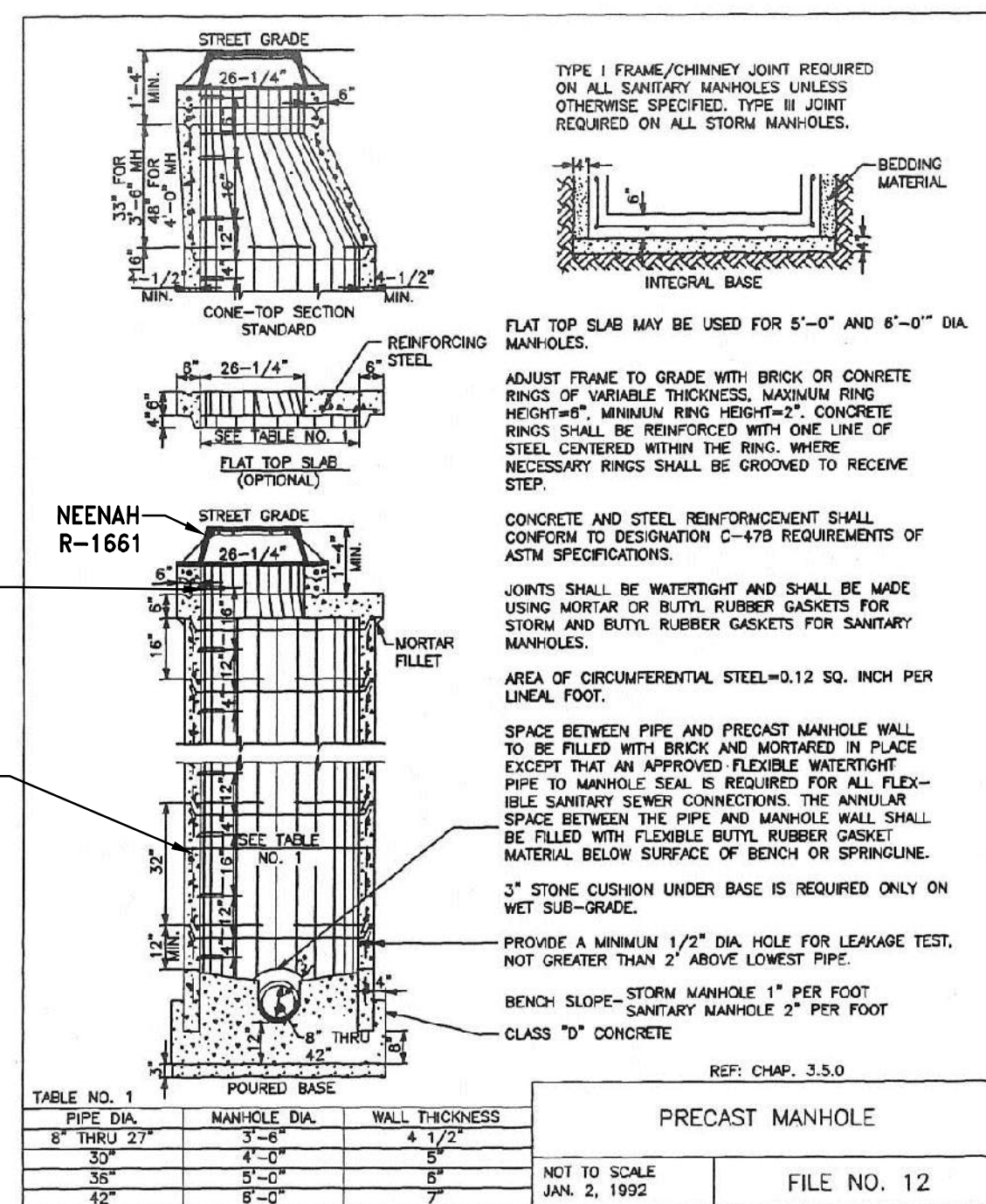


STORM SEWER FIELD INLET DETAIL
NO SCALE

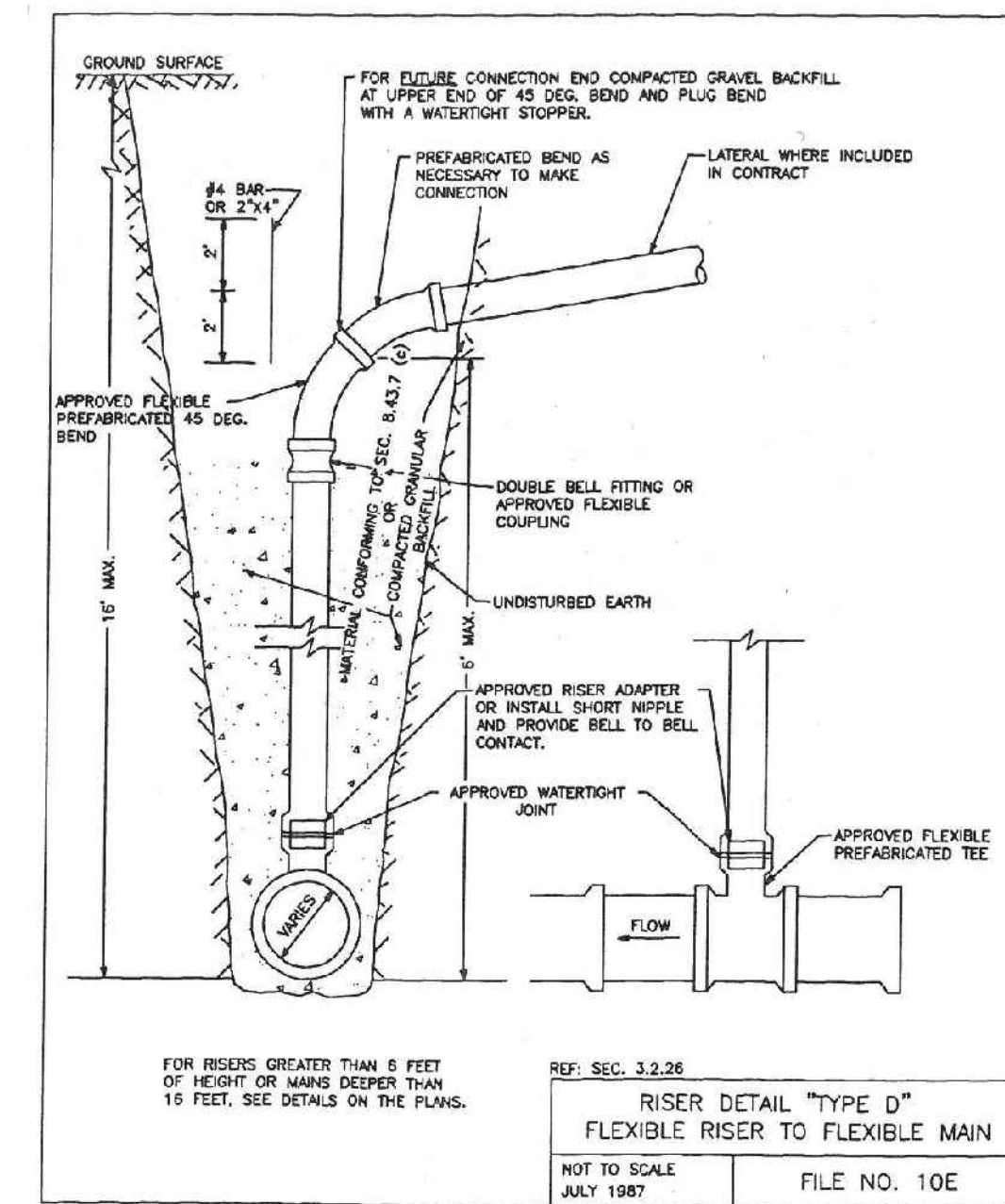


- NOTES:
- EZ-STICK RUBBER GASKET OR APPROVED EQUAL SHALL BE PLACED AT ALL JOINTS BETWEEN ADJUSTING RINGS.
 - MINIMUM OF 2", MAXIMUM OF 6" OF ADJUSTING RINGS.
 - CLEAN UNDERSIDE OF ADJUSTING RINGS OR CAST IRON FRAME AND SET IN PLACE.
 - TUCK POINT MORTAR INTO ANNULAR CRACK AND BACK PLASTER INSIDE AND OUTSIDE OF JOINTS.
 - MEET REQUIREMENTS OF ASTM C478.

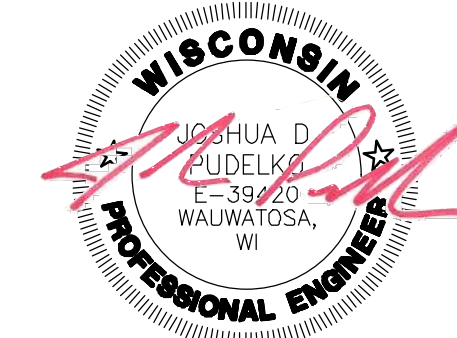
STORM SEWER CURB INLET DETAIL
NO SCALE



SANITARY MANHOLE DETAIL
NO SCALE



SANITARY LATERAL RISER DETAIL
NO SCALE



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PROJECT:
THE GLEN AT QUARRY PARK
CITY OF CEDARBURG, WISCONSIN
BY: CORNERSTONE DEVELOPMENT
N63 W23849 MAIN ST.
SUSSEX, WI 53089

REVISION HISTORY	
DATE	DESCRIPTION
09/09/2025	PRELIMINARY SUBMITTAL

DATE:
SEPTEMBER 9, 2025

JOB NUMBER:
25-24-796

DESCRIPTION:
CONSTRUCTION
NOTES & DETAILS

SHEET
C3.00

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CEDARBURG WATER UTILITY CONSTRUCTION SPECIFICATIONS

GENERAL WATER MAIN CONSTRUCTION

1. BEDDING AND COVER MATERIAL

- Water main bedding and cover material shall be crushed limestone chips or sand.
- If a wet trench condition exists, the water main bedding and cover material shall be supported by 3" of crushed limestone screenings.
- Asphalt millings SHALL NOT be used as backfill for any water main/service installations.

2. POLYETHYLENE WRAP

- Polyethylene wrap shall meet the requirements of AWWA standard C-105 (ANSI A21.5) using Class C (black) polyethylene material with 8 mils minimum thickness, and shall be installed on all Ductile Iron water mains, fittings, hydrants, and valve boxes.
- Water service curb-stops require the use of 6" BLUE POLY WRAP. Core & Main product code: 96PW060B.

3. COST OF FITTINGS AND CONNECTIONS

- All costs associated with connections to existing water mains, as well as furnishing/installing fittings such as tees, bends, plugs, reducers, crosses, sleeves, etc. shall be considered incidental to the water main installation unless bid separately in the initial proposal.

4. OPERATION OF EXISTING VALVES

- All valves will be operated by, or under the supervision of, Cedarburg Light and Water Utility personnel.

5. CONNECTIONS TO EXISTING WATER MAIN

- The contractor shall coordinate all work with Cedarburg Light and Water when making final connections to the new water main in order to minimize inconvenience caused by the temporary disruption of the water service. CLW will require at least 24-hour notice prior to shutting off any water service. The contractor shall take whatever measures necessary to restore service at the end of each workday.

6. JOINT RESTRAINT

- PVC restrainer glands, as manufactured by Mega-Lug Corp. or equal, shall be used to restrain Ductile Iron fittings used with PVC pipe. Retainer glands using setscrews shall not be allowed on PVC.

7. CONCRETE BLOCKING (BUTTRESSES)

- All bends, tees, caps, hydrants, and plugs shall be blocked with solid concrete blocks in conjunction with Mega Lug restraint glands.

8. AIR-RELEASE VALVES/OFFSETS

- The contractor shall install the water main according to the grades set forth on the plans with no high points with the exception of hydrant locations. If a high point cannot be avoided, an air release valve can be installed at this point at owner's expense if so ordered by the engineer.
 - THE ENGINEER RESERVES THE RIGHT TO ORDER THE WATER MAIN TO BE RELAYED AT THE CONTRACTORS EXPENSE.

DISINFECTION

1. GENERAL REQUIREMENTS

- Contractor shall disinfect each section of pipe, as it is being installed using tablets (bonded to the inside of each section of pipe), swabbing with 5% Hypochlorite solution, or granular chlorine. The cost for disinfection shall be included in the contractor's bid price for water main installation.
- The water main shall be disinfected for a minimum 24 hours

2. SAFE SAMPLES

- Safe samples must be obtained from each segment that was hydrostatically tested.
- No water main segment shall be placed into service until safe water samples have been confirmed.

3. RECHLORINATION

- Should any test prove bacteriologically unsafe, the contractor shall disinfect the water main by such methods as he deems necessary and re-sample until safe samples are confirmed.
- Costs associated with re-chlorination shall be considered incidental to water main installations.

4. WATER FURNISHED

- Water for the initial testing will be furnished by CLW. The contractor shall coordinate all flushing activities with CLW.
- Water flushed to surface may not contain any substance in concentrations that adversely affect any lake, river or stream as determined by Wisconsin Administrative Code NR 105 and 106. All water discharged shall also comply with the requirements of W/PDES General Permit WI-0057681, and if discharged to the sanitary sewer system, shall comply with the requirements of the City of Cedarburg Wastewater Treatment Facility.

WATER MAIN PRESSEURE TESTING

1. Hydrostatic test = 150 LBS FOR 2 HOURS

- Contractor shall furnish all labor, equipment an material to complete all testing
- A representative from CLW shall be present at all times during test
- Contractor has the option to test the entire new water main as one continuous section or in segments per mutual agreement.

WATER MAIN MATERIAL

1. C900 PVC WATER MAIN

- Class 150 DR-18 with integral electrometric bell and spigot joints

2. TRACER WIRE REQUIREMENTS

- COPPERHEAD # 10 solid tracer wire with a BLUE sheath is required on all PVC water main and Polyethylene service laterals. This wire shall run with the main and be attached to the outside of each fire hydrant through a LOCATOR BOX, attached to the rear of the hydrant. (DETAIL AT END OF DOCUMENT) This shall be a continuous run wire without splices. Any needed splice will only be allowed if they are made under the direction of the onsite inspector. All splices shall use COPPERHEAD DIRECT BURY LUGS (Snakebite #3WB-01) or COPPERHEAD DIRECT BURY TWIST CONNECTORS (AQUA #SCB-01)

FITTINGS

- All fittings shall be Ductile Iron cement mortar lined with internal and external bituminous coating meeting the requirement of AWWA Standard C-110 (ANSI 21.10). Compact fittings meeting the requirements of AWWA Standard C-1531 (ANSI 21.53) may be used for PVC pipe. Mechanical joint fittings shall be used in areas where restrained joints are required. Mechanical joints shall meet the requirements of AWWA C-111 (ANSI 21.11). All fittings shall have a minimum working pressure of 250 psi. Fittings used with PVC pipe shall have plain rubber gaskets.

- All water main nuts and bolts used with all connections to mains, valves and hydrants shall be COR-BLUE T-BOLTS, and manufactured by NSS Industries (or equal).

VALVES AND VALVE BOXES

1. VALVES

- All valves shall be Resilient-Seat Gate Valves, Rubber tipped gaskets, Cast Iron body, bronze mounted, non-rising stem, a 2-inch square operating nut counter-clockwise open rated at 200-psi working pressure.
- Resilient-Seat gate valves shall be Kennedy, Mueller, Watrous, or equal AWWA compliant.

2. VALVE BOXES

- Valve boxes shall be three-piece Cast Iron consisting of a base, a threaded center section (5.25" shaft diameter), a top section, and a cover marked "WATER". All valve boxes shall be wrapped with Polyethylene wrap.
- All valve boxes shall be set on a Gate Valve Adaptor, to eliminate settling and/or shifting

** Water valve boxes shall be set to bituminous binder course grade upon initial installation and be asphalt ramped. At the time of the final surface course placement, the valve boxes shall remain 1.5 to 2 inches below finish grade. The contractor shall supply replaceable, drop-in risers for the final adjustment (1.5" or 2" risers). The valve boxes shall NOT be turned up to meet final grade.

FIRE HYDRANTS

1. WATEROUS PACER hydrant conforming to the following standards:

- Hydrant shall be compression style with 5.25" bottom valve with 6" mechanical joint inlet connection, 300-psi test pressure and a 150-psi working pressure.
- Two 2.5" hose nozzles and one 4.5" pumper nozzle with National Standard fire hose threads.
- 1.5" pentagon operating nut opening counter-clockwise.
- Hydrant barrels below grade shall be wrapped with polyethylene wrap.
- A 5" fiberglass hydrant flag is required on all hydrants and shall be attached to the lower flange.

2. COLOR

- Hydrants shall be factory painted YELLOW. Hydrants of other colors may NOT be painted over. These hydrants shall be sandblasted to bare steel then primed and painted the correct color.

3. VALVE/LEAD

- Hydrant valves shall be restrained to the main using a restraining Tee, and conform to the requirements for gate valves and valve boxes in this document.
- Hydrant leads shall be 6" PVC pipe restrained by Mega-Lug restraining glands and blocked with solid concrete blocks.

4. BARREL EXTENSIONS

- Hydrants shall be furnished for the depth of bury shown on the plans. Hydrants requiring greater than 7.6' of bury shall be furnished as standard 7.6' hydrants with extensions as required. Hydrant extensions shall be compatible with hydrant barrel and stem sections. The cost of furnishing barrel extensions shall be included in the unit price bid for hydrants or hydrant assemblies. If additional extensions are required due to changes made in the field, they will be paid for at the prices bid in the Additional Proposal, listing. The breakaway safety flange shall be within 2 inches of grade after hydrant is set.

5. HYDRANT ASSEMBLY BID ITEM

- When bidding on a HYDRANT ASSEMBLY, this shall include the cost of furnishing the hydrant, barrel extension (if required), hydrant lead, gate valve, valve box, fittings, restraining glands, poly wrap and blocking.

6. TRACER WIRE REQUIREMENTS

- COPPERHEAD # 10 solid tracer wire with a BLUE sheath is required. This wire shall run with the main and be attached to the outside of each fire hydrant through a LOCATOR BOX, attached to the rear of the hydrant. (DETAIL AT END OF DOCUMENT) This shall be a continuous run wire without splices. Any needed splice will only be allowed if they are made under the direction of the onsite inspector. All splices shall use COPPERHEAD DIRECT BURY LUGS (Snakebite #3WB-01) or COPPERHEAD DIRECT BURY TWIST CONNECTORS (AQUA #SCB-01)

7. ABANDONING A FIRE HYDRANT

- The contractor shall remove and salvage all hydrants shown on the plans to be abandoned, removed or replaced. The contractor shall deliver abandoned hydrants to a location mutually agreed upon by both the utility and the contractor.
- Hydrant valves and valve boxes adjacent to the hydrants shall be removed and salvaged for the owner.

WATER SERVICES

1. POLYETHYLENE PIPE

- Polyethylene laterals shall be minimum 1" tubing size, 200 psi ASTM 3408 up to 2",
- Double strap epoxy coated Ductile Iron saddles, or Stainless Steel saddles shall be used on all PVC main. Direct taps will not be allowed unless prior authorization is granted.
- Stainless Steel insert stiffeners shall be required on all Poly connections
- No joints or couplings will be allowed in water service piping between the corporation stop and the curb-stop

2. NEW CONSTRUCTION WATER SERVICES

- All new curb-stops shall be place 2 feet behind the lot line with a 2" X4" X10" MAPLE HEART stake at the termination of all services.
- Tracer wire shall be run from the water main up the curb-stop and attached under the cap with a minimum of 2' of slack.

3. WATER SERVICES SHALL BE 1" MINIMUM

- Corporation stops shall be Ball Corp. valve model B25008 (1" through 2") or Ball Corp model FB1002 with AWWA cc threads. Curb valves (3/4" through 2") shall be Mueller 300 Ball Curb Valve B25155, or Ford Ball Valve B77-333m Minneapolis pattern. 1.25" by seven foot Orisael curb-boxes shall be AY McDonald or Ford Type PL with Minneapolis pattern bases
- ALL curb-stops shall require 6" BLUE POLY WRAP. CORE & MAIN product code 96PW060B.

4. WATER SERVICE RECONNECTIONS (NEW MAIN TO EXISTING SERVICES)

- The bid item for Service Reconnections shall include the tap, saddle, corporation valve, and any fittings required for the connection to the existing service pipe. The utility will pay the per foot cost for the service pipe. This footage shall be mutually agreed upon by the contractor and the on-site inspector.
- Tracer wire shall be stripped and wrapped around the brass corporation at the main and taped sufficiently to prevent corrosion.

5. WATER SERVICE RELAY (NEW SERVICES FROM MAIN INCLUDING CURB-STOP)

- The bid item for a water service relay shall include the tap, saddle, corporation stop, curb-stop, stop-box, and the connection to the existing service. The utility will pay the per foot cost for the service pipe. The contractor and the on-site inspector shall mutually agree upon this footage.
- Tracer wire shall be stripped and wrapped around the brass corporation at the main and taped sufficiently to prevent corrosion.

- Tracer wire shall be run from the water main, up the curb-stop and back down. Then attached to the existing service with a tracer wire connector nut. All in one continuous run of wire.

ABANDONING WATER SERVICES

- All water service connections to the water main shall be abandoned properly by physically turning the corporation stop off at the main, disconnecting the pipe and installing a brass cap on the corp.

6. GENERAL WATER SERVICE REQUIREMENTS

- NO water service shall be laid through any trench having cinders, rubbish, rock, or any other material which may cause injury to or disintegration of the service pipe unless adequate means of protection is provided by sand or limestone chip backfill. Service pipes passing through curb or retaining walls shall be adequately safeguarded by providing channel space or casing no less than twice the diameter of the service connection. The space between the service pipe and the casing shall be filled and caulked with oakum, mastic cement, or other resilient material, and made impervious to moisture.
- Care shall be taken while backfilling by carefully tamping the backfill. All backfill shall be brought up to a height of at least six inches above the service pipe. All curb-boxes shall be wrapped in BLUE Poly wrap from top to bottom.
- When tapping, Teflon tape shall be used at the connections. Pipe dope will not be acceptable.
- Stainless steel stiffeners shall be required on all flexible plastic connections.
- No joints will be allowed in a water service between the corporation stop and the curb-box.

ABANDONING WATER MAINS

- Contractors shall abandon all intersecting mains within the street right-of-way as shown on the plans and/or as directed by the engineer. Mains shall be abandoned to an existing tee or cross in live mains or as shown on the plans.
- Abandoned mains may be left in place except those abandoned mains that fall within the same trench as any new water main. All cut ends of an abandoned main shall be plugged with a minimum six-inch thick concrete bulkhead.

ABANDONING GATE VALVES

- The procedure for abandoning valves, including hydrant valves, valve boxes, and valve manholes shall be as specified below.
 - Abandoned valves shall be closed and left in place unless stated on the plans to remove and salvage for the owner.
 - Valve boxes and manholes shall be abandoned by removing the top three feet of the structure below street grade. Frames and covers shall be salvaged for the owner. Backfill remaining structure, and excavation with limestone chips thoroughly compacted in 12 inch lifts.

REPLACING VALVE MANHOLES WITH VALVE BOXES

- Valve manholes shall be abandoned by removing the casting and manhole cone sections to a minimum depth of three feet below grade. Frames and covers shall be salvaged for the owner. A six inch diameter hole shall be cut in the bottom of the structure to allow for drainage. Backfill remaining manhole sections and excavation with limestone chips and thoroughly compacted in 12 inch lifts. The bid item for valve manhole removals shall include the cost of removing the existing manhole and replacement with a new valve box. Valve boxes shall be three-piece cast iron construction consisting of a base, a screw type center section (5.25" shaft diameter) and top section with cover marked "WATER". All valve boxes shall be set on a Gate Valve Adaptor, to eliminate settling and shifting. All boxes shall be wrapped with polyethylene wrap.

REPLACING VALVE BOX TOP SECTIONS

- Replace top section of valve box with a 18" adjustable riser and set to binder grade. A one-inch drop-in REPLACEABLE riser shall be installed to bring the final height to within one inch of final pavement grade. Existing cover may be re-used if possible.

GENERAL CONSTRUCTION PROCEDURES

1. ROCK EXCAVATION

- Rock excavation shall be in accordance with Section 2.2.9 of the Standard Specifications. The pay width for rock excavation in open-cut shall be the actual width of excavated trench, but not to exceed the outside diameter of the pipe plus 24-inches. The vertical limits of rock may be measured by stripping earth overburden prior to blasting or removal or by other methods mutually acceptable to the Engineer, Contractor, and the Owner. One such method may be to measure the depth of rock exposed on trench walls after blasting and excavation has been completed

2. BLASTING

- The Wisconsin Administrative Code on Explosives and all local ordinances that regular blasting shall be adhered to when blasting is to be done. The Contractor will be held solely responsible for any damage to adjacent property including but not limited to structure, above-ground and underground utilities, culverts, sewers, services, pavements and parking lots due to his blasting operation.
- The use of these explosives and initiation systems shall be in accordance with the instructions and recommendations of the suppliers.
- Unless otherwise approved by the Engineer and City, all blasting shall occur between the hours of 8:00 a.m. and 5:00 p.m., Monday through Friday.

WARNING SYSTEM

The Contractor shall erect signboards of adequate size stating that blasting operations are taking place in the area, and such signs shall be clearly visible at all points of access to the area. All requirements of the Wisconsin Department of Safety and Professional Services. (Chapter SPS307)

Contractor shall show proof that he or his blasting subcontractor has a minimum of the following insurance.

Personal Injury	\$3,000,000 in aggregate
Bodily Injury	\$3,000,000 in aggregate
Property Damage	\$3,000,000 in aggregate

PORTABLE TRENCH BOX

The use of portable trench boxes and sliding trench shields shall conform to Section 2.3.6 of the Standard Specifications, as modified below:

- Trench boxes shall ride on a shelf excavated in the trench located no lower than the top of the pipe to ensure that the proper bedding sections is maintained.

MANUFACTURER'S REPRESENTATIVE

The pipe manufacturer shall have a representative available to the Contractor, Engineer and City for the purpose of advising them in the proper method of laying pipe and making watertight joints. It is the intent of this requirement that the representative spend only such time on the job as will accomplish the desired result of satisfactory installation practice. The presence of such representative, however, or the partial payment made for pipe as delivered, shall not relieve the Contractor of his responsibility under these Special Provisions. All pipe laying and making of all joints shall be done strictly in accordance with the manufacturer's directions. However, the Contractor shall be responsible for the water-tightness



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SARB PLAN REVIEW GUIDE

Sec. 13-1-120 Purpose of site plan and architectural review.

For the purpose of promoting compatible development, stability of property values, fostering the attractiveness and functional utility of the community as a place to live and work, preserving the character and quality of the built environment by maintaining the integrity of those areas which have a discernible character or are of a special historic significance, protecting certain public investments in the area, and raising the level of community expectations for the quality of its environment, this section requiring site plan and architectural review is intended.

Sec. 13-1-121 Site plan review principles and standards.

To implement the purposes set forth in section 13-1-120, the city plan commission shall following due consideration of the recommendation(s) of the Site and Architectural Design Review Board (SARB), review the site, existing and proposed structures, neighboring uses, utilization of landscaping and open space, parking areas, driveway locations, loading and unloading (in the case of commercial and industrial uses), highway access, traffic generation and circulation, drainage, sewerage and water systems, and the proposed operation for all new and modified commercial/office/industrial/institutional sites. The city plan commission will approve said site plans only after determining that:

- (a) The proposed use(s) conform(s) to the uses permitted in that zoning district.

- (b) The dimensional arrangement of buildings and structures conform to the required area, yard, setback, and height restrictions of this chapter.

- (c) The proposed use conforms to all use and design provisions and requirements (if any) as found in this chapter for the specified uses.

- (d) There is a proper relationship between the existing and proposed streets and highways within the vicinity of the project in order to assure the safety and convenience of pedestrian and vehicular traffic.

(e) The proposed on-site buildings, structures, and entryways are situated and designed to minimize adverse effects upon owners and occupants of adjacent and surrounding properties by providing for adequate design of ingress/egress, interior/exterior traffic flow, storm water drainage, erosion, grading, lighting, and parking, as specified by this chapter or any other codes or laws.

(f) Natural features of the landscape are retained where they can enhance the development on the site, or where they furnish a barrier or buffer between the project and adjoining properties used for dissimilar purposes or where they assist in preserving the general safety, health, welfare, and appearance of the neighborhood.

(g) Adverse effects of the proposed development and activities upon adjoining residents or owners are minimized by appropriate screening, fencing, or landscaping, as provided or required in this chapter.

(h) Land, buildings, and structures are readily accessible to emergency vehicles and the handicapped.

(i) The site plan is consistent with the intent and purpose of this chapter, which is to promote the public health, safety, and general welfare, to encourage the use of lands in accordance with their character and adaptability, to avoid the overcrowding of population, to lessen congestion on the public roads and streets, to reduce hazards of life and property, and to facilitate existing community development plans.

(j) The site plan is consistent with the public goals, objectives, principles, standards, policies, and urban design criteria set forth in the city's adopted community master plan or components thereof.

Sec. 13-1-122 Architectural review principles and standards.

Architectural review and standards are applicable to all new commercial, office, industrial, and institutional buildings and all new principal buildings proposed for construction on all new lots created by a subdivision plat, by Certified Survey Map and on all infill lots. Architectural style is not restricted; however, structures must be compatible with the surrounding area. To provide criteria for the implementation of the purposes set forth in section 13-1-120, the following architectural review principles, criteria, and procedures are established:

- (a) Building scale and mass.** The relative proportion of a building to its neighboring existing buildings, to pedestrians or observers, or to other existing buildings shall be maintained or enhanced when new buildings are built or when existing buildings are remodeled or altered. New buildings and additions to existing buildings shall harmonize and correspond to the existing character of the immediate neighborhood. In approving infill projects, the FAR standard for the zoning district in which the building is located shall not govern the building size, but rather, building size will be established, on a case-by-case basis, to reflect the existing character of the neighborhood.
- (b) Building rooflines and roof shapes.** The visual continuity of roofs and their contributing elements (parapet walls, coping, cornices, etc.) shall be maintained in building development or redevelopment.
- (c) Materials.** Material selection for architectural design shall be based upon the prevailing material already used on existing buildings in the area. No building shall be permitted where any exposed facade is constructed or faced with a finished material which is aesthetically incompatible with other building facades in the area and which presents an unattractive appearance to the public and surrounding properties.
- (d) Colors.** Since the selection of building colors has a significant aesthetic and visual impact upon the public and neighboring properties, color shall be selected in general harmony with the existing neighborhood buildings.
- (e) Building location.** No building shall be permitted to be sited in a manner which would-unnecessarily destroy or substantially damage the beauty of the area, particularly insofar as it would adversely affect values incident to ownership of land in the area or which would unnecessarily have an adverse effect on the beauty and general enjoyment of existing structures on adjoining properties.
- (f) Historic structures.** Any construction, rehabilitation and/or restoration of any landmark or historic building or structure within the Washington Avenue Historic District and proposed for any locally designated historic building shall conform to all the requirements of this chapter and with the terms and conditions outlined by the landmarks commission and included in the city's Building/Historic Code.

(g) Infill lot. An infill lot is a single vacant lot located in a predominately built-up area, which is bounded on two or more sides by existing development. In addition any lot which contains an existing building, which will be removed and replaced with a new building, shall also be considered an infill lot. The infill status of a lot shall continue until building plans have been approved by the SARB, a building permit acquired and the building constructed in accordance with the approved plans and an occupancy permit issued. Once the occupancy permit is issued, the status of the lot shall change to non-infill and any additions or modifications thereafter shall be processed under normal procedures in accordance with article F.

(2) The city plan commission shall, following due consideration of the recommendation(s) of the SARB, review the proposed architectural style/design, materials, and colors, in the context of the surrounding area and the purpose set forth in Section 13-1-120 above, for all new or substantially modified buildings located on commercial/office/industrial/institutional sites. The city plan commission will approve said site plans only after determining that these plans comply with the architectural review principles and criteria set forth in Section 13-1-122 (a)-(g) above.