

**CITY OF CEDARBURG
PLAN COMMISSION
July 1, 2024**

A regular meeting of the Plan Commission, City of Cedarburg, Wisconsin, will be held at 7:00 p.m. on Monday, July 1, 2024. Attendees have the option of joining the meeting in person at City Hall, W63N645 Washington Avenue, upper level, Council Chambers, or online via the following Zoom link:

<https://us02web.zoom.us/j/83853643283>

AGENDA

1. CALL TO ORDER - Mayor Patricia Thome
2. ROLL CALL: Present - Mayor Patricia Thome, Jack Arnett, Adam Voltz, Sig Strautmanis, Sherry Bublitz, Jon Scholz, Common Council Member Jim Fitzpatrick

 Also Present - Mary Censky, City Planner, City Administrator Mikko Hilvo, Administrative Assistant Theresa Hanaman
3. STATEMENT OF PUBLIC NOTICE
- 4*. APPROVAL OF MINUTES – June 3, 2024
5. COMMENTS AND SUGGESTIONS FROM CITIZENS
6. PUBLIC HEARINGS; AND ACTION THEREON 7:00 P.M.

 None.
7. OLD BUSINESS

 *A. Review, discussion and possible action on the request for Building, Site, and Operating Plan approval to construct an addition and change the use of the existing bank building at N69 W5269 Columbia Road to a medical clinic. The applicant is Weas Development LLC w/ consent of current property owner BMO Bank N.A. This 1.5-acre site is zoned B-2 Community Business District.
8. REGULAR BUSINESS; AND ACTION THEREON

 *A. Review, discussion and possible action on the request for Waiver approval to construct a 912 sq. ft. detached garage in support of an existing duplex use at N45 W5707-09 Spring Street. The applicant/property owner is Shane Samson. This .21-acre site is zoned RS-6 Single-Family/Two-Family Residential District.

 *B. Review, discussion and possible action on the request for Building, Site and Operating Plan approval for Blind Horse Winery to locate an offsite retail outlet with light dining at W63N674 Washington Avenue in support of their Blind Horse Winery located in Kohler WI. The applicant is Blind Horse Winery in c/o architect Jason Ahrens of Distinctive Design Studio. The current property owner is Ormsby Acquisitions LLC. This .18-acre site is zoned B-3 Central Business District with Historic Preservation Overlay District.

 *C. Review, discussion and possible Action/Recommendation to the Common Council on a DRAFT Resolution prepared in support of the City's plan to begin the process of updating its current "Smart Growth Comprehensive Land Use plan – 2025". This DRAFT Resolution contains the proposed "Public Participation Plan" to be followed through the course of the pending update.

- *D. Review, discussion and possible Action/Recommendation to the Common Council on a DRAFT Ordinance prepared in support of adding “Outdoor Dining/Drinking/Seating/Gathering Space With or Without Alcohol Consumption” and “Outdoor Entertainment Use–Amplified or Not” to the list of Conditional Uses in the B-1 Neighborhood, B-2 Community, and B-3 Central Business Districts.

9. COMMENTS AND ANNOUNCEMENTS BY PLAN COMMISSIONERS

10**. MAYOR’S ANNOUNCEMENTS

11. ADJOURNMENT

* Information attached for Commission Members; available through City Clerk’s office.

** This topic is to be limited to such items as establishing the next meeting date, items for the next agenda, reminders of scheduled community events, etc.

City of Cedarburg is an affirmative action and equal opportunity employer. All qualified applicants will receive consideration for employment without regard to race, color, religion, sex, disability, age, sexual orientation, gender identity, national origin, veteran status, or genetic information. City of Cedarburg is committed to providing access, equal opportunity, and reasonable accommodation for individuals with disabilities in employment, its services, programs, and activities. To request reasonable accommodation, contact the Clerk’s Office at (262) 375-7606 or email: cityhall@ci.cedarburg.wi.us.

MEMBERS – PLEASE NOTIFY CITY CLERK’S
OFFICE IF UNABLE TO ATTEND MEETING

It is possible that a quorum of members of the Common Council may attend Plan Commission meetings held the first Monday of each month at 7:00 p.m. No business will be conducted by the Common Council and no action will be taken. Attendance is for the purpose of information gathering and exchange.

06/27/2024

**CITY OF CEDARBURG
PLAN COMMISSION**

**PLN20240603-1
UNAPPROVED MINUTES**

June 3, 2024

A regular meeting of the Plan Commission of the City of Cedarburg was held on Monday, June 3, 2024, at Cedarburg City Hall, W63N645 Washington Avenue, upper level, Council Chambers and online via the zoom app. The meeting was called to order at 7:00 p.m. by Mayor Patricia Thome.

Roll Call	Present -	Mayor Patricia Thome, Council Member Jim Fitzpatrick, Adam Voltz, Sig Strautmanis, Jack Arnett, Jon Scholz
	Excused-	Sherry Bublitz
	Also Present -	City Planner Mary Censky, Administrative Secretary Theresa Hanaman, Applicants, Citizens, News Graphic, Common Council Member Kevin Curly, Common Council Member Robert Simpson, Common Council Member Melissa Bitter

STATEMENT OF PUBLIC NOTICE

Administrative Secretary Hanaman confirmed that the agenda for the meeting had been posted and distributed in compliance with the Wisconsin Open Meetings Law.

APPROVAL OF MINUTES

Commissioner Strautmanis made a motion, seconded by Council member Fitzpatrick, to approve the Plan Commission minutes from the May 6, 2024 meeting. Motion carried without a negative vote, with Commissioner Bublitz excused.

COMMENTS AND SUGGESTIONS FROM CITIZENS

Robert Vandennoven – W68 N1068 Kensington Avenue

Resident Vandennoven is requesting Wauwatosa Road to Highway 60 and Highway I to Highway 60 does not become a barrier to Cedarburg. The resident asked Plan Commission to focus on pedestrian movements and traffic. Resident Vandennoven suggested making the Right of Way 60 feet instead of 66 feet which was proposed in the March plan, add more green space, reduce speed limit, and make a wider terrace.

Cathy Czech – N119 W5835 James Circle

Resident Czech questioned the status of the task force with citizens who would like to work on the Smart Growth Plan.

PUBLIC HEARING

**CORNERSTONE BUILDINGS LLC PETITION FOR CONDITIONAL USE APPROVAL
TO OPERATE A TOURIST ROOMING HOUSE LOCATED AT W50 N6208 WESTERN
AVENUE**

Mayor Thome opened the Public Hearing regarding the application for a Conditional Use Permit to allow a Tourist Rooming House (i.e. Airbnb). Planner Censky explained the tourist rooming house use will include the main entrance, a half bath, and social area on the first floor and the second floor will include three bedrooms, and two full bathrooms.

According to the Zoning Ordinance, Planner Censky stated that Tourist Rooming Houses are defined as all lodging places and tourist cabins and cottages, other than hotels and motels, in which sleeping accommodations are offered for pay to tourists or transients as regulated under Wisconsin Chapter DHS 195. In the B-3 Central Business District Tourist Rooming Homes are listed as permitted by Conditional Use requiring a public hearing before the Plan Commission. Planner Censky indicates that this site has sufficient parking at the rear of the building to support this use, is appropriate in the downtown area, and is consistent with other tourist rooming house's previously approved in this area.

Greg Zimmerschied N67 W5389 Cedar Court, Cedarburg

Mr. Zimmerschied confirmed with Plan Commission that the business name should be corrected to reflect Cornerstone Buildings, LLC. The applicant would like to confirm that guests are allowed to use the outdoor deck and limited outdoor space located on the property. He requested that the exclusion on grills and picnic tables also be removed. Council member Fitzpatrick and Commissioner Arnett questioned the overly restrictive nature of Paragraph 8 in the draft Conditional Use Permit.

PUBLIC HEARING COMMENTS

Council member Bitter questioned the parking situation for the property and the parking lot. Planner Censky noted there are two stalls onsite at this property and the neighboring property/parking lot are in common ownership. Planner Censky commented that parking on the neighboring property is probably peak during the day and available to absorb some overflow demand from this tourist rooming house during the night.

Motion made by Commissioner Arnett to close Item 6A for the public hearing. Council member Fitzpatrick seconded the motion. Motion carried without a negative vote, with Commissioner Bublitz excused.

Motion made by Council member Arnett to approve Item 6A subject to the revisions of paragraph 8 in the Conditional Use Permit which removes all restrictions except for fire pits which will remain and noting that use of a grill is allowed subject to compliance with the fire department regulations, motion seconded by Council member Fitzpatrick. Motion carried without a negative vote, with Commissioner Bublitz excused.

**REQUESTING CONDITIONAL USE PERMIT APPROVAL TO OPERATE FOR
PROPERTY LOCATED AT W63 N170 WASHINGTON AVENUE**

Mayor Thome opened the Public Hearing regarding the application for a Conditional Use Permit to operate for property located at W63N170 Washington Avenue.

La Cantina Mexican restaurant was previously occupied by the Dairy Queen restaurant. According to Section 13-1-54 B-2, Community Business District, restaurants are listed as permitted by Conditional Use Permit. Section 13-1-226 Conditional Use Permits indicates that any proposed change in the operation shall be subject to the conditional use procedures as if such use were being established anew. Planner Censky spoke with the applicant who is seeking to change the operation, which most recently operated as a Dairy Queen restaurant, to a Mexican style restaurant with indoor seating. This use will also include full-service beer, wine and liquor bar licensure. The Plan Commission is requested to document this change in occupancies/uses through the conditional use approval procedure. Other than the interior remodeling and a new monument sign, the traffic circulation and parking will be unchanged.

Planner Censky mentioned the drive-thru window will remain in existing condition, but its use will now be limited to passing out food that has been electronically pre-ordered. The existing drive-thru menu/order board is going to be removed. Regarding signage, the applicant will be using the existing monument sign structure onto which they will mount their new 32 square foot sign face. This sign has already been reviewed by the City Building Inspector and a permit was issued.

The applicant mentioned a liquor license was applied for in January, as well as building permits and all permits were approved. City Administrator Hilvo stated it was an oversight of the city that the Conditional Use Permit was never updated from Burger King to Dairy Queen and going forward this shouldn't happen again.

Commissioner Strautmanis questioned future outdoor seating mentioned in paragraph 8 of the Conditional Use Permit. The applicant responded it will be sometime in the future before they think about adding outdoor seating/consumption as a part of their use. Mayor Thome reminded the applicant if/when they decided to use outdoor seating they would need to come back through Plan Commission.

Motion made by Commissioner Scholz to close the public hearing, seconded by Commissioner Voltz. Motion carried without a negative vote, with Commissioner Bublitz excused.

Motion made by Commissioner Arnett to approve the Conditional Use Permit for La Cantina, Plan Commission acknowledged that a modest addition to the outdoor does not constitute a substantial change of the conditional use and subject to all the other conditions. Seconded by Commissioner Strautmanis. Motion carried without a negative vote, with Commissioner Bublitz excused.

REGULAR BUSINESS

NEUMANN DEVELOPMENT PETITIONED FOR A CONCEPT REVIEW AND DISCUSSION OF THE REVISED CONCEPTUALIZATION PLAN FOR COVERED BRIDGE RESIDENTIAL DEVELOPMENT

Plan Commission was provided revised concept plans based on feedback previously received. Bryan Lindgren from Neumann Developments indicated that their primary interest at this time is to learn whether the City is agreeable to the entire site being developed for planned residential use and says the density, building, site, and phasing plan issues feedback must fill in secondly to that question at this time.

Planner Censky reminded Plan Commission a substantial majority of the site is currently located in the Town of Cedarburg but is within the area of the Boundary Agreement map that is slated to be annexed to the City. This area is designated as “Smart Growth Area-15” on the City’s Land Use Plan Map. The Comprehensive plan describes the SGA-15 Grob Field area along the north side of Highway 60 east of the 5 Corners intersection as a “Neighborhood land use plan that can be adequately served by public utilities must be approved prior to annexation”. The portion of this site that is already in the City (i.e., along Hwy. I) is currently designated part “Office” and part “Medium Density Residential.”

Planner Censky states the applicant proposes to annex all the land that is within the City’s planned ultimate boundary based upon the City/Town Agreement. The applicant would likely request a Land Use designation of “SGA-15A” to be applied over this entire project area. Underlying zoning would then have to be applied, probably as RS-5 Single-Family Residential District, RS-6 Single-Family/Two-Family Residential District, B-1 Neighborhood Business District or B-2 Community Business District. The Planned Unit Development (PUD) Overlay District would be overlaid on the entire project area.

The concept plans, including sufficiently detailed density, building, site, and phasing plans would initially be inserted as the Concept for the PUD.

If there is a reasonably sure sense given in feedback from the Commission, that mixed, medium density, one and two family attached residential is a suitable use for this entire site, the applicant would begin a six-to-eight- week period of work with the Staff to iron out several concept site plan issues such as:

- Phasing boundaries as compared to currently available utility services.
- Phasing boundaries as compared to the public safety and maximum cul-de-sac length regulations because there is proposed to be just a single point of ingress/egress to this site serving a substantial number of homes for an extended period.
- Possible configuration of a slightly more direct east/west route through this 1-mile-wide neighborhood.
- Settling of any Town related issues as necessary to ensure eventual interconnection through to Covered Bridge Road.

This work period would also involve the applicant working with the Staff (and hopefully the architects of the Planning Commission) to establish specific PUD regulations addressing the architectural styling/diversity, materials, colors, setbacks, offsets, scale and mass of homes and duplex condominiums to be built in this development. The applicant would return by the August 5th meeting with a final, and substantially more detailed concept for review, discussion and feedback by the Commission.

Kurt Petrie 30614 Durand Avenue, Burlington spoke on behalf of the Covered Bridge property.

Mr. Petrie's Grandfather owned this property with the airport. After the airport ceased operations, it was requested that the airport remove the lighting and their family complied. As stewards of the property the Grob family has been a major contributor for the Cedarburg Library, soccer clubs, and donating land for the fire department. The Grob family had a farm near the water tower in Grafton and have been good stewards for the community. Mr. Petrie reiterated their need to sell the property to Neumann Development in a timely manner as the family is working through generational separation of assets.

Bryan Lindgren of Neuman Developments would like a collaborative effort in the smart growth plans and wants this project to have a positive impact on Cedarburg for many generations. Information about the housing market, school district statistics, and industry trends was relayed to Plan Commission.

Mr. Lindgren presented and discussed the newest site plan, revised to reflect input received from the City in previous discussions. He stated it includes a number of interesting neighborhood amenities. The original development started with 560 units. The number of homes now is in 414-30 range. Multiple use is the best way to create healthy development and supply housing for a community. Mr. Lindgren went on to explain their intention to provide redundancy control of the neighborhood homes such as size of home, elevation, style and design, and floor plans, along with architectural elements such as roofs, themes, gables, and garages. A PUD would lock in these kinds of details, along with the main plans. There will be a homeowner's association overseeing the area to ensure proper care and maintenance of landscaping and other common features.

City Administer Hilvo relayed an email to Plan Commission from Ben Irwin at the Cedarburg School District. Mr. Irwin was working in reference to the original plans with 595 homes. This plan has been reduced to about 414. The City Administrator went through the highlights of Mr. Irwin's comments regarding this project as related to the School District.

Council Member Fitzpatrick asked what the phasing plan would be like over the next few years, and if it would lessen the impact.

Mr. Lindgren stated that phasing a project this large is necessary. The plan currently envisions 7 – 8 annual phases of construction with home construction starting only after each phase is ready. It may take a little longer, possibly 9-10 years, at a rate of about 50 homes per year.

The biggest concern Commissioner Strautmanis has would be in the details. He stated that a good design does not have to be more expensive, just carefully detailed and he noted he will be hyper focused on the lot layouts and individual home design/scale/placement strategies.

Commissioner Voltz questioned the impact on infrastructure such as sewer and water, the school district, as well as if the City will have control to ensure the connection from Covered Bridge to Highway I. Confirmation from Planner Censky regarding the purpose for a PUD which mutually benefits the developer and City. A PUD contains all the details that would be agreed upon together and locked into that development agreement, and any exception would have to go back to Plan Commission.

Commissioner Arnett mentioned that it would be ideal to provide access to the bike path and interurban trail, noting possible grants available. City Administrator Hilvo indicated Ozaukee County is currently discussing extending a bike path from 1st Avenue to Five Corners. Also, there have been discussions about Highway I and 60 becoming a roundabout to make it pedestrian friendly. The City is also working with the Town of Cedarburg and learning about their master plan.

Planner Censky stated that in next 6-8 weeks Neumann would work with staff on further refinements and come back by August with a more detailed set of concepts such as the individual home design/scale/placement design strategies, and preliminary feedback from the DOT reference traffic impact analysis. The DOT is asking and looking at all the other future and pending uses in the area and will have the Wirth property as a possibility in the future. There was a request to have a joint meeting and discussion with Common Council on Monday June 10th.

Greg Zimmerschied states we cannot ignore the economic development of Cedarburg. Cedarburg is currently land locked and we should look at this as an opportunity. Cedarburg is always talking about minimizing development plans and maximizing tax increments. He advised looking at Fairway Village as a learning experience.

Cathy Czech N119 W5835 James Circle, Cedarburg

Ms. Czech would like to remind Plan Commission of the 414-unit from Covered Bridge Development and the 439-unit development in Grafton, where kids from both developments would attend the Cedarburg School District. Ms. Czech also mentioned there has been no consideration for amenities for families and would like the City to keep this in mind. Ms. Czech asked why the City is rushing this development and not working on smart plan. Ms. Czech would like to see a roundabout with 2 lanes in each direction and right turn lanes on Sheboygan and Highway I. She is also requesting single family homes only, not two families.

Terry King W63N762 Sheboygan Road, Cedarburg

Mr. King suggested Plan Commission look at the details, and said it was his understanding the public would be involved in decisions. Mr. King's concern is the 10-year phase will pass by

quickly and the City will not have a plan on how to handle traffic downtown and what the infrastructure and the cost to the City would be like.

Tom Leja 1426 county Highway I, Cedarburg

It would be a major misstep if the City went forward without looking at the smart plan first before agreeing to another development.

At the mention of the Cedarburg School District and the impact it would have the community Commissioner Arnett mentioned that enrollment statewide has been dropping the last 10-15 years. Commissioner Arnett also informed Plan Commission and residents that traffic recorded on the DOT website says Sheboygan Road has 3900 cars a day, Washington Avenue has 4700 cars, Columbia Road has 5100 cars, and leaving downtown Washington Avenue has 4700, the least traffic in and out of the Cedarburg is Sheboygan Road.

Mayor Thome mentioned staff are already working on some of the impact numbers and plans to discuss if this will be a viable use for this property and what impact it will have on departments in the City.

Mr. Petrie has an extraterritorial agreement with the town property and has water, sewer, and road specs. If the City does not go with some residential subdivision with some density the City has made this property sale proof, and it won't sell.

A motion made by Commissioner Strautmanis for Plan Commission that this concept has reviewed, and the Commission finds the proposed plan is generally consistent with the smart growth land use plan and recommends the Common Council look at the plan to shore up this initial concept step so the applicant can start to invest further in developing more detailed plans (recognizing that concept isn't a final commitment from the City). Seconded by Commissioner Arnett. Motion carried without a negative vote, with Commissioner Bublitz excused.

WEAS DEVELOPMENT IS REQUESTING APPROVAL OF ARCHITECTURAL PLANS TO CONVERT THE FORMER BMO HARRIS BANK INTO A MEDICAL CLINIC AND TO APPROVE A CERTIFIED SURVEY MAP TO SPLIT THE SITE INTO TWO FOR PROPERTY LOCATED AT N69W5269 COLUMBIA ROAD.

The applicant is requesting approval to convert the former BMO Harris Bank located at the corner of Highland Drive and Columbia Road into a medical clinic. Planner Censky added that medical clinics are listed as permitted uses by right in the B-2 District.

According to this plan, the ingress/egress points to Columbia Road and Highland Drive will remain unchanged but since the applicant proposes to divide away the smaller office building at the east end of the site, they will be removing, and restoring to greenspace, the paved connection between the two front parking lots. Parking for the office building already exists on an outlot located in the Town of Cedarburg. It will be maintained in its current configuration. There is no dumpster enclosure shown on the plan or preexisting at the site, to support this split-off office

building. If a dumpster or other outdoor trash containment becomes necessary to serve this building, Planner Censky stated a location and screening plan will need to be preapproved before starting outdoor trash storage. It may be that the dumpster would end up on the portion of the property that is in the Town of Cedarburg, in which case the City expresses its hope that the enclosure would reflect the materials and colors of the principal building on the site.

The primary ingress/egress points from the clinic site to Highland Road and Columbia Road will continue essentially per existing conditions. There is, and will continue to be, left & right turn in and out at both points. While they propose to reconfigure the front parking area to accommodate the proposed addition, the plans retain the remainder of the parking lot as is. Code standard applied to this clinic uses calls for 42 stalls, the plan proposes 54 parking stalls. Dumpsters serving the clinic's use will be located directly east of/behind the building and will be screened by a screening wall with gates of horizontal plank panels to compliment the look and feel of their building. Staff's review of other components of their site plans indicates compliance with open space, setbacks and FAR requirements as well.

According to plans, the applicant is proposing an 11,167sf addition off the front building elevation adjacent to the main entrance to the building. Architecturally, while the plans are designed to complement the look of the existing building in terms of the color scheme and use of material, the roof is flat unlike the existing gable design. The existing building will be modified to align the first-floor levels which will require raising a portion of the of the second floor to provide adequate ceiling heights. It appears that significant new HVAC equipment will be placed on the roof of the flat-roofed addition.

The existing landscaping will be pruned and maintained as necessary and new landscaping will be installed on the north and east sides of the addition. The new landscaping will consist of native and ornamental plantings along the foundation of the new addition.

The CSM will serve to split the existing 89,097sf parcel into two parcels of 65,474sf and 26,623sf in size. Section 13-1-54 (f) of the Zoning Code indicates that lots in the B-2 District shall provide sufficient area and width for the principal building and its accessory buildings. Staff's review indicates full compliance in that respect; however, the new/common lot line does cross through the parking lot and traffic pattern of the medical clinic site. Therefore, the applicant will need to generate the necessary parking/driveway easement document and to reflect this easement on the CSM prior to the recording.

Planner Cesky recited the recommended conditions for approval as follows:

- Submittal of a shared driveway/parking easement along with the private conveniences defining the use and maintenance responsibilities, such easement to be reflected on the CSM as well and prior to recording.
- Applicant to submit a rooftop HVAC equipment screening plan for review and approval by the Planner prior to issuance of a building permit, such screening plan to reflect the materials and colors used in the facade and trim of the principal building.
- The gates on the dumpster enclosure are to be closed at all times except when trash is

being added or removed.

- Applicant to remove the asphalt drive along the north side of the split-off office building site and restore that area to greenspace, prior to issuance of an occupancy permit for the new medical clinic.
- Applicant to comply fully with the requirements of the Cedarburg Fire Department.

Commissioner Voltz expressed concern with the relationship of the new addition to the existing building and feels it does not look complimentary. The horizontal band of clap board siding on the addition above the masonry is not a detail Commissioner Voltz feels looks coordinated with the existing building. Commissioners commented that the addition looks boxy and doesn't fit the nicely gabled design of the existing building they're adding on to. Commissioner Voltz would like to see a change in proportion to make it come together more elegantly. Commissioner Voltz thinks the proposed addition needs to blend much more sensibly as to roof lines, scales, and mass as it meets into the existing structure.

Commissioner Strautmanis expressed unease with adding a flat roof building to a historic structure. The contemporary vibe with the additional upper band of siding makes the look top heavy. Concerns were expressed about the window designs along the Columbia Road frontage of the addition. Commissioner Scholz agrees the addition looks like an appendage. Mayor Thome remarked it looks like the addition was placed there vs. being less distinguishable from the original construction.

Renee Kubesh, EUA Architects 333 E Chicago Street, Milwaukee, WI, spoke on behalf of the applicant. She explained they were looking at challenges of the site in respect to the set back to Cedar Creek. The plans represent purpose driven design for the clinic which is to serve health care needs in an orderly way. For the care team, space and exam rooms are the main reason for pushing forward to Columbia Road. When EUA was looking at roofs that were the same or similar slope as current structure, the addition a bigger footprint for proper health care service. Ms. Kubesh discussed taking the site to modern standards with smaller windows and elevations, so patients are comfortable in their healthcare setting. Ms. Kubesh mentioned they took cues on the height of stone and character of the siding to blend with the existing building. Higher ceiling heights are needed for duct work, sprinklers, and other mechanicals.

Commissioner Strautmanis expressed concern and questioned why the original building rooflines could not be continued to make a more organic. Ms. Kubesh mentioned the existing footprint would not be ideal for any healthcare layout. The space was not deep enough and if an addition was not added then the staff could be spaced out between two different areas for optimum efficiency.

Planner Censky suggested a decorative solution might be considered as partner to the flat roof to help blend the addition. Commissioner Strautmanis also mentioned that the HVAC screening requirement could be if the roof design guided away from being simply flat.

Ms. Kubesh stated the Cedar Creek side will not be touched due to the current environmental corridor as they are very specific. Existing setbacks that go along Cedar Creek. The building already meets the setback limits and if the applicant were to expand it the setback would not be complying.

Commissioner Strautmanis expressed his unequivocal support to the use and concept plans and thinks it's a great use long term but is a very important architectural decision in such a high-profile corner as this. The original building is beautiful, and this is the first time seeing this concept.

Connor Weas 172 N Broadway, Milwaukee, WI spoke on behalf of the applicant. Mr. Weas reiterated that the architecture program within the space is quite intentional. He noted the original building will hold the lobby space, wellness, lab, and similar, the new addition will be. Windows in the addition are made to make patients feel more comfortable so there is no visibility to the outdoors for patients. This new addition reflects the programming of the space with the architecture they presented acceptable to the team and would like to continue to move forward.

Mayor Thome is excited that the building will be used for this purpose. The entry point into the community has been such a statement and do not want to diminish or completely change but understand that it must be practical for the use of the clinic. Such a significant change from what we saw the first time around and to have something like this approved in one meeting is unlikely. Mayor Thome informed the applicant they would have to come back to Plan Commission in July. Mayor Thome would not want to rework agreements and City is not in a position of comfort and would appreciate a staff working relationship.

The City Administrator requested Weas Development to consult with the City Planner and bring this back to planning with modification for the July Plan Commission Meeting.

Commissioner Strautmanis made a motion to recommend approval of the Certified Survey Map on the condition that it is not recorded until after the drive through banking structure is razed and removed from the site. Also, subject to a driveway easement on Lot 2 benefiting Lot 1. Commissioner Arnett seconded the motion. Motion carried without a negative vote, with Commissioner Bublitz excused.

BLANCA'S COMMERCIAL KITCHEN IS REQUESTING APPROVAL FOR OUTDOOR SEATING AT W63N540 HANOVER AVENUE ASSOCIATED WITH AN OUTDOOR ALCOHOL LICENSE

The applicant would like to reflect the correct name of the business as Blanca's Commercial Kitchen not That Taco Guy.

The applicant is requesting approval of an Outdoor Alcoholic Beverage License to serve alcohol beverages in a small area to be cordoned off adjacent to his Blanca's Commercial Kitchen business use/building. According to Section 7-2-17(b) of the City's Code of Ordinances, the applicant must request an outdoor seating area and indicate the nature of fencing and measures intended to provide

control over the operation of the outdoor seating area. After review of records Planner Censky indicates that an outdoor seating area for a beer garden was once permitted in this same area for Romano's Pizzeria and operated without any problems for years.

The applicants propose several metal tables with metal chairs to be placed within the fenced areas. The fenced areas will include an 8-foot-deep space (as measured from the wall) along the entire front/north elevation of the commercial kitchen building plus a squared-off space, approximately 15- feet x 15-feet, in the 'L' of the building on the west elevation. The cordoning-off is to be accomplished using retractable strap separators extending between weighted steel posts. The straps, poles and tables/chairs are all black in color.

Planner Censky raised no specific objections to the plans as presented but recommends that the following conditions be considered for attachment to any approval as the Commission may inclined toward granting in this matter:

- 1) Applicant to substitute in, at all outside corners and in the midway point across the front of the building, a wooden planter (to be maintained in seasonally robust plantings) in place of the posts. This will improve the aesthetic appearance of this outdoor seating/consumption area, be consistent with the manner of cordoning off in use at New Fortune, and make the area more visible to vehicles passing through this drive easement area. Planter type, size and color shall be subject to review and approval by the City Staff prior to installation.
- 2) Applicant to maintain a minimum 20-foot clear space (i.e. between the southeast corner fence post on adjoining W63 N548 Hanover Drive and any part of the enclosed seating area enclosure) for two-way vehicle traffic to pass through this drive easement area, or more if/as may be required by either the Police or Fire Departments for public safety reasons.

All traffic will be focused on Hanover. The parking lot is private and not open to public parking. Lillies has a parking spot and the tenant upstairs.

Commissioner Strautmanis is questioning the point of control for the outdoor space with the example of Lime Cantina and The Stagecoach. Blanca's Commercial kitchen is used for food prep only and not open to the public. Commissioner Strautmanis suggested the outdoor space be controlled by the applicant. Commissioner Strautmanis also suggested planters to be placed around the seating area to give some protection to seating area.

When questioned about traffic the applicant mentioned when Ramono's left the area the public thinks the parking area is a public street and public parking. The applicant has put up signs and try to educate people it is not a through street. The applicant is planning on adding additional signs. Conditions from the fire department are to ensure 20 feet is maintained for 2-way traffic and to add planters as a barrier

A motion made by Council member Fitzpatrick to approve seating associated with the outdoor alcoholic beverage license subject to the conditions set forth above. Seconded by Commissioner Arnett. Motion carried without a negative vote, with Commissioner Bublitz excused.

DISCUSSION AND POSSIBLE ACTION ON REVIEW AND CERTIFICATION OF CODE OF ETHICS.

City Administrator Hilvo inquired whether all Plan Commissioners had received and reviewed their copy of the City's Code of Ethics. All in attendance replied yes, with no questions.

PUBLIC COMMENTS- none

COMMENTS AND ANNOUNCEMENTS BY PLAN COMMISSIONERS - none

MAYOR'S ANNOUNCEMENTS - none

ADJOURNMENT

A motion made by Commissioner Arnett, seconded by Common Council Member Fitzpatrick to adjourn the meeting at 10:24 p.m. with Commissioner Bublitz excused. Motion carried without negative vote, with Commissioner Bublitz excused.

Theresa Hanaman
Administrative Secretary

PLANNERS REPORT

To: City of Cedarburg Plan Commission

By: Mary Censky

Date Prepared: July 1, 2024

General Information:

Agenda Item: 7.A.

Applicant/Property Owner:

Weas Development LLC w/ consent
of current property owner BMO Bank
N.A.

Requested Action:

Building, Site, and Operating Plan
approval.

Current Zoning:

B-2 Community Business District

Current Land Use Plan Classification:

Commercial

Surrounding Zoning/Land Use:

North: B-2 Community Business
District

South: Cedar Creek

East: B-2 Community Business
District

West: B-2 Community Business
District

Lot Size:

1.5 acres

Location:

N69 W5269 Columbia Road

Discussion:

The Planning Commission did review and consider this request at the June 3, 2024 meeting. The use, building and site plans were generally well received with limited few exceptions such as the architectural blending of the addition with the existing building, screening of the rooftop HVAC equipment and ingress/egress at the northmost point along Highland Drive. Action on the plan was deferred pending further work on the architecture and screening, and information being collected about the ingress/egress.

The Planner did reach out to the Police Chief shortly after last month's meeting. I explained that the Commission was considering whether the full contingent of turning moves should be retained at the northmost entry/exit point along Highland Drive. The Chief acknowledged that there may be times when there is a que of vehicles at the intersection which may make certain entry/exit moves at this point feel tricky, but he stated that they have no record of an inordinately high call volume at this site or intersection. He stated that he would not be opposed to leaving the movements 'as is.'

Architecturally, there have been multiple discussions, email exchanges and plan iterations exchanged between Planner and applicant over the past 4 weeks. The Plan Commissioners with architectural expertise were able to review and offer comments/ideas which the applicant considered and worked in to the design, ultimately leading up to this most recent version. This architectural edition appears to substantially improve the pairing of the proposed addition and HVAC screening with the existing building.

The applicant confirms that this medical clinic use is not proposed to include inpatient care, urgent/quick care, or emergency health care services. They also confirmed that typical days/hours of use for this clinic will be approximately 7 a.m. through 8 p.m., Monday – Friday.

Recommendation:

The Planner recommends the following conditions be considered for attachment to any Building, Site and Operating Plan approval the Planning Commission may be inclined to grant in this matter:

- 1) Applicant to secure the necessary building, electrical, plumbing, razing, and any/all other permits as may be required by Code, prior to the start of construction on this project.
- 2) The colors for the rooftop HVAC screening surround shall be color matched to the existing building siding and trim elements.
- 3) To whatever extent the back of wall for the elevated corner feature of the addition are visible to the surrounding view, they shall be finished using the same materials as front side. If a membrane or other material is to backdrop those elevated areas, it shall color match the front side material.
- 4) Applicant to raze and remove the existing drive-thru banking accessory structure on this site prior to the start of occupancy for the medical clinic use.



WEAS DEVELOPMENT | CLINIC REDEVELOPMENT

PLAN COMMISSION SUBMISSION

423513-01 07.01.2024

EUA
333 E Chicago St, Milwaukee, WI 53202

WEAS DEVELOPMENT
172 N Broadway, Milwaukee, WI 53202

PROJECT SUMMARY

The project address is N69 W5269 Columbia Road located at the southeast corner of Columbia Road and Highland Drive. Upon purchase, Weas Development intends to divide the parcel into two separate lots so each of the two existing buildings will be located on their own distinct parcels. This application relates to the west building, the larger of the two structures that recently housed a BMO bank branch. The building will be redeveloped as a medical clinic for a major health system. This redevelopment will involve demolition of the freestanding drive through canopy structure along with a small addition to the west building.

The building will be modified to align the first floor levels to create a continuous level floor for medical use. The floor alignment requires removal of a portion of the second floor to raise the roof for adequate ceiling heights that accommodate the necessary HVAC systems.

Operational Information

The medical use is a primary care clinic consisting of exam rooms and basic laboratory services. The facility will be staffed by 6 physicians and associated support staff including physician assistants, nurses, lab technicians, clinic support staff and an office manager. The estimated staff and physician count is 15-20 people.

Building Schedule

Clinic hours are planned for Monday-Friday 7am-7pm. Contracted cleaning staff may be on site outside of these business hours.

Estimated Project Value (including site improvement costs)

The estimated construction cost of the project is approximately \$4 million.

Impacts on Utilities

The utility impact on the site is minimal. The existing water service and sanitary sewer lateral both have sufficient capacity for the proposed medical use of the building. Storm water drainage on the site will be maintained in its current configuration. The existing north parking area will continue to drain to the east to an existing storm inlet. The new northeast parking area to be constructed where the drive through structure currently exists will drain to two new catch basins that will be connected to the existing storm inlet. The southwest parking and south access drive will drain to existing storm inlets on either side of the bridge structure as well as to an existing concrete flume that is located to the southeast of the proposed dumpster enclosure. Based on the City’s storm water management ordinance, as well as NR151 (WDNR), this site is exempt from storm water management requirements since total land disturbance will be significantly less than 1 acre threshold. Land disturbance is currently estimated at 22,150 Sq. Ft. (0.508 acre).

Traffic Flow Considerations

Access to the site will be maintained at existing curb cuts on Highland Drive and Columbia Road. The main access point on Columbia Road will be improved by removing the drive lane to the separate east building parcel. Removing this access will reduce potential traffic conflicts associated with the existing condition. The proposed design also modifies access at Columbia Road to allow entry and exit. (Current configuration is exit only.) This modification will allow vehicles traveling west on Columbia Road to access the site, while the remaining exit lane will allow vehicles to turn left, right or go straight. The existing right turn lane into the site for vehicles traveling east on Columbia Road will be maintained in its current condition.

The existing parking lot north of the building will be substantially maintained in its current configuration with two-way traffic and perpendicular parking. Approximately 11 parking stalls in the south bay of parking will be removed to provide room for the building addition, while the ADA parking to the west will be reconfigured to provide pedestrian access to the main entry via a new sidewalk located in front of the stalls. The entry and exit driveway on Highland Drive will be maintained in its current condition.

The middle entry driveway on Highland Drive, as well as the access drive associated with the former ATM located on the west side of the building, will be removed and replaced with turf and four parking stalls. The South entry driveway on Highland Drive will be maintained in its current condition, supporting one-way traffic to the east. Removal of the existing drive through structure on the east side of the building allows for the east portion of the parking lot to be reconfigured. Between existing and newly proposed parking, a total of 54 parking spaces, including 5 ADA stalls, will support the clinic and staff. The south driveway will be dedicated to staff and service vehicles.

The existing parking areas that are to remain consist of asphalt and some concrete curb and gutter, and both are currently in very good condition. The proposed parking areas will also be constructed with asphalt with perimeter concrete curb & gutter. The approach to, and the dumpster enclosure itself, will be paved with heavy-duty concrete. Screening for the dumpster enclosure will consist of a CityScapes Horizontal Plank fencing system with textured surface planks. Egress from the lower level of the existing building will be improved with a site stair to provide an accessible means of egress. The existing ingress and egress door on the west side of the building will be maintained and connected to the new parking to the south via a new concrete sidewalk.

Landscaping

The existing landscaping is relatively mature and includes several large canopy trees and planting beds. Existing trees and landscaping will be maintained where possible. Areas of existing landscaping that are overgrown will be maintained with trimming and pruning. Existing planting beds will be weeded and top-dressed with fresh shredded hardwood mulch. Existing landscaping along the street frontages and within the existing parking lot landscape islands will remain to provide perimeter parking lot buffering, shade and enhance the parking lot interior. New landscaping consisting of native and ornamental species will be installed on the north and east sides of the addition. Additional new landscaping will also be installed adjacent to the new parking lot areas to be constructed to the east and west of the building, as well as around the new parking stalls to be constructed off the southwest corner of the building. Areas where pavement removal is planned will be restored with lawn and/or planting beds. Evergreen plantings will be added around the trash enclosure to further screen it from view. The existing fountain at the very northwest corner of the site will be removed and replaced with low plantings.

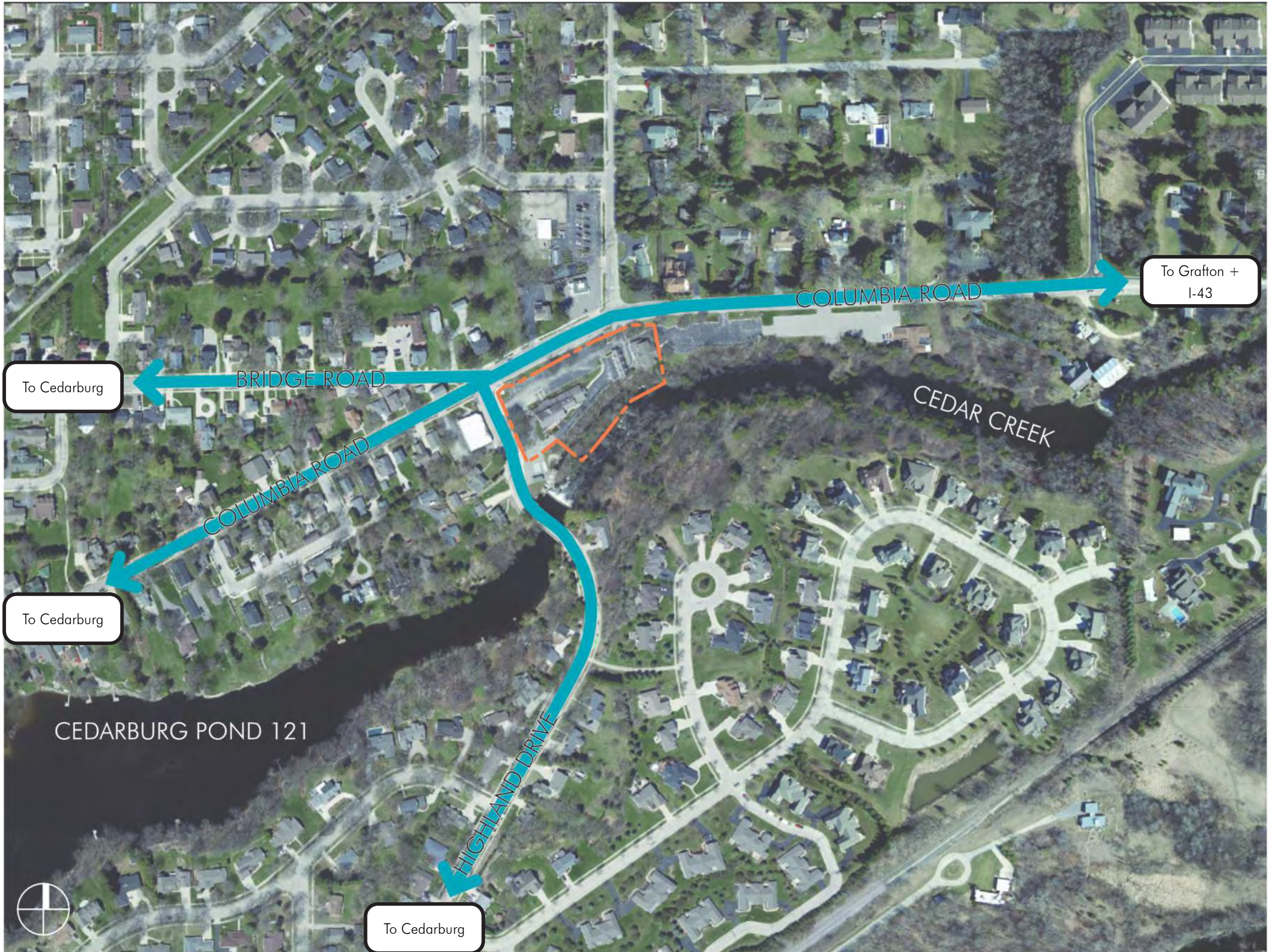
Lighting

The existing exterior lighting condition uses uplighting on the building façade. Site lighting will be added to the parking areas to improve patient and staff safety. The lighting design will use cut-off fixtures to avoid additional uplighting and light intrusion beyond the property.

Signage

Tenant building and monument signage will be submitted separately for approval in a separate review cycle.





SITE LOCATION + CONTEXT

The site is located on the east side of Cedarburg, WI near the boundary with Grafton at N69W5269 Columbia Rd. The site is bounded by Columbia Road on the north and Highland Drive to the west. Cedar Creek forms the south boundary. The eastern edge is a separate parcel located in the Town of Cedarburg that provides parking for an outbuilding on the developed property.





IMAGE: OZAUKEE COUNTY GIS, DOWNLOAD 3/18/2024

SITE LOCATION + CONTEXT

The site has two two-story buildings with basements. The project will remove the drive-thru canopy structure that sits between the two structures. The developer proposes to divide the parcel in two with one structure on each site. Shared access agreements will be created to allow access to the larger west parcel from the new east parcel.

The parcel to the south of the site is owned by the City of Cedarburg and contains various utility infrastructure equipment. The City site is accessed from Highland Drive with an easement through the developer’s parcel.

Cedar Creek borders the property on the east. The waterway establishes setbacks that must be respected with any addition. Development to expand the west building will leave its east and south walls in place to respect the easement. All new development will happen to the north toward Columbia Road.

The east building main access point is from Columbia Road through the adjacent parcel located in the Town of Cedarburg. This access will remain as the sole access point and parking area upon completion of the proposed bank redevelopment.

The site is currently zoned for B-2 Community Business District which allows the proposed medical use. This use should have no adverse impact on neighboring businesses which include office, fitness and food service.

- 1

West building - former BMO Bank
- 2

East building - former BMO Bank
- 3

Drive-thru canopy - to be removed
- 4

City parcel accessed from developer’s parcel - utilities and dam
- 5

Hefner’s Frozen Custard
- 6

Lozen Fitness
- 7

Allstate Insurance
- 8

Town of Cedarburg - access to east parcel from Columbia Rd.
- 9

Cedar Creek
- 10

Proposed parcel division - see Civil drawings for dimensions
- 11

Existing monument sign
- 12

ATM drive thru paving - to be removed
- 13

Drive thru paving between parcels to be removed
- 14

Area to be rebuilt to level interior floor levels and raise roof height.



PROJECT VISION + DRIVERS





EXISTING EAST ENTRY



EXISTING NORTH FACADE



EXISTING ATM DRIVE THRU



EXISTING SOUTH ELEVATION AT ROOF ARE TO BE REMOVED



EXISTING LOWER LEVEL PATIO



EXISTING SOUTH DRIVEWAY (CEDAR CREEK TO THE RIGHT)



EXISTING WEST BUILDING ENTRY AT NORTH FACADE FACING COLUMBIA ROAD



EXISTING MONUMENT SIGN

WEST BUILDING EXISTING CONDITIONS



EXISTING DRIVE THRU CANOPY (TO BE REMOVED)



EAST BUILDING NORTH AND WEST FACADE



MAIN ENTRY AT EXISTING EAST BUILDING



EAST BUILDING PARKING

EAST BUILDING EXISTING CONDITIONS



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VIEW TO BRIDGE ROAD AND COLUMBIA ROAD



VIEW NORTH ACROSS COLUMBIA ROAD



VIEW EAST ON COLUMBIA ROAD



VIEW WEST ACROSS HIGHLAND DRIVE



VIEW WEST ON COLUMBIA ROAD TOWARD SITE



VIEW TO CITY PARCEL FROM SOUTH SERVICE DRIVE



VIEW SOUTH ON HIGHLAND DRIVE



VIEW NORTH AT EAST BUILDING

VIEWS FROM SITE



VIEW FROM NORTHWEST



VIEW FROM SOUTHEAST



VIEW FROM NORTHEAST

EXTERIOR DESIGN - R4



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PROPOSED EAST ELEVATION



PROPOSED NORTH ELEVATION

DESIGN ELEVATIONS



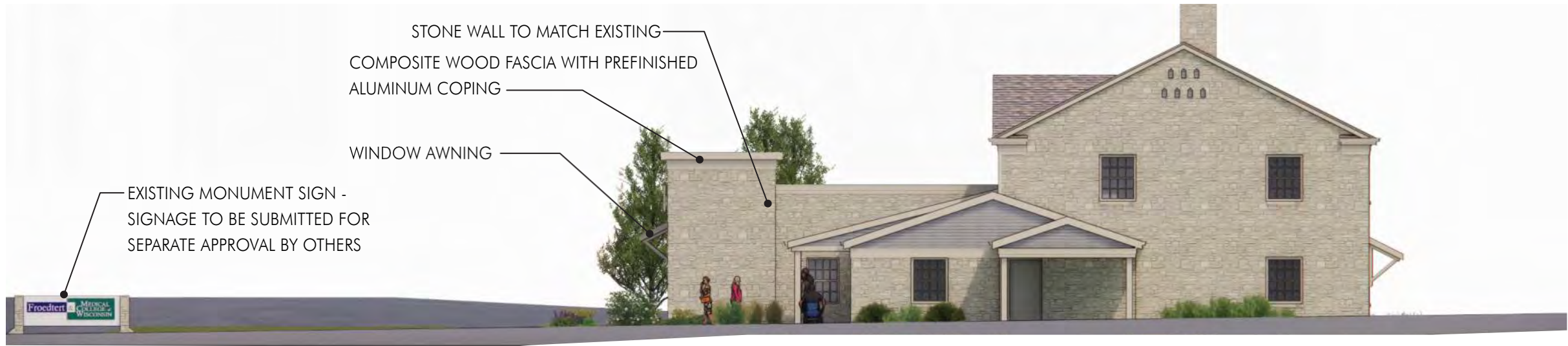
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PROPOSED WEST ELEVATION



PROPOSED SOUTH ELEVATION

DESIGN ELEVATIONS



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WOOD FASCIA AND
PREFINISHED ALUMINUM
COPING

STONE TO MATCH EXISTING

WINDOW AWNING TO MATCH
SOUTH ELEVATION

WOOD FASCIA

WOOD BRACKETS

VISION GLASS

WINDOW COLOR TO MATCH
EXISTING WOOD WINDOWS

STONE TO MATCH EXISTING

FROSTED GLASS
(PATIENT EXAM ROOMS)

STONE SILL



SOUTH ELEVATION DETAIL



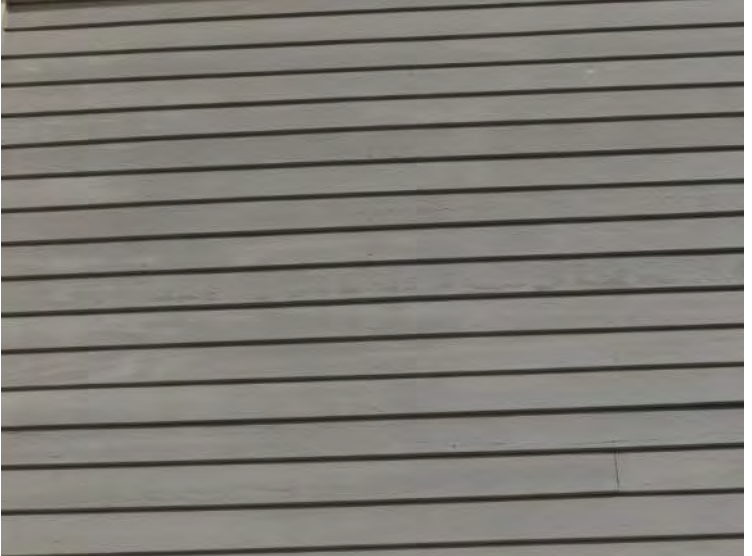
EXISTING SOUTH ELEVATION - **STONE TO REMAIN**



EXISTING EAST ELEVATION - **STONE TO REMAIN**



EXISTING STONE COURSING



EXISTING SIDING - 4.5" CLAPBOARD SIDING

EXTERIOR MATERIALS



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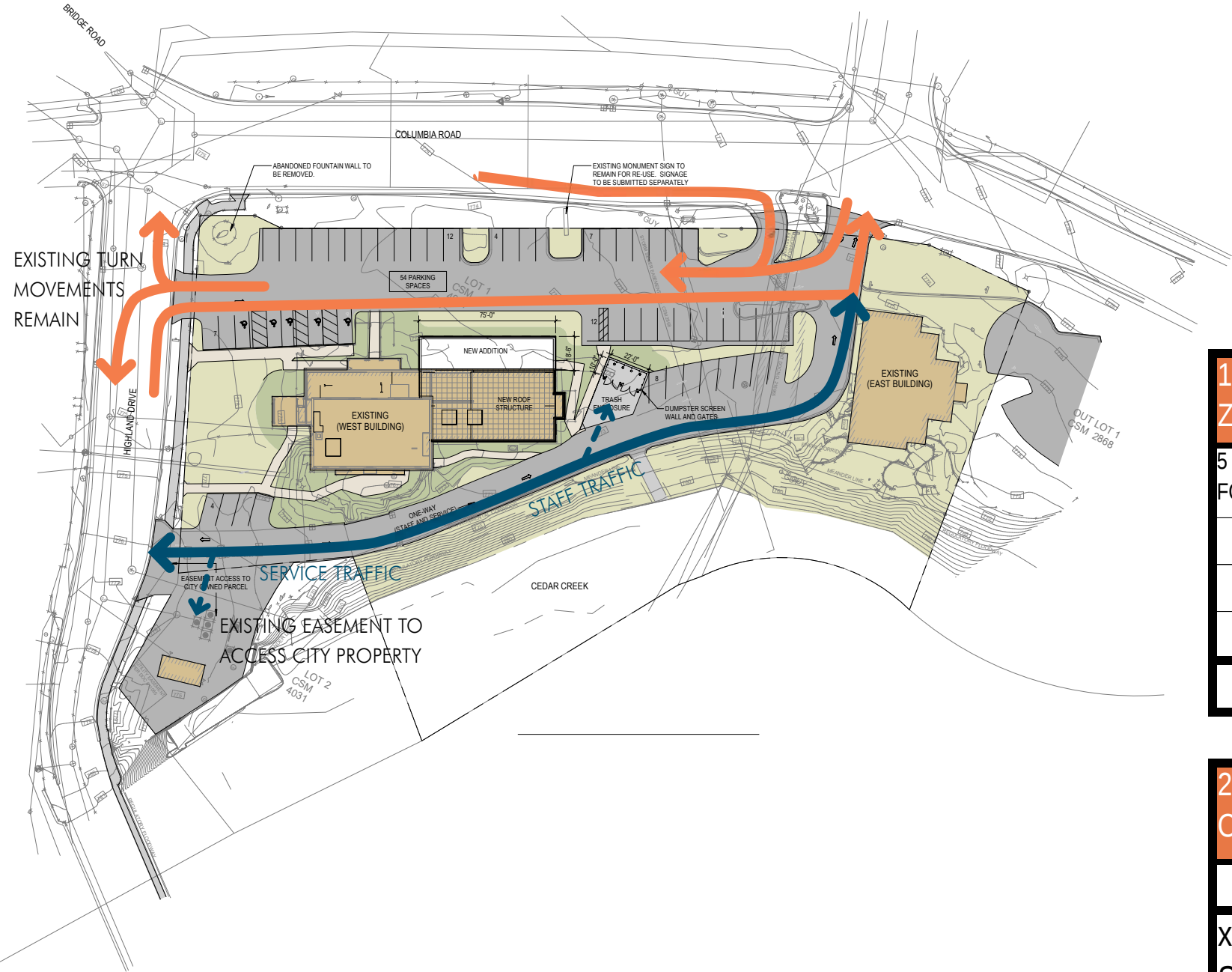
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172 N Broadway, Milwaukee, WI 53202

WEAS DEVELOPMENT | CLINIC REDEVELOPMENT

#423513-01
07.01.2024

TRAFFIC FLOW

- PATIENT VEHICLES
- STAFF AND SERVICE VEHICLES



PARKING NEED DETERMINATION

The proposed use for the west building is medical office. The parking requirement per zoning is based on the number of providers and staff and results in a calculated need of 42 spaces.

Based on the proposed tenant’s experience the parking need is typically greater for this type of medical use. Using a ratio of 4 spaces per 1000sf of clinic area the anticipated parking need is 53 spaces. This approach maximizes the parking available on site and allows for an increased number of accessible stalls for patient use.

The site plan submitted for approval reflects this calculation method and exceeds the minimum required by zoning.

1: If Calc'd per CEDARBURG ZONING REQUIREMENTS	Providers	Ratio		Parking Need
5 SPACES PER PHYSICIAN PLUS 1 SPACE FOR EACH STAFF				
PHYSICIAN / PATIENT	6	5		30
STAFF	12	1		12
TOTAL				42

2: SYSTEM STANDARD - BASED ON DGSF	DGSF	Stalls / 1000sf		Parking Need
X=		4		
x:1000sf Based on Ambulatory Standards	13,340	4		53
TOTAL				53

PARKING CALCULATIONS

PLANNERS REPORT

To: City of Cedarburg Plan Commission

By: Mary Censky

Date Prepared: July 1, 2024

General Information:

Agenda Item: 8.A.

Applicant/Property Owner:

Shane Samson

Requested Action:

Approval of waiver to construct a 912 sq. ft. detached garage where Code provides for up to 720 sq. ft. maximum.

Current Zoning:

RS-6 Single-Family/Two-Family
Residential District

Current Land Use Plan Classification:

Mixed Single-Family/Two-Family
Residential

Surrounding Zoning/Land Use:

North: RS-6 Single-Family/ Two-Family Residential District

South: RS-6 Single-Family/ Two-Family Residential District

East: RS-6 Single-Family/ Two-Family Residential District

West: RS-6 Single-Family/ Two-Family Residential District

Lot Size:

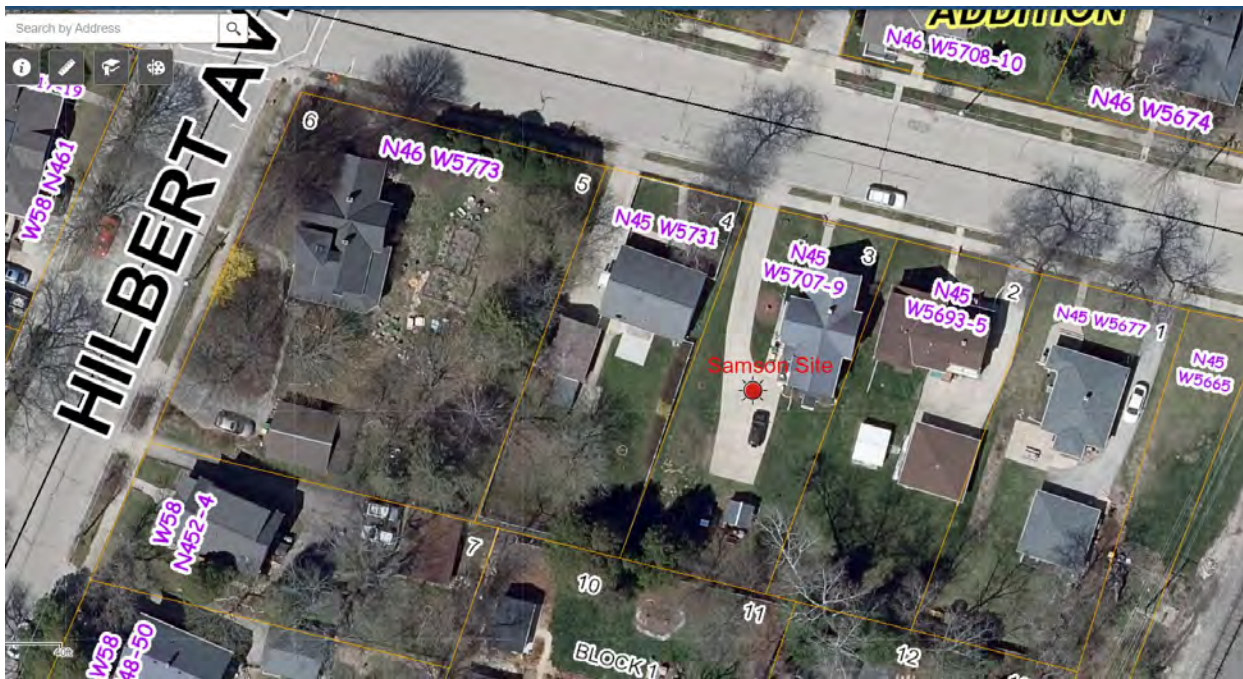
.21-acres (9,148 sq. ft.)

Location:

N45 W5707-09 Spring Street

Discussion:

This site presently has no garage. The permitted use is duplex residential. Mr. Samson proposes to construct a 38'wide x 24' deep, 912 sq. ft. detached, 4-car garage to support this duplex residential use.



Section 13-1-101(g) of the City Code provides that:

- Accessory uses and detached accessory structures are permitted in the rear yard only;
- They shall not be closer than ten feet to the principal structure;
- Shall not exceed 20 feet in height;
- Shall not be closer than three feet to any lot line nor five feet to an alley line;
- All accessory structures combined, in a single-family and two-family residential district, shall not exceed 720 square feet in area;
- A maximum of two detached accessory structures are allowed on a residential lot;
- Appeals for a waiver to the restriction on the size of accessory structures shall be made to the Cedarburg Plan Commission”.

Mr. Samson’s lot is approximately 60 feet wide at the rear, leaving more than enough space for him to meet the required 3-foot offsets to the side and rear lot lines. There is also plenty of room to maintain the required 10-foot separation between the proposed new detached garage and the principal residence structure. The building plan shows overall building height to be 15’8 $\frac{11}{16}$ ” tall at the peak. Currently, there is a small garden shed on the property. Mr. Samson indicates he intends to remove this shed from the property in favor of the new garage, if a waiver is granted.

Recommendation:

The Planner recommends the following conditions be considered for attachment to any waiver approval the Planning Commission may be inclined to grant in this matter:

- 1) Applicant to secure the necessary building, electrical, and any other permits as may be required by Code, prior to the start of construction on this detached garage structure.
- 2) Applicant to remove the existing garden shed from this site within 30 days of completion of the new detached garage.



LAND DEVELOPMENT APPLICATION

PROPERTY LOCATION/ADDRESS: N45W5707 Spring ST CEDARBURG WI 53012
APPLICANT/BUSINESSNAME: SHANE SAMSON
APPLICANT/BUSINESS ADDRESS: N45W5707-9 Spring ST Cedarburg WI 53012
STATUS OF APPLICANT: ☒ OWNER ☐ AGENT ☐ BUYER ☐ OTHER _____
PHONE: 262-355-5486 EMAIL: SHANE SAMSON 69@GMAIL.COM

PROPERTY OWNER (IF DIFFERENT): _____

PROPERTY OWNER MAILING ADDRESS: SAME AS ABOVE

PROPERTY OWNER PHONE: 262-355-5486 PROPERTY OWNER EMAIL: _____

REQUEST FOR (CHECK ALL THAT APPLY):

- | | |
|--|--|
| ☐ CONCEPT REVIEW | ☐ CONDITIONAL USE ZONING |
| ☒ SITE/ARCHITECTURAL PLAN APPROVAL | ☐ ANNEXATION REQUEST |
| ☐ SUBDIVISION PLAT OR CSM REVIEW | ☐ VARIANCE/BOARD OF APPEALS |
| ☐ ZONING DISTRICT CHANGE | ☐ OTHER _____ |

DESCRIBE REQUEST: Build new construction 4 CAR Garage For Duplex 2-Family. < OLD GARAGE TAKEN DOWN 15+ YRS AGO.

PLEASE SUBMIT: FIVE (5) COPIES OF WRITTEN DESCRIPTION OF PROPOSAL OR REQUEST FOR CITY STAFF REVIEW
FIVE (5) FULL SETS OF SUPPORTING DRAWINGS, SKETCHES OR SURVEY MAPS FOR CITY STAFF REVIEW
THIRTEEN (13) SETS OF PLANS (11" x 17" MAX) FOR PLAN COMMISSION REVIEW

The undersigned certifies that he/she has familiarized themselves with the State and Local codes and procedures pertaining to this application. The undersigned further hereby certifies that the information contained in this application is true and correct. This application shall be signed by the property owner(s).

PROPERTY OWNER(S) SIGNATURE: Shane Samson DATE: 6-7-24

FOR CITY STAFF USE ONLY

TOTAL FEE: \$ _____ (SEE FEE SCHEDULE ON REVERSE PAGE) DATE FEE PAID: _____

APPLICATION AND FEE RECEIVED BY: _____ PLAN COMMISSION MEETING DATE: 7/1/24

ATTACHMENTS (CHECK IF RECEIVED):

☒ FIVE DESCRIPTIONS

☒ FIVE FULL-SIZE SETS

☒ THIRTEEN PLAN SETS

PROPERTY TAX KEY NO/PLAN COMMISSION FILE NO: _____

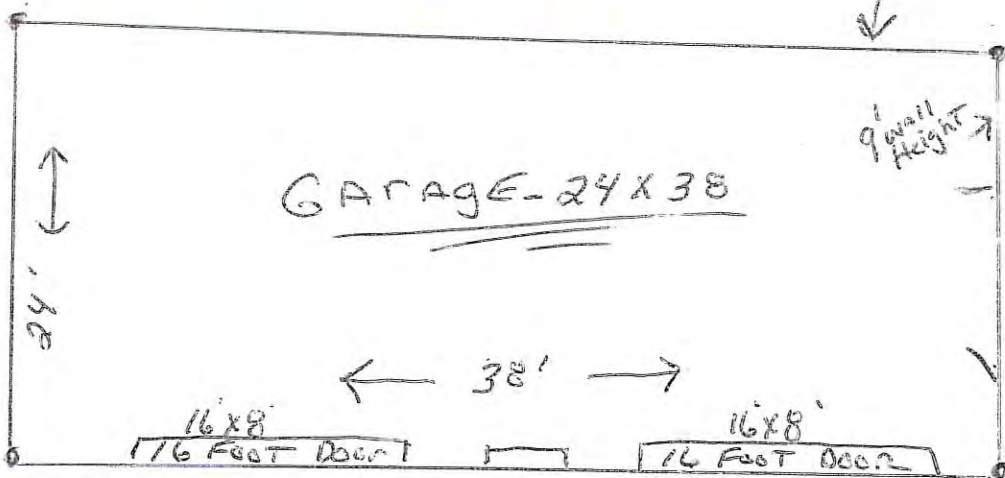
ZONING: _____ ALDERMANIC DISTRICT: _____ PREVIOUS MEETING: _____

FENCE - LOT LINE

* MIN. 3 FT OFF LOT LINE

← 60 FEET Total Length →

MIN. 3 FT OFF LOT LINE



FENCE - LOT LINE

House to Garage
← Approx. 51 Feet

EXIST.
DRIVE

FLOWER
BED

HOUSE - Duplex
Shane Samson
N45 W 5709 - 9 Spring St
CEDARBURG, WI 53012

Flower
Bed

DRIVEWAY

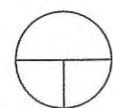
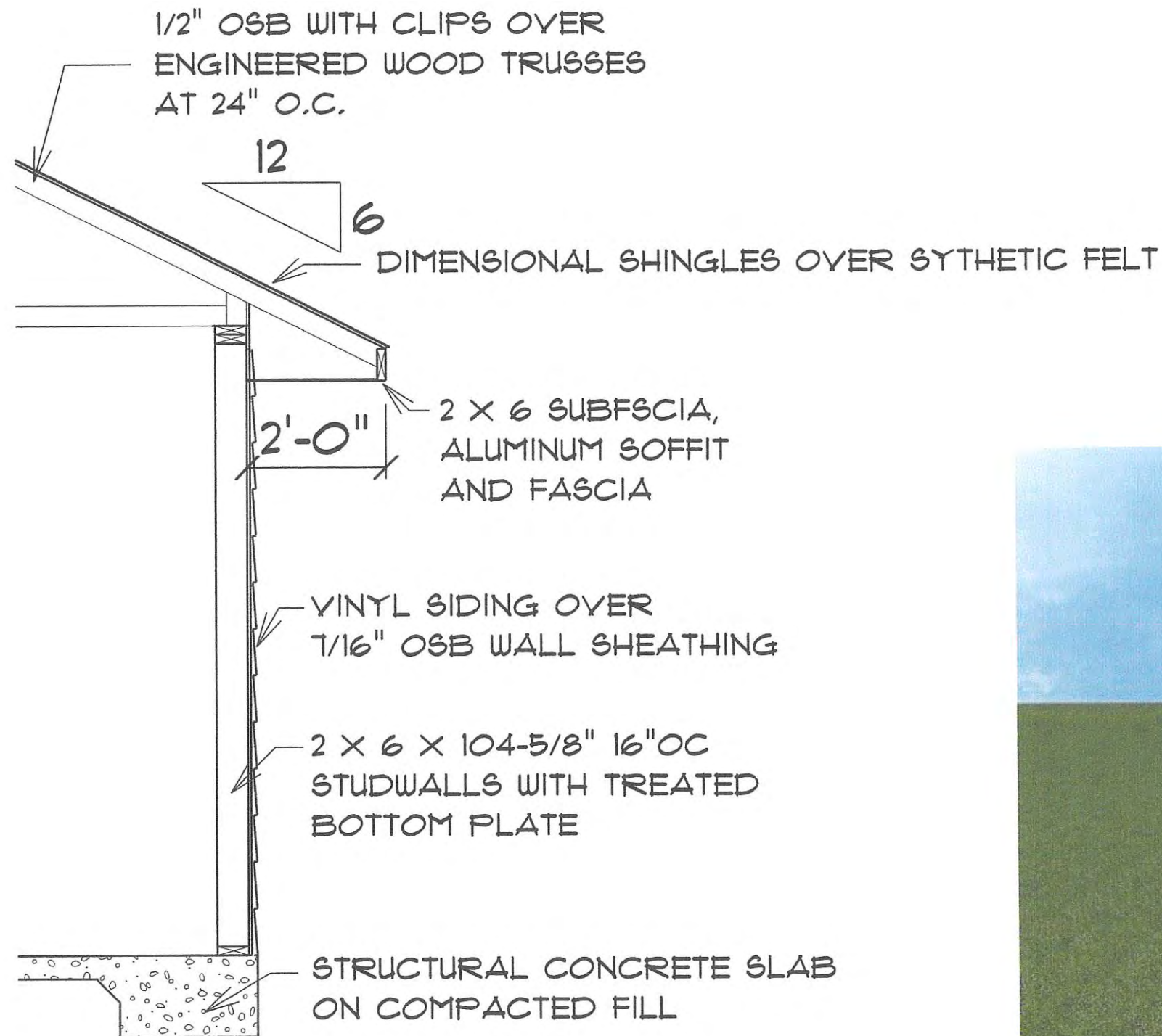
← 151 FEET Total Length →

FENCE - LOT LINE

64 FEET Total Length

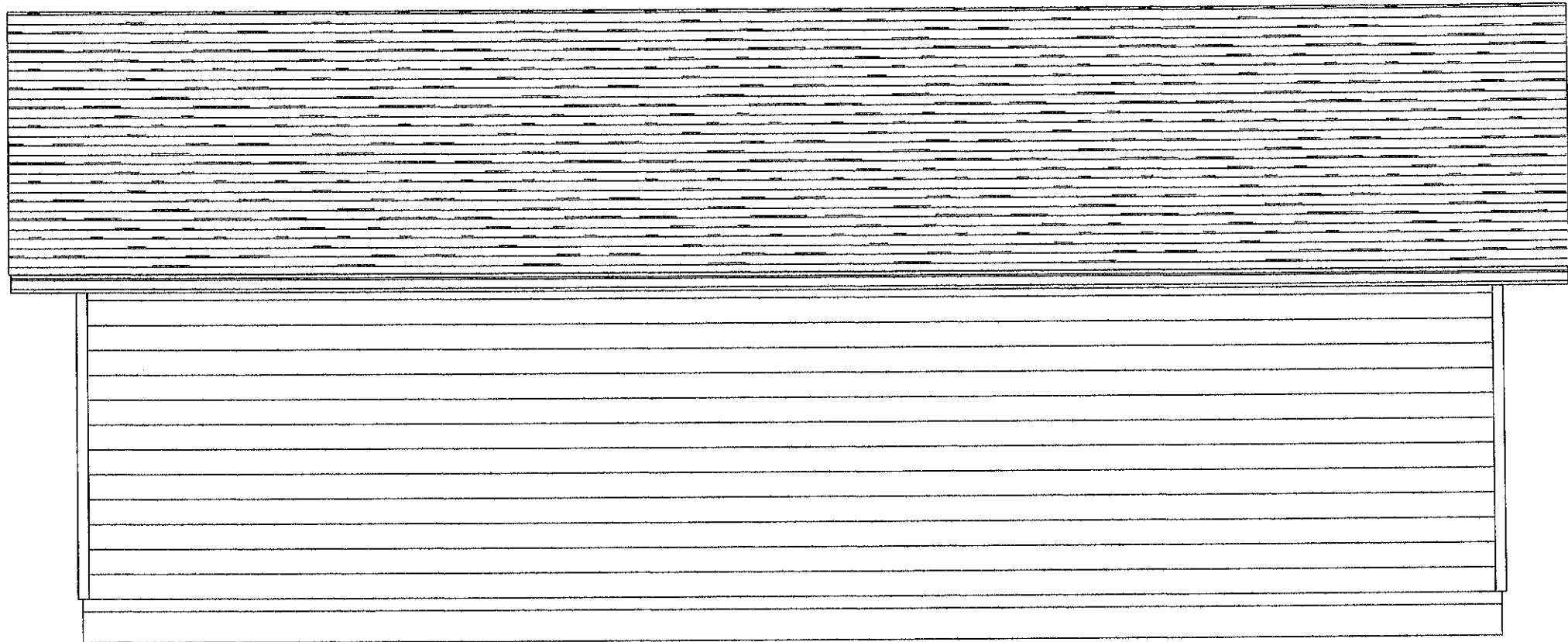
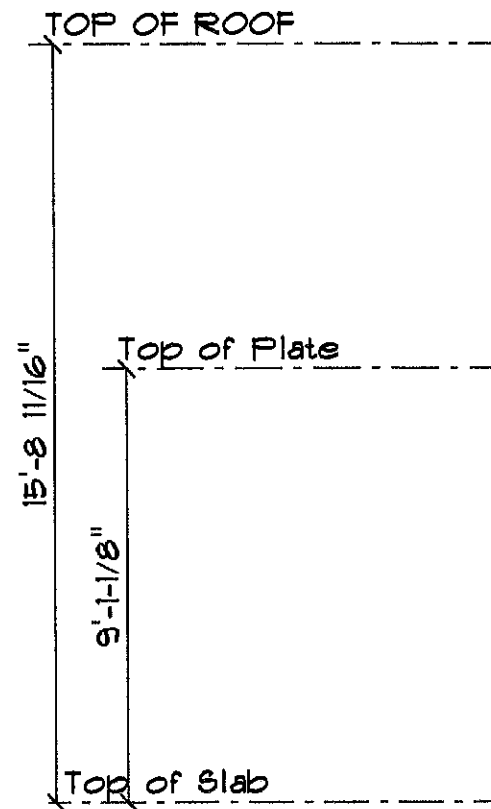
FRONTAGE

Shane Samson
N45 W5707 Spring St.
Cedarburg, WI 53012



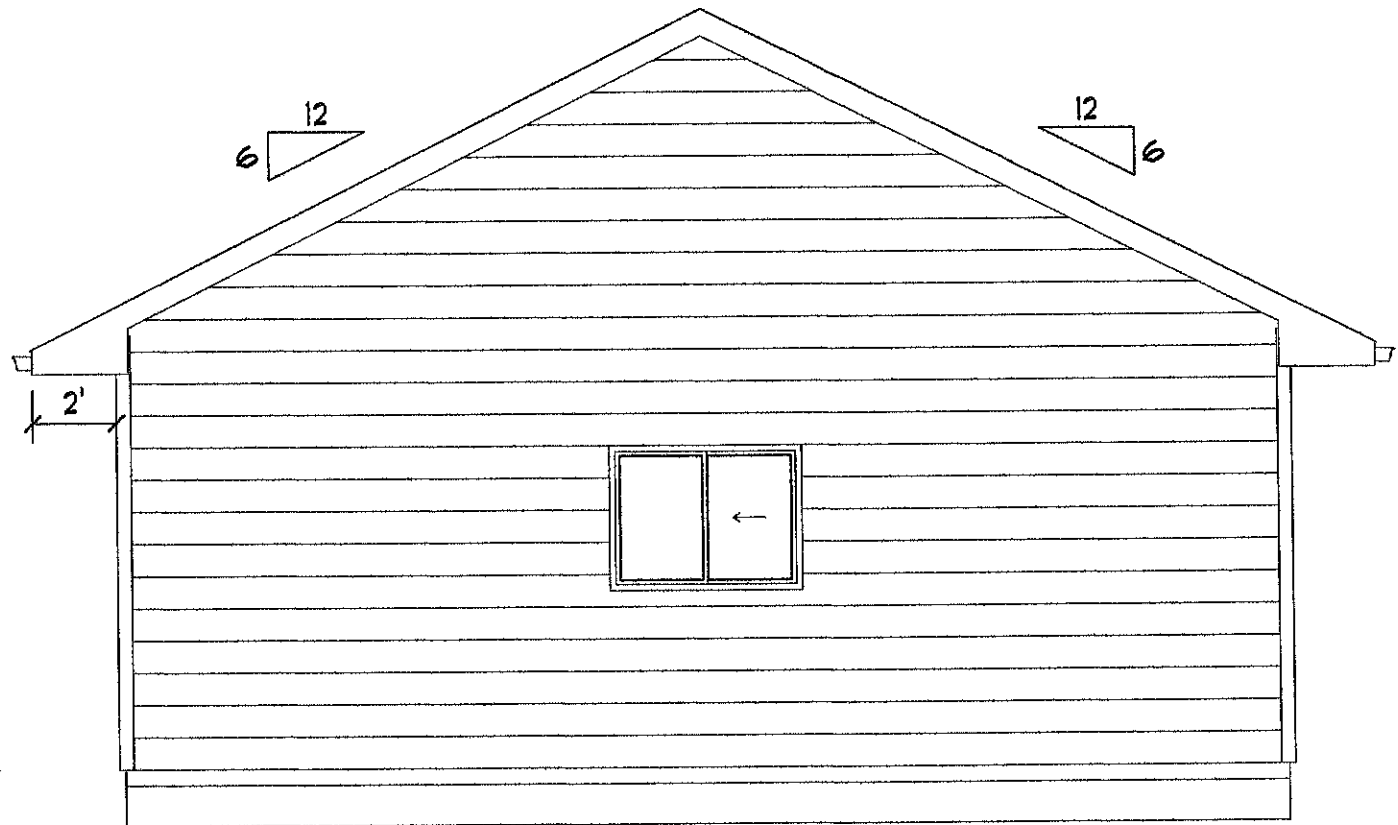
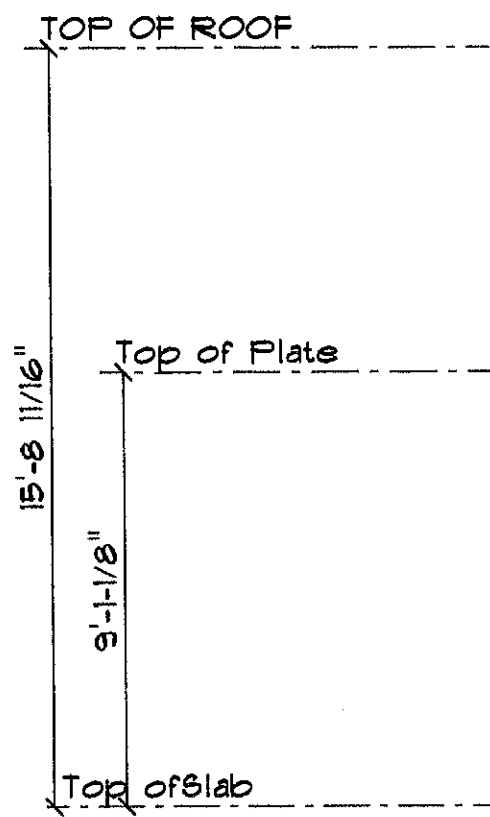
TYP. WALL SECTION

SCALE: 1/2" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

PLANNERS REPORT

To: City of Cedarburg Plan Commission

By: Mary Censky

Date Prepared: July 1, 2024

General Information:

Agenda Item: 8.B.

Applicant:

Blind Horse Winery, in c/o architect Jason Ahrens of Distinctive Design Studio.

Property Owner:

Ormsby Acquisitions LLC.

Requested Action:

Approval of Building, Site and Operating plan in support of their proposed use as an offsite retail outlet to the Blind Horse Winery located in Kohler, WI. Includes light dining.

Current Zoning:

B-3 General Business District w/ Historic Preservation Overlay (HPO) District.

Current Master Plan Classification:

Commercial

Surrounding Zoning/Land Use:

North: B-3 w/ (HPO)

South: B-3 w/ (HPO)

East: Cedar Creek

West: B-3 w/ (HPO)

Lot Size:

~ .18 acres (7,841 sq. ft.)

Location:

W63 N674 Washington Avenue

Discussion:

The proposed use is consistent with the listed permitted uses in the B-3 District “Cocktail lounges, bars, and taverns” and “Restaurants (without drive-thru facilities)”.



This plan reflects compliance with the spatial and bulk requirements of the B-3 District in terms of setbacks and offsets. The buildings are both preexisting so the Floor Area Ratio is not changing and the building setback from the Ordinary High Watermark of Cedar Creek is not changing.

This plan calls for refined finish of the outdoor space between the principal building and Cedar Creek. The area will offer generous seating opportunities and is intended to include outdoor dining and alcohol consumption. The existing accessory building will be refurbished for use as a patio bar. The exterior finishes and design of the principal and, accessory buildings, as well as the various screening and seating solutions, have been reviewed and approved by the Landmarks Commission. One change to the plans (based on very recent action of the Landmarks Commission) replaces the gabion screening walls around the dumpster to a schmear masonry wall construction with timber top and downlighting.

The City has been involved over the years in efforts to create a planned public access walkway through this corridor along the Creek. Coordination with that effort as to the design of this outdoor area and its connection to that plan should be incorporated into this plan design. As presented, a retaining wall is proposed to be placed at the east edge of the seating area, with steps leading down to a walkway extending end to end along the frontage of the Creek. A substantial portion of the outdoor seating area and all of the retaining wall, steps and boardwalk are located in the Floodway.

Landscaping is thoughtfully incorporated into this plan for the outdoor space. It includes properly scaled trees, colorful shrubs and perennial plants. No new landscaping is proposed to be added outside of the enclosed seating area.

Exterior lighting of this site includes gaslight fixtures at the front entry door, gooseneck-style downlighting along the north building wall, and controllable-cast uplighting along the screening wall which runs along the north and south sides of the outdoor seating area.

Parking for up to one car is proposed on this plan, on the paved area immediately west of the dumpster area. The applicant shows it as two stalls, but the stall proportions don't actually work to support two cars (per the City's stall specifications) in this alignment. Pursuant to [Section 13-1-83 of the City Code](#), "In all commercial and industrial districts, the minimum number of required parking spaces may be adjusted by the plan commission on a case-by-case basis. The petitioner for such an adjustment shall show to the satisfaction of the plan commission that adequate parking will be provided for customers, clients, visitors, and employees".

The proposed onsite stall(s) is intended to serve the upstairs office tenant in this building.

Recommendation:

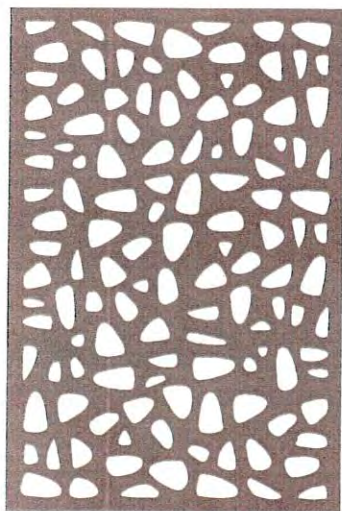
The Planner recommends the following conditions be considered for attachment to any approval the Planning Commission may be inclined to grant in this matter:

- 1) Applicant to satisfy the requirements of the City Engineer as follows:
 - a. Riverwalk location, size, elevation, etc. should be coordinated (and ultimately approved, in terms of design, location and grant of easements) with community plans to organize a more formal public accessway along the Creek in this corridor. Applicant to work with City Staff in sorting through these requirements and final approval plans.
 - b. Applicant to acknowledge that there isn't enough room, as depicted, to meet City specifications for two parking spaces on the north edge of the property west of the dumpster, per the plan.
- 2) Applicant to satisfy the requirements of the City of Cedarburg Fire Department as follows:
 - a. A Commercial Kitchen Hood is required for cooking equipment that produces grease-laden vapors-pizza ovens – NFPA 1 (2024 ed., 50.2.1.1)
 - b. Hood shall be equipped with an extinguishing system (NFPA 1,2024 ed., 50.4.3.1)
 - c. Class K extinguisher is required in addition to the hood suppression system – NFA 1 (2024) 50.4.4.1
- 3) Any required modifications to the site or building plans, recognizable from the exterior of the building as a result of HVAC/Fire Code requirements, may be subject to review and approval by the Landmarks Commission and Planning Commission depending on the magnitude and location of such changes.
- 4) Applicant to wrap the 5' tall screening around to the south side of the air conditioning units at the southeast corner of the principal building.
- 5) Applicant to provide evidence of review and approval from the DNR as to the manner of collecting and discharging stormwater from this site in light of the increased impervious surfaces to be placed.
- 6) Applicant to provide evidence of DNR approval as to hydraulic impact analysis of all changes proposed in the Floodway and their potential impact upon flood flows and the regional flood height.
- 7) All site improvements located in the Floodway shall be properly floodproofed.

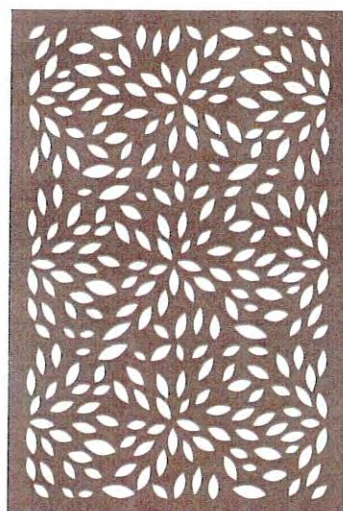


48" x 70" Savannah

48" x 70" x 5/16" Standard Panels



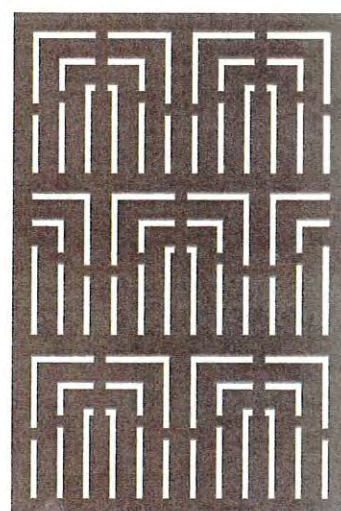
Stonefield
80% Privacy
BROWN



Blossom
80% Privacy
BROWN



Daintree
80% Privacy
BROWN



Empire
80% Privacy
BROWN

WOOD FINISH

Noon

Honey NN 03
7,64" x 47,17" x 1/4"



MIRAGE
Outdoor Design Architecture

RAIL

RUSTIC
WARM
ORGANIC



ICEBERG



GRAPHITE



12 X 48

ESTIMATING CHART	
See p 92 for additional sizing information	12 X 48 30 x 120 x 2 cm 11.73" x 47.17" x 3/4"
GROSS WEIGHT / BOX	34 kg / 74 lbs
PIECES / BOX	2
SQ FT / BOX	7.75
BOXES / FULL PALLET	36
SQ FT / PALLET	279
PALLET GROSS WEIGHT	1208 kg / 2664 lbs



ICEBERG
RL 01



GRAPHITE
RL 02



COBBLES AND BOULDERS

HIGHLAND SCOTCH RUBBLE / ANGULAR BOULDERS



GEOLOGY: schist

BASIC USE

accents for landscaping
or retaining ground

COLOR RANGE

buffs, tans, golds, oranges, browns, grays,
yellows, rusts, and whites with occasional
burgundy and black

COLOR CONSISTENCY PER PALLET

somewhat consistent

WEIGHT CALCULATED IN INCHES

$l \times w \times h / 1728$ (inches cubed) $\times 170$
= approx 170 pounds per cubic foot

PALLET

as specified per project

BOULDERS

COVERAGES

coverages calculated as specified per project

HIGHLAND SCOTCH RUBBLE/ANGULAR BOULDERS

TYPICAL PIECE 3"-8"

lengths and widths are irregular chunk shapes
3 inches to 8 inches in diameter;

TYPICAL PIECE 8"-18"

lengths and widths are irregular chunk shapes
8 inches to 18 inches in diameter;

TYPICAL PIECE 24"+

lengths and widths are irregular chunk shapes
24 inches and greater in diameter;

PART NUMBERS

HIGHLAND SCOTCH RUBBLE/ANGULAR BOULDERS

part number 3"-8" : 1RWSGRA03012TN

part number 8"-18" : 1RWSGRA03014TN

part number 24"+ : 1RWSGRA03015TN

BOULDERS

COVERAGES

coverages calculated as specified per project

HIGHLAND SCOTCH RUBBLE/ANGULAR BOULDERS 3"-8"

DIMENSIONS

US: inches

l: 3" to 8"

h: 3" to 8"

w: 3" to 8"

METRIC: mm

l: 76 to 203 mm

h: 76 to 203 mm

w: 76 to 203 mm

HIGHLAND SCOTCH RUBBLE/ANGULAR BOULDERS 8"-18"

DIMENSIONS

US: inches

l: 8" to 18"

h: 8" to 18"

w: 8" to 18"

METRIC: mm

l: 203 to 457 mm

h: 203 to 457 mm

w: 203 to 457 mm

HIGHLAND SCOTCH RUBBLE/ANGULAR BOULDERS 24"+

DIMENSIONS

US: inches

l: 24"+

h: 24"+

w: 24"+

METRIC: mm

l: 609 mm

h: 609 mm

w: 609 mm

ASTM TESTING DATA

HIGHLAND SCOTCH C97 water absorp-
tion—1.4%

HIGHLAND SCOTCH C97 density—158.4 pcf

HIGHLAND SCOTCH C97 specific gravi-
ty—2.54

HIGHLAND SCOTCH C99

modulus of rupture perpendicular dry—2,460
psi

modulus of rupture perpendicular wet—
2,050 psi

HIGHLAND SCOTCH C170

compressive strength parallel —14,180 psi

compressive strength perpendicular —12,920
psi



www.buechelstone.com



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[Forgot password](#)

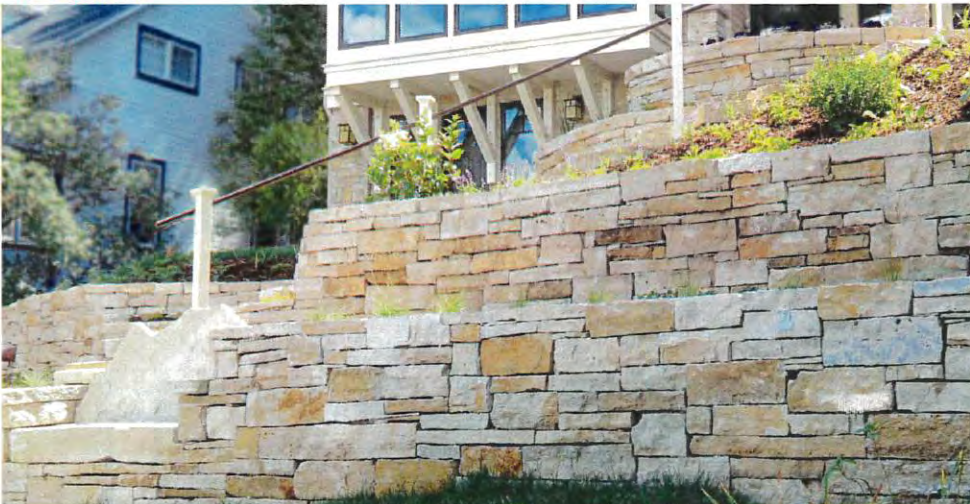
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- Register

[Search](#)

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Fond du Lac Weatheredge Wall Stone

Stone Type

OLD YORK™

PAVER / 60MM

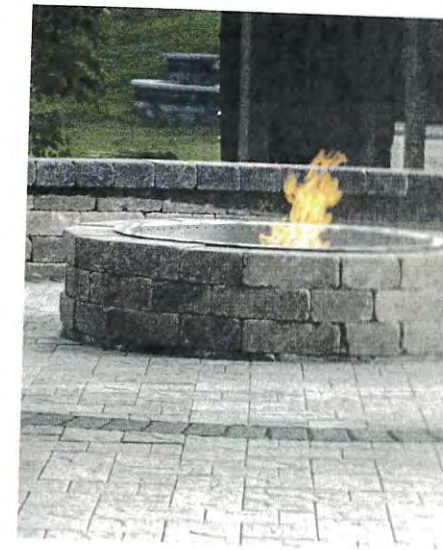
Scan for
product
information



For a cohesive look, add finishing



VERSA-LOK® WALL | PG 82



DURAFUSION™
See page 13



MINNIE



BOURBON

design tip

Old York can create distinctive borders or accent banding.



ORIGINS™

Scan for
product
information



3-PIECE SYSTEM / 60MM / 80MM



Origins 6

3 x 6 ☐

6 x 6 ☐

6 x 9 ☐

Origins 12

6 x 12 ☐

12 x 12 ☐

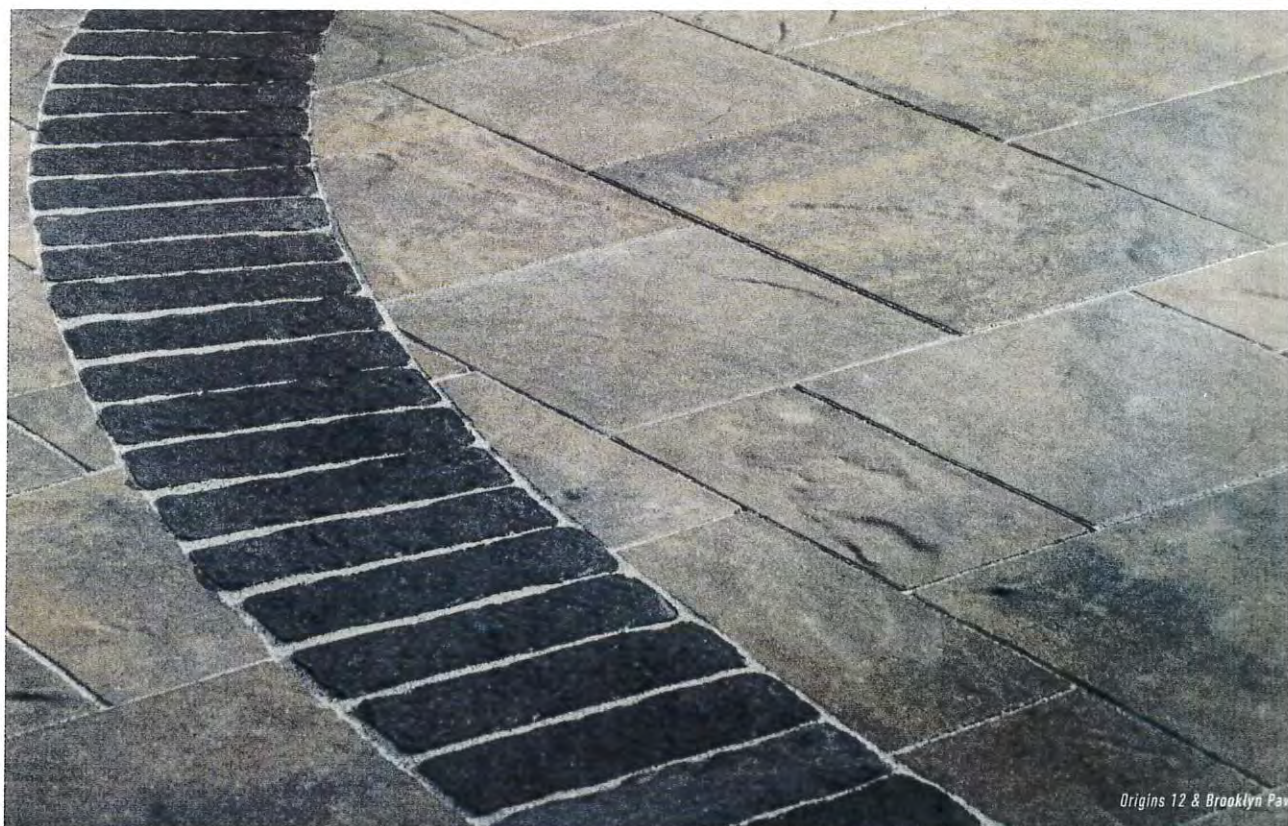
12 x 18 ☒

Origins 18

9 x 18 ☐

18 x 18 ☐

18 x 27 ☐



Origins 12 & Brooklyn Pav

ORIGINS 6 / 12 / 18 60MM

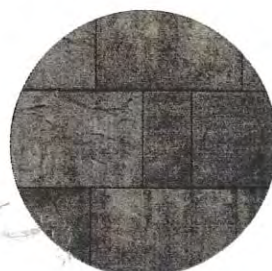
ORIGINS 12 / 18 60MM



 COTSWOLD MIST

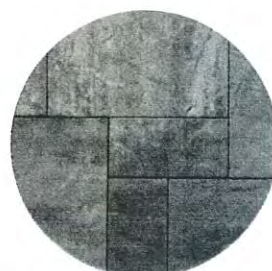


 DANVILLE BEIGE

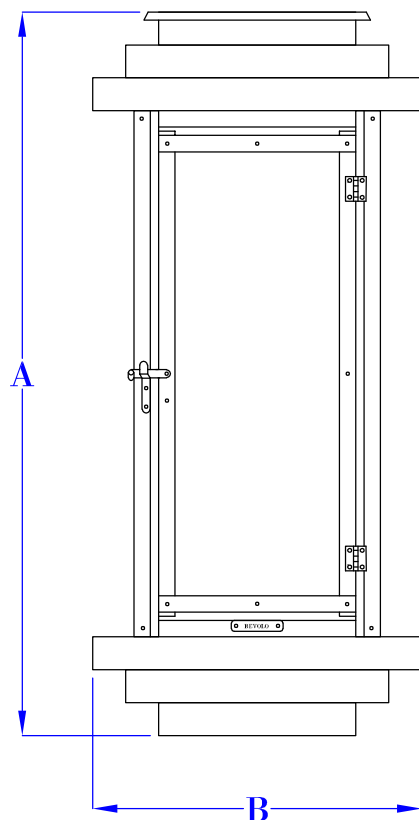


 ASHBURY HAZE

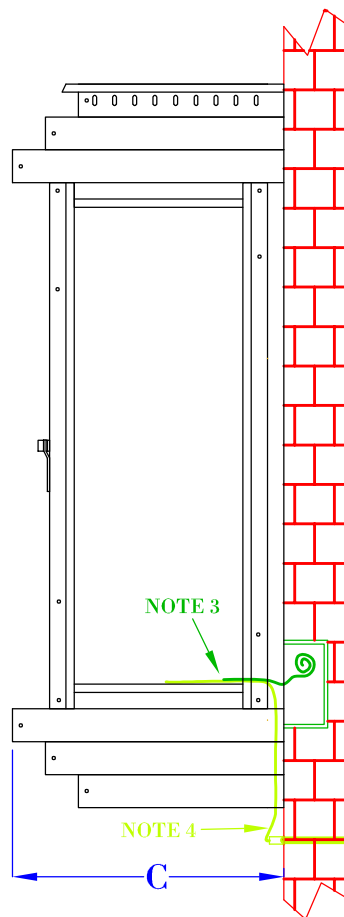
Only available in Origins 12



 NEWPORT GRAY



FRONT VIEW
(NTS)



SIDE VIEW
(NTS)

**FLUSH MOUNTED
GAS FIXTURES
CANNOT BE MOUNTED TO
ANY COMBUSTIBLE
MATERIALS INCLUDING
WOOD, VINYL, PVC
OR COMPOSITES**

NOTES:

1. MOUNTING HARDWARE SUPPLIED BY OTHERS
2. FIXTURES ARE HANDCRAFTED. DIMENSIONS MAY VARY PLUS OR MINUS $\frac{1}{4}$ "
3. ELECTRIC LIGHTS SUPPLIED WITH 18/2 WIRE WITH GROUND
4. GAS LIGHTS SUPPLIED WITH $\frac{3}{16}$ " COPPER GAS LINE AND $\frac{3}{16}$ " x $\frac{1}{4}$ " GAS LINE ADAPTOR

SIZE:	22"	30"	36"	42"
A:	22 $\frac{1}{2}$ "	30"	36"	42"
B:	10"	14"	16 $\frac{3}{8}$ "	15"
C:	7 $\frac{3}{4}$ "	10 $\frac{3}{4}$ "	12 $\frac{5}{8}$ "	11"

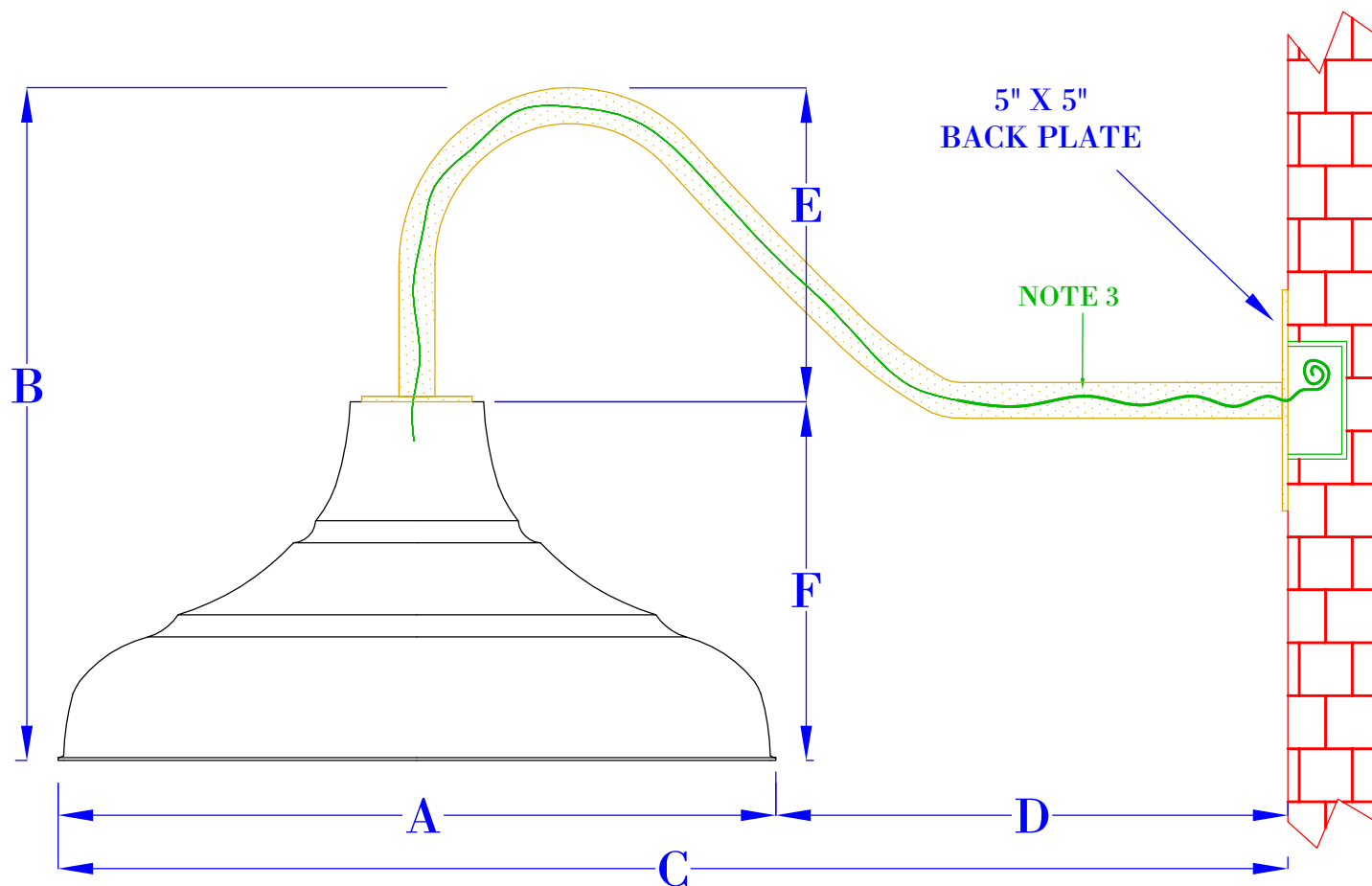
BEVOLO GAS & ELECTRIC LIGHTS

LIGHT:	CONTEMPORARY	DATE:	APP. BY:	JJG	COPYRIGHT 2019, BEVOLO GAS & ELECTRIC LIGHTS. THIS DRAWING AND ANY DESIGN OR DATA CONTAINED THEREIN ARE CONSIDERED PROPERTY OF BEVOLO GAS AND ELECTRIC LIGHTS. NEITHER THE DRAWING NOR ITS CONTENT MAY BE COPIED, REPRODUCED, OR EDITED TO A LIKENESS WITHOUT THE WRITTEN CONSENT OF BEVOLO GAS AND ELECTRIC LIGHTS.
BRACKET:	FLUSH MOUNT	9-10-19	REVISION:	4	

DRW BY: JJG

APP. BY: JJG

REVISION: 4



SIDE VIEW
(NTS)

NOTES:

1. MOUNTING HARDWARE SUPPLIED BY OTHERS
2. FIXTURES ARE HANDCRAFTED. DIMENSIONS MAY VARY PLUS OR MINUS $\frac{1}{4}$ "
3. ELECTRIC LIGHTS SUPPLIED WITH 18/2 WIRE WITH GROUND

SIZE:	14"	16"	18"
A:	14"	16"	18"
B:	14"	15 $\frac{1}{8}$ "	15 $\frac{1}{2}$ "
C:	24 $\frac{3}{8}$ "	27 $\frac{7}{8}$ "	30"
D:	10 $\frac{1}{4}$ "	11 $\frac{5}{8}$ "	12 $\frac{1}{2}$ "
E:	7"	7"	7"
F:	7"	8 $\frac{1}{8}$ "	8 $\frac{1}{2}$ "

BEVOLO GAS & ELECTRIC LIGHTS

DRW BY:

JJG

LIGHT:

WAREHOUSE DISTRICT

DATE:

APP. BY:

JJG

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BRACKET:

STANDARD WALL MOUNT

6-28-23

REVISION:

5



Date: 6/3/2024

Blind Horse Tasting Room
W63N674 Washington Avenue
Cedarburg, WI 53012

Plan Commission
City of Cedarburg
W63N645 Washington Avenue
Cedarburg, WI 53012

WRITTEN DESCRIPTION AND REQUEST

The Blind Horse Winery recently purchased this property and will be renovating the first floor of the building into a wine tasting room and wants to create an experience for customers and wine enthusiasts in downtown Cedarburg that they can't get anywhere else in the city. The new tasting bar will be located on the first floor of the building. The second floor will remain a business occupancy with the existing tenant remaining in this space.

The exterior materials of the building will remain unchanged from what is shown currently. The existing brick and timber, and wood siding, and stucco finish will remain, with repairs as required. New exterior doors will be installed as well as a new railing on the second-floor deck at the back of the building and a screen wall to visually block the A/C units at the southeast corner of the building.

The new outdoor space will have an inviting atmosphere that will draw in customers as they pass by on the street and riverwalk. The renovated patio space will extend from the back of the building to the proposed riverwalk extension as well as wrapping halfway around the north side of the building. From the street side of the building, pedestrians can enter the patio from an entrance located halfway down the north side of the building. This entrance is created from a six-foot-high gabion structure that frames the patio bar and seating space from Washington avenue to create a sense of interest and mystery to passers-by.

Fencing comprised of two-foot-high gabion stone walls with four-foot-high decorative metal panels runs the length of the patio at the north and south property lines. Planting beds with a variety of plants and trees are located alongside the fence as well as some plantings adjacent to the building on the north and east sides.

The main seating areas of the patio are delineated using larger sized paver stones while rail planks comprise the walkway that leads from the rear door of the main building to the outdoor patio bar. A tree will be provided in the middle of the sitting area on the south end of the patio along with two built-in gas firepits. The larger seating area to the north will contain tables and chairs that can be arranged to best fit the current needs of the business.

A proposed riverwalk will also run past the property and will be similar in appearance to the Riverwalk located further south. Lighting for these spaces will include ribbon lighting on the underside of the fence cap and uplighting at the trees and planted areas.



The existing shed located on the rear of the site will be converted to a Patio bar, which will serve beverages seasonally in the summer to customers on the Patio.

We are requesting a Site, Architectural, Lighting, and Landscaping Plan Review, as well as a Conditional Use Permit, and Accessory or Minor Structure Review for the Patio Bar.

The following items have been submitted with this written description:

- Land Development Application
- Check in the amount of \$750 for review fees
- Five (5) Full Size sets of drawings and ten (10) small drawing sets which includes a Survey, Site Plan, Landscape Plan, Floor Plans, and Exterior Elevations
- Proposed Patio Finishes and Fixture Information

LETTER OF TRANSMITTAL



DATE: 06/03/2024

DDS JOB NO.: 24-002

TO: Plan Commission

PROJECT NAME: Blind Horse Cedarburg

W63N674 Washington Avenue

RE: July 1st Plan Commission Meeting

Cedarburg, WI 53012

ATTENTION: Theresa Hanaman

WE ARE SENDING YOU:

☐ SHOP DRAWINGS

☐ PRINTS

☐ PLANS

☐ COPY OF LETTER

☐ CHANGE ORDER

☐ SAMPLES

☐ SPECIFICATIONS

☐ REQUESTED DOCUMENTS (SEE BELOW)

☐ CHECK/FEES

☒ OTHER: Documents required for Plan Commission Meeting

COPIES	DATE	NO.	DESCRIPTION
1	6/3/2024	2 pgs.	Land Development Application for Site, Architectural, Landscape, Lighting, and Accessory Building Review.
1	6/3/2024	#2654	Check in the amount of \$750 for review fees
5	6/3/2024	2 pgs.	Written Description and Request
5	6/3/2024	10 pgs.	Landscape materials and light fixture information.
5	6/3/2024	8 pgs.	Full size sets of supporting drawings.
10	6/3/2024	8 pgs.	11 x 17 sets of supporting drawings for Plan Commission Review.

THESE ARE TRANSMITTED AS CHECKED BELOW:

☒ FOR APPROVAL

☐ FOR REVIEW & COMMENT

☐ APPROVED AS SUBMITTED

☐ FOR YOUR USE

☐ RESUBMIT ___ COPIES

☐ MAKE CORRECTIONS AS NOTED

☐ AS REQUESTED

☐ RETURN ___ CORRECTED PRINTS

☐ RETURN FOR CORRECTIONS

☐ FOR BIDS DUE

☐ SUBMIT ___ COPIES FOR DISTRIBUTION

☐ OTHER:

REMARKS:

Please let me know if you have any questions or require any additional information to add us to the agenda for the July 1st Plan

Commission meeting.

COPY TO: _____

SIGNED: Jason Ahrens, Distinctive Design Studio



LAND DEVELOPMENT APPLICATION

PROPERTY LOCATION/ADDRESS: _____

APPLICANT/BUSINESSNAME: _____

APPLICANT/BUSINESS ADDRESS: _____

STATUS OF APPLICANT: ☐ OWNER ☒ AGENT ☐ BUYER ☐ OTHER _____

PHONE: _____ EMAIL: _____

PROPERTY OWNER (IF DIFFERENT): _____

PROPERTY OWNER MAILING ADDRESS: _____

PROPERTY OWNER PHONE: _____ PROPERTY OWNER EMAIL: lrmoeller49@gmail

REQUEST FOR (CHECK ALL THAT APPLY):

- | | |
|--|---|
| ☐ CONCEPT REVIEW | ☒ CONDITIONAL USE ZONING |
| ☒ SITE/ARCHITECTURAL PLAN APPROVAL | ☐ ANNEXATION REQUEST |
| ☐ SUBDIVISION PLAT OR CSM REVIEW | ☐ VARIANCE/BOARD OF APPEALS |
| ☐ ZONING DISTRICT CHANGE | ☒ OTHER <u>Access. Minor Structure Review</u> |

DESCRIBE REQUEST: _____

PLEASE SUBMIT: FIVE (5) COPIES OF WRITTEN DESCRIPTION OF PROPOSAL OR REQUEST FOR CITY STAFF REVIEW
FIVE (5) FULL SETS OF SUPPORTING DRAWINGS, SKETCHES OR SURVEY MAPS FOR CITY STAFF REVIEW
THIRTEEN (13) SETS OF PLANS (11" x 17" MAX) FOR PLAN COMMISSION REVIEW

The undersigned certifies that he/she has familiarized themselves with the State and Local codes and procedures pertaining to this application. The undersigned further hereby certifies that the information contained in this application is true and correct. This application shall be signed by the property owner(s).

PROPERTY OWNER(S) SIGNATURE: Jason Ahern - Owner's Agent DATE: _____

FOR CITY STAFF USE ONLY

TOTAL FEE: \$ _____ (SEE FEE SCHEDULE ON REVERSE PAGE) DATE FEE PAID: _____

APPLICATION AND FEE RECEIVED BY: _____ PLAN COMMISSION MEETING DATE: _____

ATTACHMENTS (CHECK IF RECEIVED):

- ☐ FIVE DESCRIPTIONS ☐ FIVE FULL-SIZE SETS ☐ THIRTEEN PLAN SETS

PROPERTY TAX KEY NO/PLAN COMMISSION FILE NO: _____

CEDARBURG TASTING ROOM

BLIND HORSE WINERY



PROJECT INFORMATION

PROJECT ADDRESS

W63 N674 WASHINGTON AVE
CEDARBURG, WI 53012

BUILDING CODE

2015 IBC W/ WISCONSIN AMENDMENTS
2015 IEBC W/ WISCONSIN AMENDMENTS
2015 IECC
ANSI A-117.1 2009 ACCESSIBILITY CODE
2010 ADA STANDARDS

USE AND OCCUPANCY

FIRST FLOOR: A-2 ASSEMBLY OCCUPANCY (BAR)
SECOND FLOOR: B - BUSINESS OCCUPANCY (OFFICE)

TYPE OF CONSTRUCTION

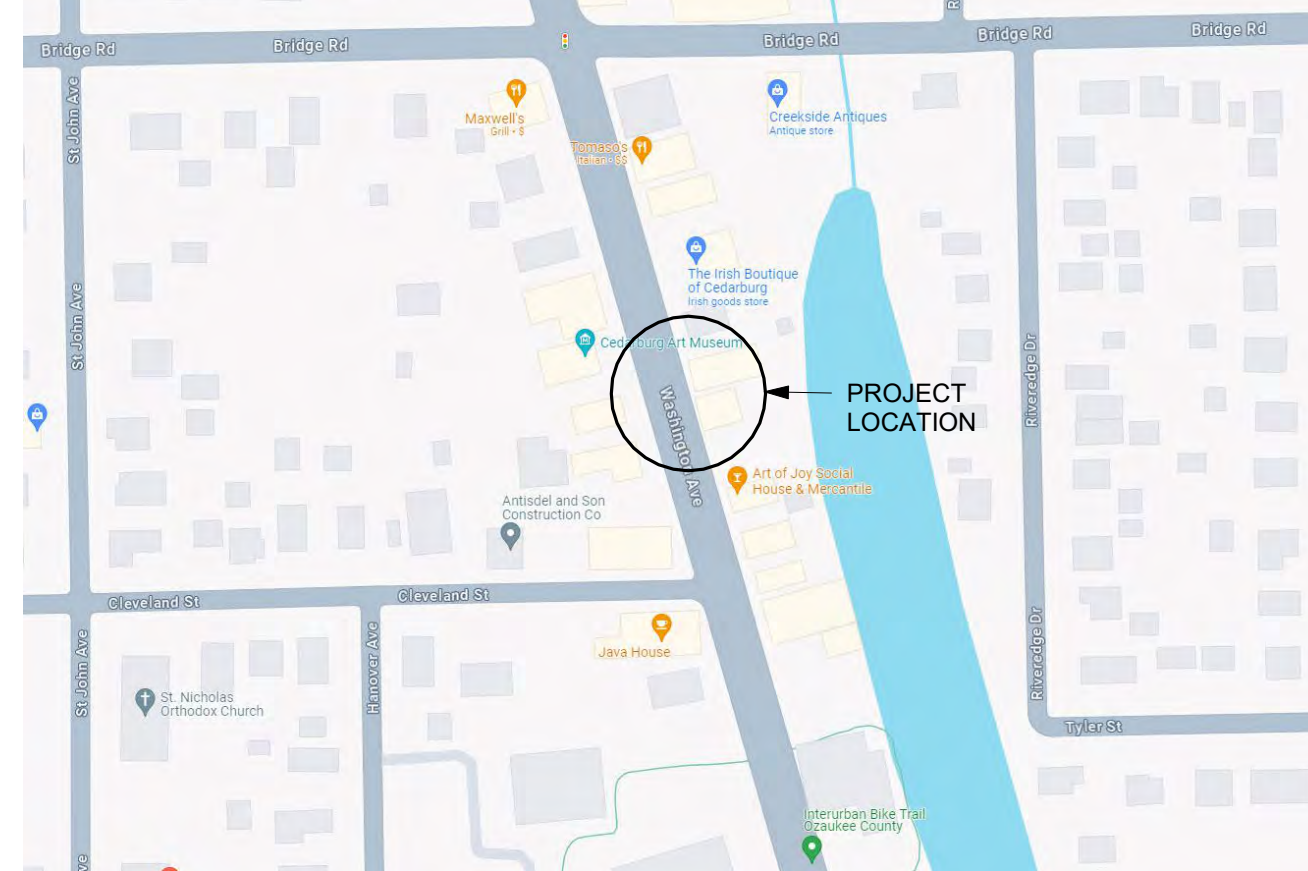
TYPE VB, UNPROTECTED, NON-SPRINKLERED BUILDING

BUILDING HEIGHT & AREA

ALLOWABLE HEIGHT: 40'-0"
ACTUAL HEIGHT: 20' 8"

ALLOWABLE AREA:
A-2 OCCUPANCY: 6,000 S.F.
B OCCUPANCY: 6,000 S.F.

ACTUAL AREA:
A-2 OCCUPANCY: 1,940 S.F.
B OCCUPANCY: 1,800 S.F.





DISTINCTIVE DESIGN
STUDIO

215 PINE STREET
SHEBOYGAN FALLS, WI 53085
PH: (920) 395-1080
WWW.DISTINCTIVEDESIGNSTUDIO.COM

JASON AHRENS
(920) 458-5584
jason@distinctivedesignstudio.com



JOS. SCHMITT CONSTRUCTION

JOS. SCHMITT CONSTRUCTION
2104 UNION AVE
SHEBOYGAN, WI 53082

PROJECT MANAGER
(920) 457-4426 (OFFICE)

Integrated Structural Engineering, LLC

INTEGRATED STRUCTURAL ENGINEERING, LLC
7700 HILL N DALE COURT
CEDARBURG, WI 53012

PETER C. BARTNIK, P.E.
(920) 470-3119
PETE@ISE-LLC.NET



RESTORATION GARDENS

RESTORATION GARDENS
W4428 COUNTY ROAD JJ
SHEBOYGAN FALLS, WI 53085

CRAIG HARMS
(920) 467-8370
RG@RESGARDENS.COM



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WRITTEN DIMENSIONS ON THESE DOCUMENTS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB.

WHEN PLANS ARE PRINTED ON 12 x 18 PAPER, DRAWINGS ARE REDUCED BY 50%.

#	DATE	DESCRIPTION
1	02/19/2024	CLIENT PRESENTATION
2	02/20/2024	PLAN REVIEW SET
3	03/29/2024	CONSTRUCTION DOCUMENTS
4	04/05/2024	CONSTRUCTION BULLETIN #1
5	05/24/2024	CONSTRUCTION BULLETIN #2

CEDARBURG TASTING ROOM

W63 N674 WASHINGTON AVE
CEDARBURG, WI 53012

PROJECT #: 24-002

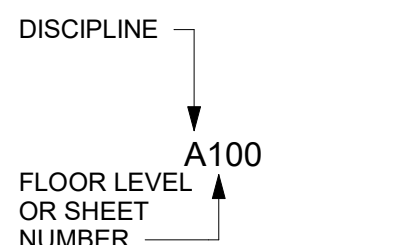
CONSTRUCTION DOCUMENTS

COVER

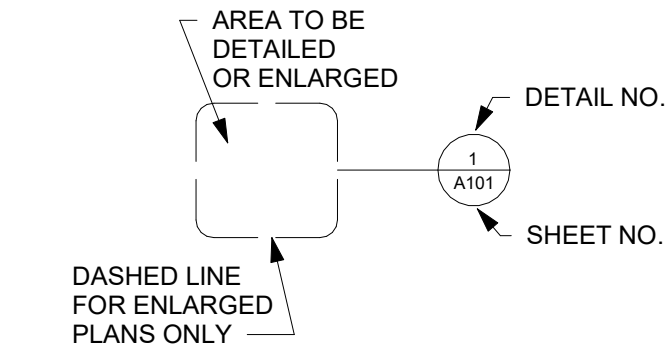
G000

SYMBOLS LEGEND

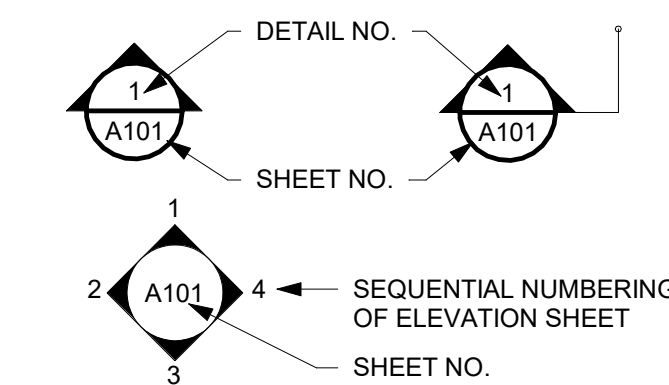
SHEET NUMBERING



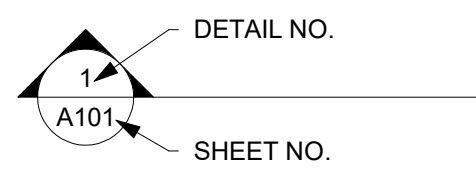
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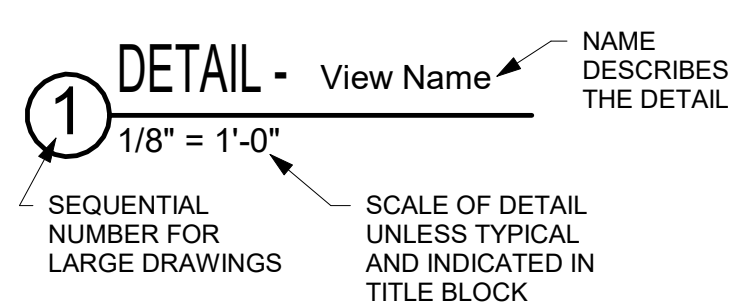
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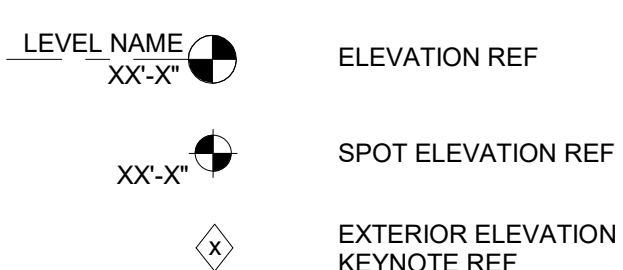
SECTION REFERENCE



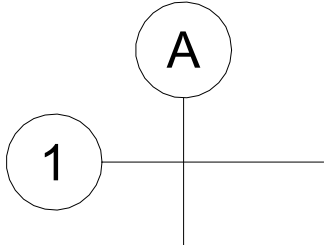
DETAIL NUMBERING



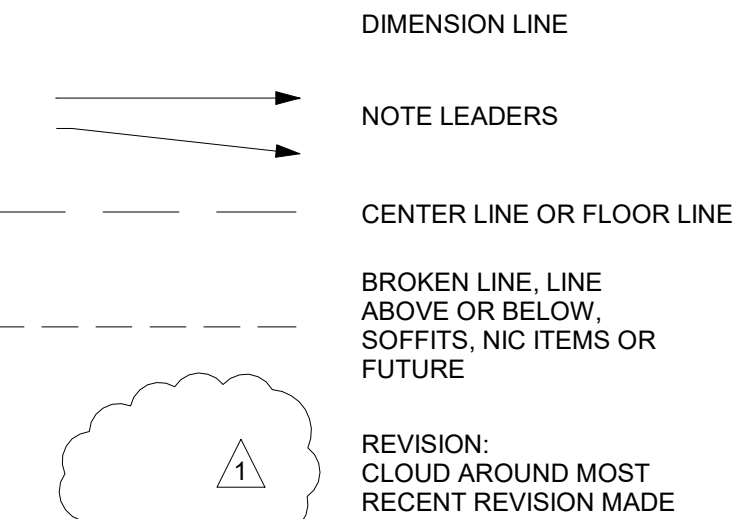
ELEVATION SYMBOLS



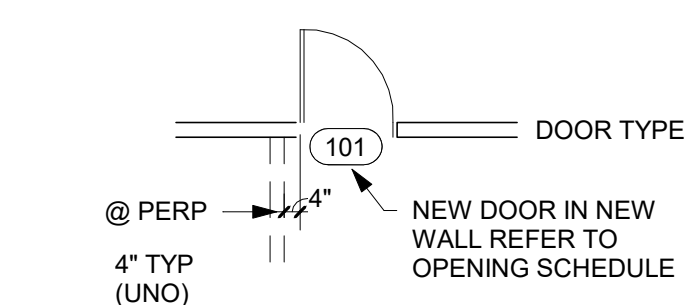
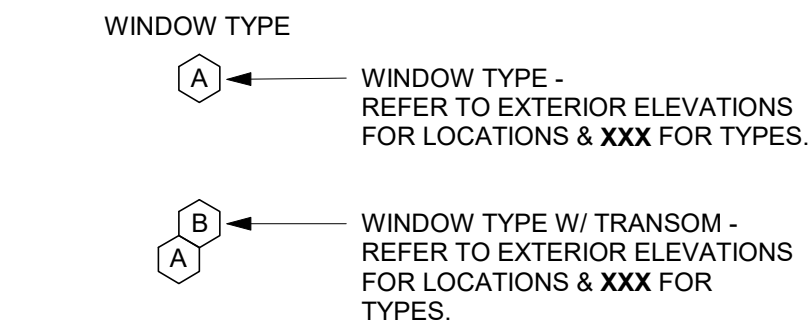
COLUMN GRID DESIGNATORS



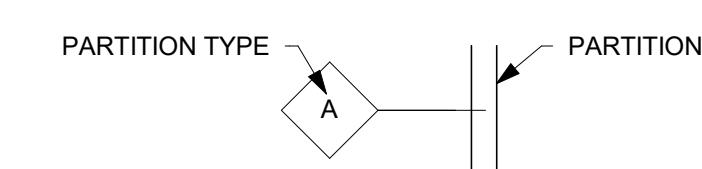
LINE TYPE IDENTIFICATION



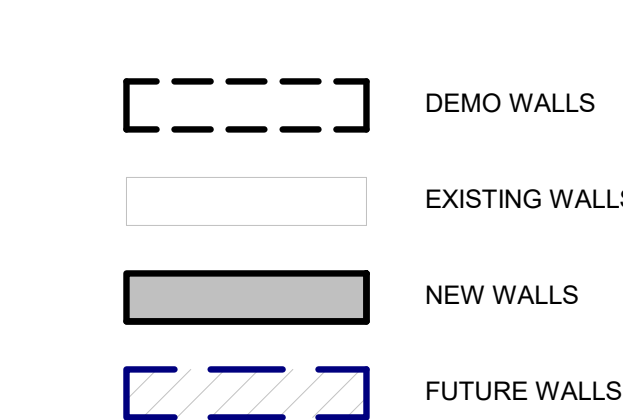
OPENING IDENTIFICATIONS



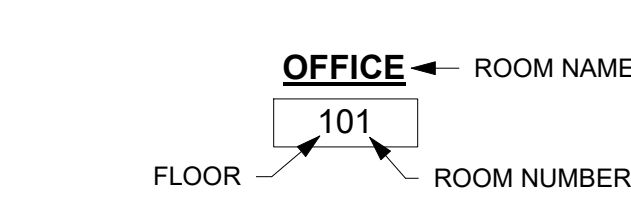
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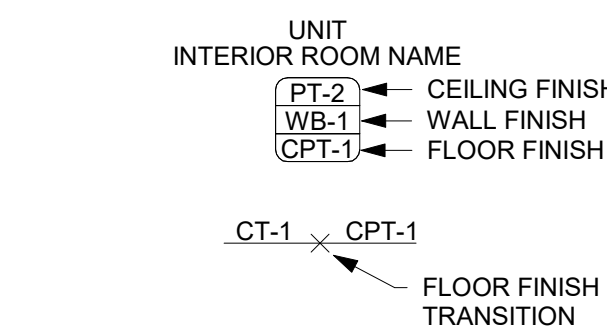
WALL IDENTIFICATION



ROOM IDENTIFICATION



INTERIOR FINISH TAGS



SHEET LIST

SHEET #	SHEET NAME	REVISION		CLIENT PRESENTATION	PLAN REVIEW/ PERMIT SET	CONSTRUCTION DOCUMENTS	BULLETIN #1	BULLETIN #2	PLAN COMMISSION REVIEW	--	--
		#	DATE								
GENERAL											
G100	NOTES	3	03/29/2024	•	•	•					
G401	CODE PLANS	3	03/29/2024	•	•	•					
CIVIL											
C100	SURVEY	3	03/29/2024	•	•	•			•		
C101	SITE PLAN	5	05/24/2024	•	•	•		•	•		
STRUCTURAL											
S101	FLOOR PLANS AND NOTES	5	05/24/2024		•	•	•	•			
S500	SECTIONS	3	03/29/2024		•	•	•				
DEMOLITION											
AD100	DEMO PLANS	4	04/05/2024	•	•	•	•	•			
ARCHITECTURAL											
A101	FIRST FLOOR PLAN & SCHEDULES	5	05/24/2024	•	•	•	•	•	•		
A101.1	DIMENSIONED FLOOR PLANS	5	05/24/2024	•	•	•	•	•	•		
A102	PATIO BAR PLANS	5	05/24/2024	•	•	•	•	•	•		
A103	FINISH PLAN, REFLECTED CEILING PLAN, AND ELECTRICAL	5	05/24/2024		•	•	•	•	•		
A200	EXTERIOR ELEVATIONS	5	05/24/2024	•	•	•	•	•	•		
A300	SECTIONS	5	05/24/2024	•	•	•	•	•	•		
A301	SECTIONS	5	05/24/2024	•	•	•	•	•	•		
A500	DETAILS	5	05/24/2024		•	•	•	•	•		
INTERIORS											
I102	INTERIOR ELEVATIONS	5	05/24/2024			•	•	•			
I103	INTERIOR ELEVATIONS	5	05/24/2024			•	•	•			
I104	INTERIOR ELEVATIONS	5	05/24/2024			•	•	•			
I201	CASEWORK DETAILS	4	04/05/2024			•	•	•			
I202	CASEWORK DETAILS	5	05/24/2024			•	•	•			
I203	CASEWORK DETAILS	5	05/24/2024			•	•	•			



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CEDARBURG TASTING ROOM

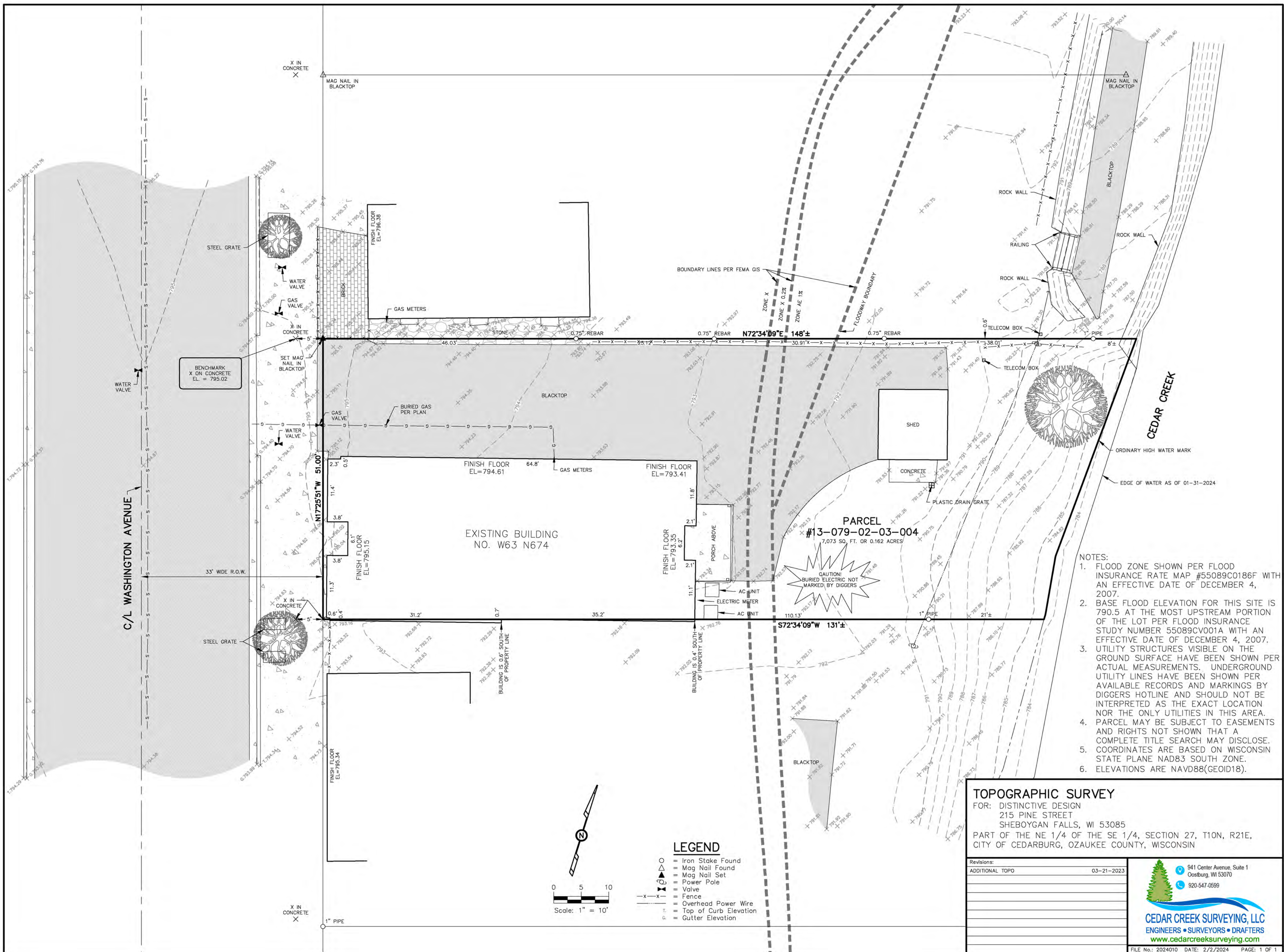
W63 N674 WASHINGTON AVE
CEDARBURG, WI 53012

PROJECT #: 24-002

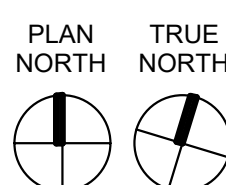
CONSTRUCTION DOCUMENTS

SURVEY

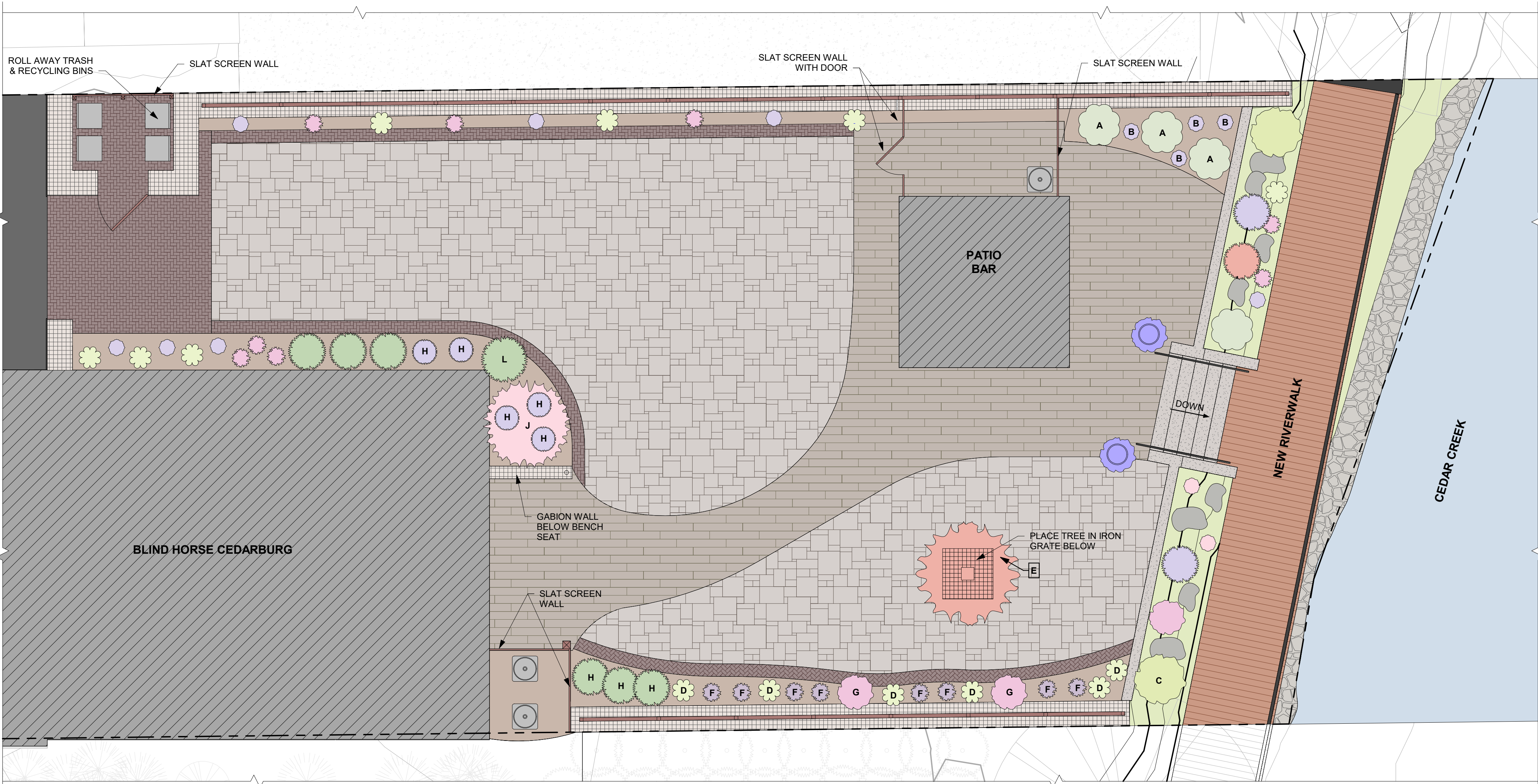
C100



1 SITE PLAN - SURVEY
1" = 1'-0"

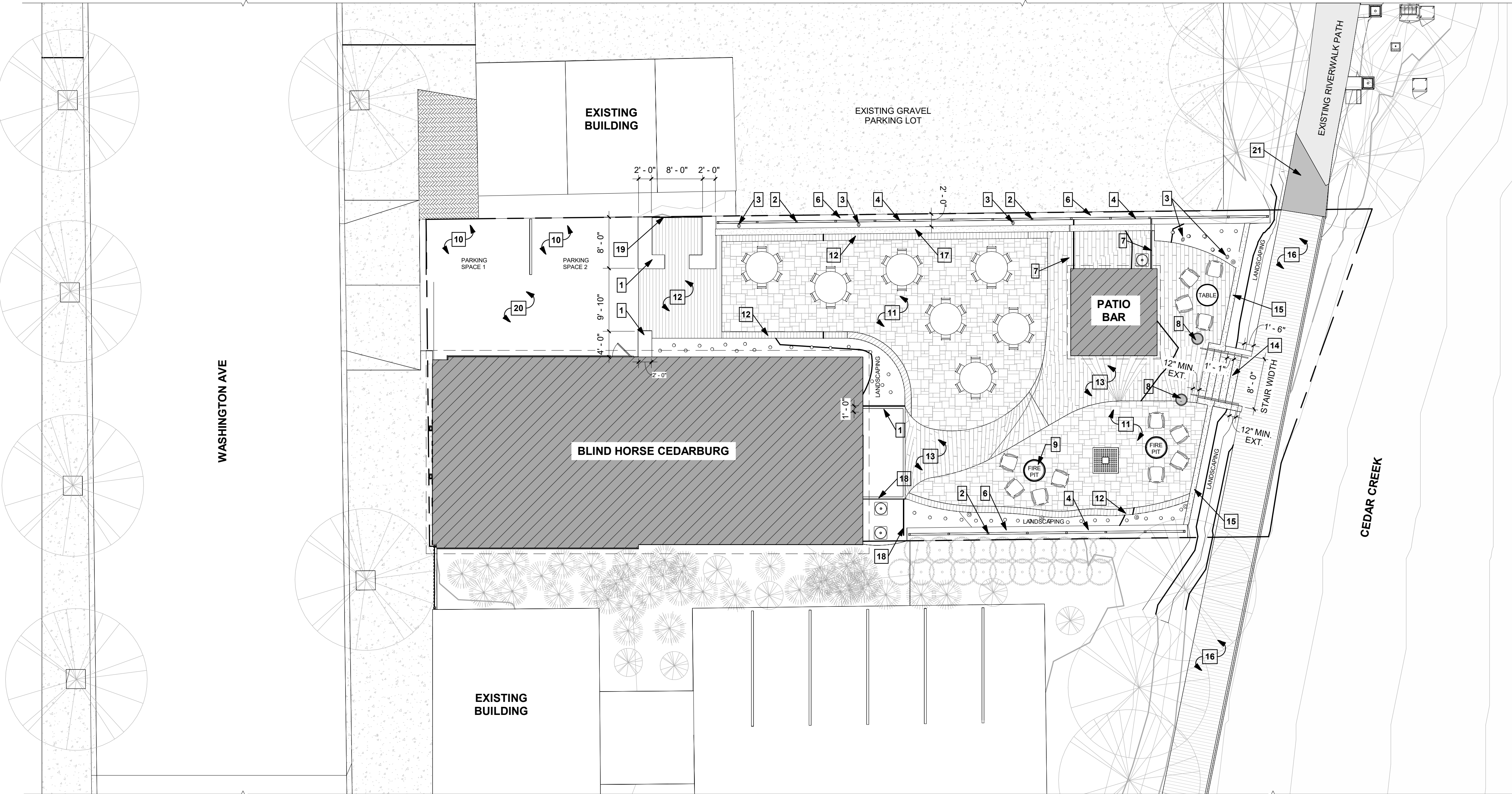


LANDSCAPING KEY		
SYM	SPECIES NAME	QTY
A	BETULA 'PARKLAND PILLAR'	3
B	LAVANDULA 'SWEET ROMANCE'	4
C	HYDRANGEA 'LITTLE LIME PUNCH'	1
D	HOSTA 'DANCING QUEEN'	6
E	CARPINUS 'FIRE SPIRE' (INSTALLED IN PAVER GRATE)	1
F	HEUCHERA 'BLACK PEARL'	8
G	HYDRANGEA 'INVICIBLE RUBY'	2
H	BUXUS 'GREEN VELVET'	3
J	HYDRANGEA PANICULATA 'QUICK FIRE' (TREE)	1
K	SALVIA 'CARDONNA'	5
L	CHAMAECYPARIS 'SOFT SERVE'	1
M	CALAMAGROSTIS BRACHYTHRICHA	1



2 SITE PLAN - LANDSCAPING PLAN
3/16" = 1'-0"

SITE PLAN KEYNOTES	
1.	GABION WALL WITH TIMBERS.
2.	FENCE FOOTINGS SET 70" APART TO ACCOMMODATE PANELS SET AT 24" ABOVE GRADE. SEE DETAIL XXXX.
3.	ALLIANCE FL200 (AGED BRASS) LIGHT FIXTURES. (QTY 5)
4.	OUT DECO MODULAR PANELS (BLOSSOM 48" H X 70" W)
5.	ALLIANCE LED LIGHTS 'TIKI'. (QTY 8)
6.	GABIO WALL BASE BELOW OUTDECO WALL PANELS.
7.	WOOD SLAT FENCE AT BACK OF PATIO BAR.
8.	LARGE PLANTER POTS.
9.	ARCHPOT FIRE BOWL 'BELIZE' (DARK WALNUT 42" X 16").
10.	PARKING SPACE 8' X 16'-6". PROVIDE (2).
11.	BELGARD 'ORIGINS' PATIO PAVERS (DANVILLE BEIGE).
12.	BELGARD 'OLD YORK' PATIO PAVER BORDER. (BOURBON).
13.	BELGARD 'NOON' RAIL PLANKS (HONEY).
14.	BELGARD STEP UNITS 'LANDINGS MOONLIGHT'
15.	BELGARD 'ASHLAR TANDEM' RETAINING WALL W/ STONE COPING.
16.	NEW CONNECTION INTO THE DOWNTOWN CEDARBURG RIVERWALK WALKWAY. (INCLUDES RAILING, WALKWAY, SUPPORT BEAM AND PIERS)
17.	GRAVEL LANDSCAPING BED OVER TRENCH DRAIN ALONG ENTIRE NORTH FENCE LINE.
18.	A/C UNIT SLAT SCREEN WALL.
19.	SLAT SCREEN WALL AT REAR OF TRASH CORRAL.
20.	RE-SEAL ASPHALT SURFACE.
21.	NEW ASPHALT PATHWAY CONNECTION BETWEEN NEW RIVERWALK BOARDWALK AND THE EXISTING ASPHALT PATHWAY.



1 SITE PLAN - BIRDS EYEVUE
1" = 10'-0"



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CEDARBURG TASTING ROOM

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CEDARBURG, WI 53012

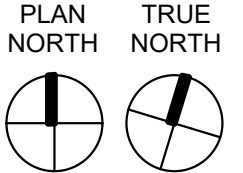
PROJECT #: 24-002

CONSTRUCTION DOCUMENTS

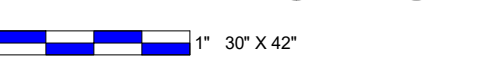
SITE PLAN

C101

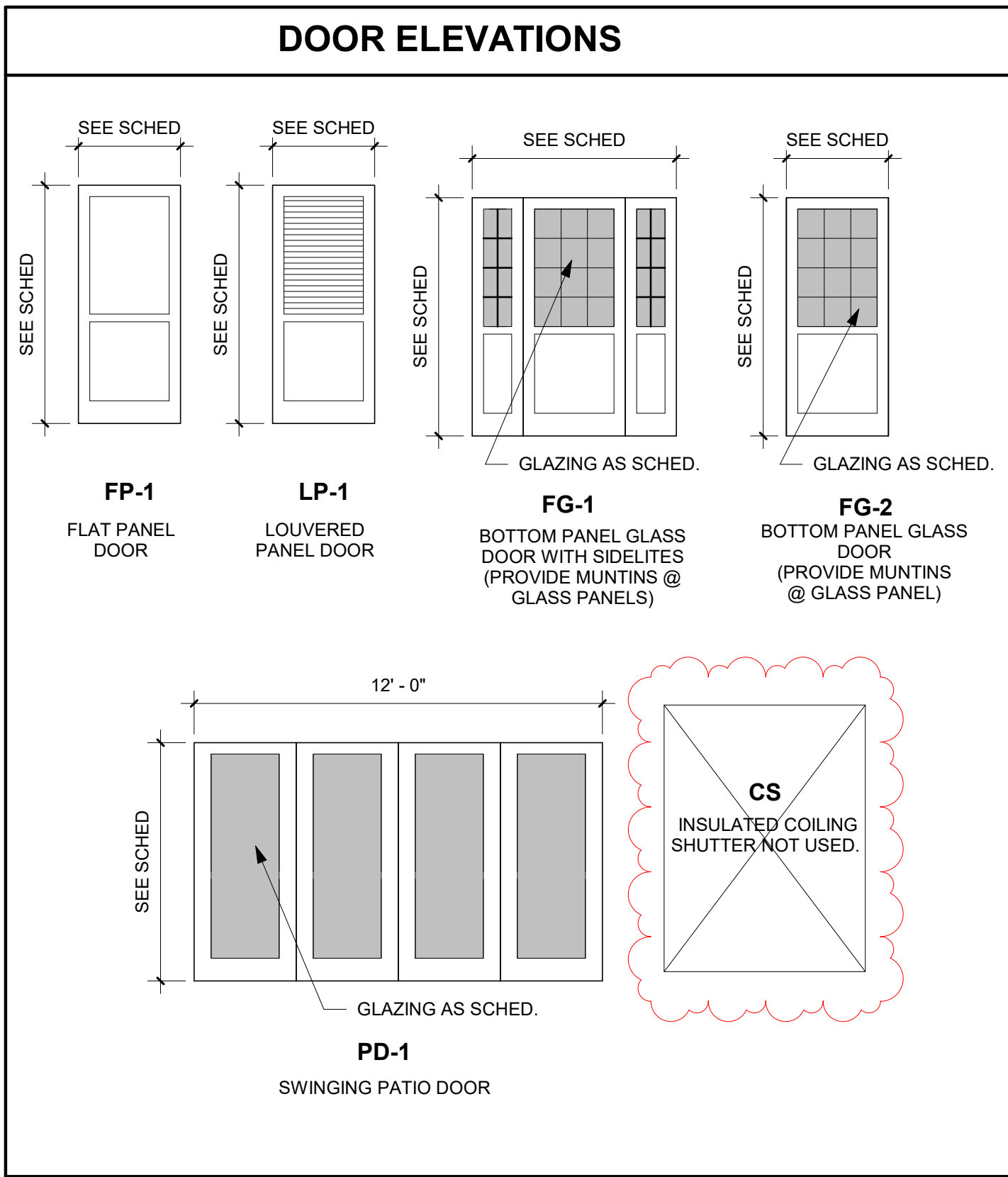
PLAN NORTH TRUE NORTH



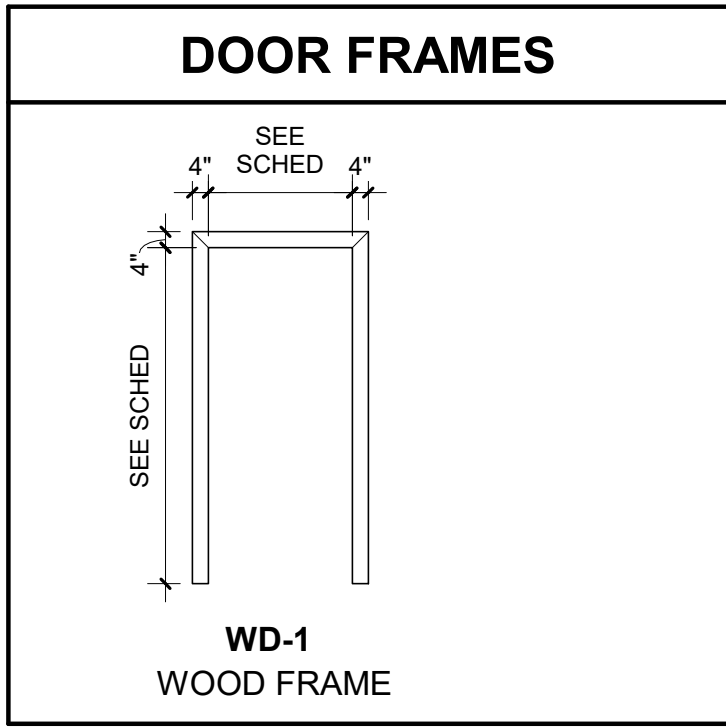
IF PRINTED ON 30" X 42" TOP SCALE BAR SHALL BE EXACTLY 1" IF SCALE BAR IS NOT EXACTLY 1", DRAWING IS NOT TO SCALE



DOOR AND WINDOW NOTES	
FIRE DOOR LABELING REQUIREMENTS: 1. FIRE DOORS SHALL BE LABELED SHOWING THE NAME OF THE MANUFACTURER, THE NAME OF THE THIRD-PARTY INSPECTION AGENCY, AND THE FIRE PROTECTION RATING. LABELS SHALL BE APPROVED AND PERMANENTLY AFFIXED. THE LABEL SHALL BE APPLIED AT THE FACTORY OR LOCATION WHERE FABRICATION AND ASSEMBLY ARE PERFORMED. 2. FIRE RATING LABELS ARE SHOWN IN MINUTES UNO. DOOR CLOSING: 1. VERIFY SIZES OF DOORS LEADING INTO ROOMS HOUSING EQUIPMENT, SUCH AS MECHANICAL ROOMS, TO ENSURE DOOR IS WIDE ENOUGH TO ALLOW FOR REMOVAL/REPLACEMENT OF EQUIPMENT. 2. FIRE DOORS SHALL BE SELF OR AUTOMATIC CLOSING. 3. DOOR HARDWARE SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS. 4. LATCH REQUIRED: UNLESS OTHERWISE PERMITTED, SINGLE FIRE DOORS SHALL BE PROVIDED WITH AN ACTIVE LATCH BOLT THAT WILL SECURE THE DOOR WHEN IT IS CLOSED. 5. LOCK/LATCHES SHALL BE SCHLAGE S SERIES OR APPROVED EQUAL WITH LEVER HANDLES. CYLINDERS SHALL BE MASTER KEYED WITH STAMPING "DO NOT DUPLICATE". VERIFY KEYING WITH OWNER. 6. THRESHOLDS AT DOORWAYS SHALL NOT EXCEED .5 INCH. RAISED THRESHOLDS AND FLOOR LEVEL CHANGES GREATER THAN .25 INCH AT THE DOORWAYS SHALL BE BEVELED WITH A SLOPE NOT GREATER THAN ONE UNIT VERTICAL IN TWO UNITS HORIZONTAL. 7. DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES ON DOORS REQUIRED TO BE ACCESSIBLE SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE. 8. DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES SHALL BE INSTALLED 34 INCHES MINIMUM AND 48 INCHES MAXIMUM ABOVE THE FINISHED FLOOR. LOCKS USED ONLY FOR SECURITY PURPOSES AND NOT USED FOR NORMAL OPERATION ARE PERMITTED AT ANY HEIGHT. 9. INTERIOR DOOR CLOSING FORCE SHALL BE 5 LBS. MAX AND 5 SECONDS CLOSING TIME FROM 90 DEGREES OPEN TO 7° FROM CLOSED. 10. EXTERIOR DOOR CLOSING FORCE SHALL BE 8.5 LBS. MAX AND 5 SECONDS CLOSING TIME FROM 90 DEGREES OPEN TO 7° FROM CLOSED. 11. DOORS ON EGRESS PATH SHALL HAVE ILLUMINATED EXIT SIGN WITH BATTERY BACK-UP. COORDINATE LOCATIONS WITH ELECTRICAL CONTRACTOR.	GLAZING TYPES & ABBREVIATIONS IN 1" INSULATED NON-TEMPERED IT 1" INSULATED TEMPERED FG 1/4" FIRE GLASS T 1/4" TEMPERED W 1/4" FROSTED GLASS L 1/4" WIRED GLASS SP 1/4" LAMINATED LP 1/4" SPANDREL GLASS DOOR AND WINDOW MATERIAL TYPES & ABBREVIATIONS ALUM ALUMINUM FG FIBERGLASS FRP FIBERGLASS REINFORCED HCHB HOLLOW CORE HARDBOARD HCW HOLLOW CORE WOOD HM HOLLOW METAL PLAM PLASTIC LAMINATE PREFIN PRE-FINISHED VNL VINYL PT SCHB PAINT SCW SOLID CORE WOOD ST STAIN STL STEEL TR TRAFFIC DOOR (SOLID CORE) CLAD CLAD WOOD WD WOOD RO ROLL-UP WINDOW TYPES & ABBREVIATIONS CS CASEMENT AW AWNING DH DOUBLE HUNG SL SLIDING RD OCT TRP TRAPEZOID PCT PICTURE (FIXED)

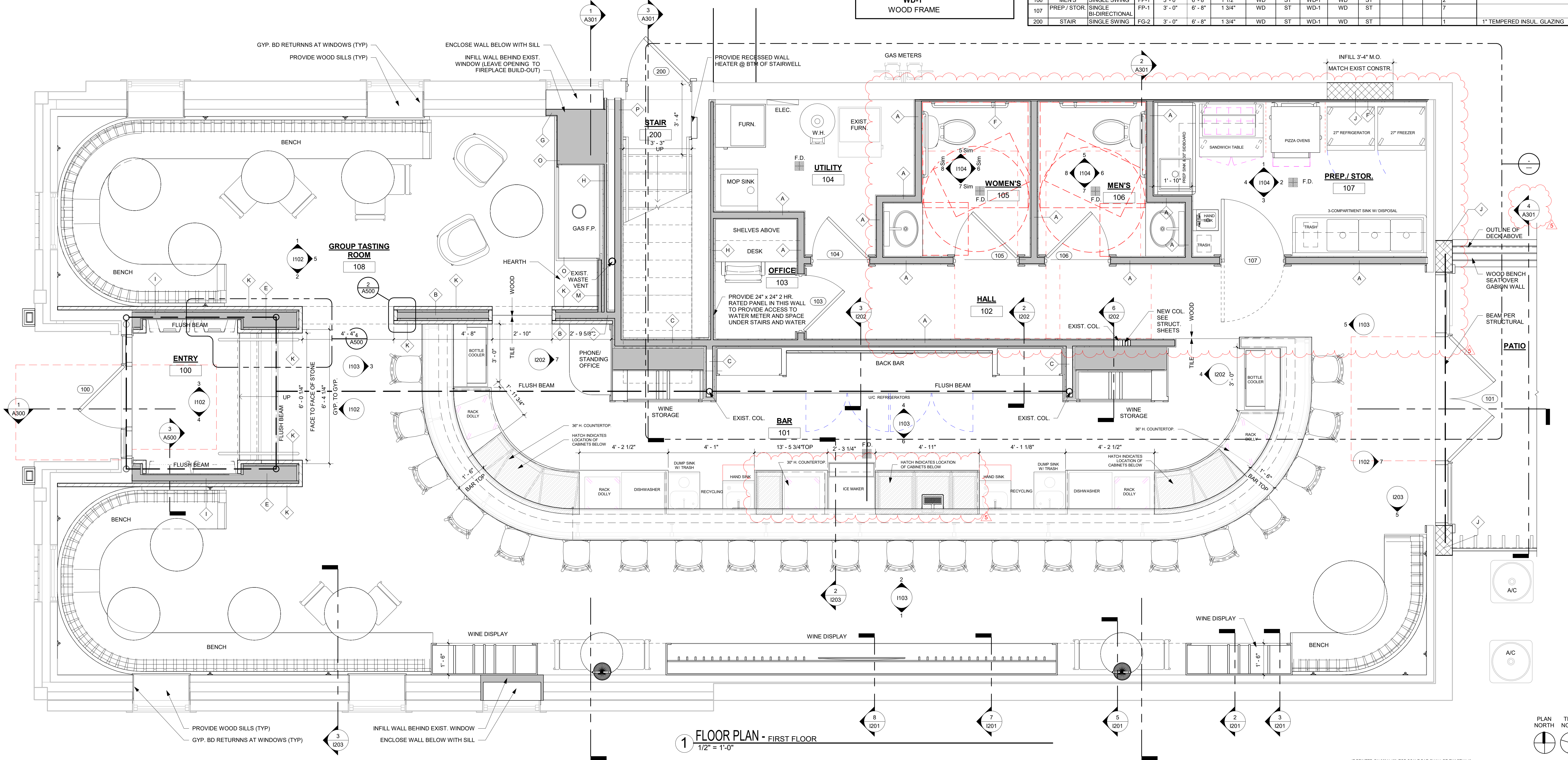


HARDWARE SETS	
HARDWARE SET #1 (PATIO BAR & UPSTAIRS ENTRY): 1-1/2 PR. B.B. HINGES (NRP) - ENTRANCE LOCKSET - CLOSER - WEATHERSTRIPPING - ADA THRESHOLD	
HARDWARE SET #2 (TOILET ROOMS): 1-1/2 PR. HINGES - PRIVACY LATCHSET - DOOR STOP	
HARDWARE SET #3 (OFFICE/UTILITY/STORAGE): 1-1/2 PR. HINGES - OFFICE LOCKSET - DOOR STOP	
HARDWARE SET #4 (BAR STREET ENTRY): 1-1/2 PR. B.B. HINGES (NRP) - DEADBOLT - PUSH/PULL - CLOSER - WEATHERSTRIPPING - ADA THRESHOLD	
HARDWARE SET #5 (PATIO DOOR ENTRY): 3 PR. B.B. HINGES (NRP) - PUSH/PULL EACH LEAF - CLOSER EACH LEAF - WEATHERSTRIPPING - DROP DOWN HOLDER EACH - ADA THRESHOLD	
HARDWARE SET #6 (COILING SHUTTER): - LOCK AND HANDLE BY MANUFACTURER - POWERED	
HARDWARE SET #7 (PREP ROOM): 1-1/2 PR. DOUBLE ACTION HINGES - PURGE COUPLER BOTH SIDES - KICK PLATE BOTH SIDES - SURFACE MOUNTED DOOR PULL ON PREP SIDE - DROP DOWN HOLDER ON HALLWAY SIDE - WALL STOP	



WALL SCHEDULE									
WALL TYPE	WALL DETAIL	DESCRIPTION	WIDTH	FIRE			SOUND		COMMENTS
				RATING	GA/UL #	DETAIL	STC RATING	SOUND INSULATION	
CMU									
J		9-5/8" (10") CMU BLOCK.	9 5/8"	-	-	-	-	-	EXTERIOR CMU WALL INFILL
FURRING									
F		7/8" FURRING WITH 5/8" GYPSUM BOARD.	1 1/2"	-	-	-	-	-	RESTROOM AND PREP KITCHEN FURRING AT MASONRY WALL
G		3-1/2" STUD WALL WITH 5/8" GYPSUM BOARD.	4 1/8"	-	-	-	-	-	MATCH EXIST. WALL CONSTRUCTION IN THIS AREA.
M		2" METAL STUDS WITH 2" RIGID INSULATION IN CAVITY W/ 5/8" GYPSUM BOARD ON INTERIOR SIDE	2 5/8"	-	-	-	-	-	PATIO BAR FURRING WALLS
INTERIOR									
A		3-5/8" METAL STUD WITH 5/8" TYPE "X" GYPSUM BOARD EACH SIDE.	4 7/8"	-	-	-	36	-	TYPICAL INT. WALL
B		3-5/8" METAL STUD WITH 3-5/8" BATT INSULATION AND 5/8" GYPSUM BOARD AND 5/8" CEMENT BOARD EACH SIDE.	6 1/8"	-	-	-	42	Yes	
C		3-5/8" METAL STUD WITH 3-5/8" BATT INSULATION AND 2 LAYERS 5/8" TYPE "X" GYPSUM BOARD EACH SIDE.	6 1/8"	2 HR	U419	-	42	Yes	FIRE RATED WALL
D		2X4 WOOD STUD WITH 1/2" GYPSUM BOARD EACH SIDE.	4 1/2"	-	-	-	-	-	SECOND FLOOR
E		DOUBLE ROW OF 3-5/8" METAL STUDS WITH 4" BATT INSULATION AND 1-3/8" AIR SPACE. 1 LAYER 5/8" TYPE "X" GYPSUM BOARD AND 1 LAYER 5/8" CEMENT BOARD EACH SIDE.	11 1/8"	2 HR	W472	-	-	Yes	ENTRY WALLS
H		2-1/2" METAL C. T. OR 1-1/2" STUDS W/ 1" X 24" GYPSUM PANEL INSERTED BETWEEN 2-1/2" FLOOR AND CEILING RUNNERS WITH 1/8" FLANGE SECTION OF 2-1/2" METAL C. T. OR 1-1/2" STUDS BETWEEN PANELS @ 24" O.C. WITH (2) LAYERS 5/8" TYPE "X" GYPSUM BOARD APPLIED TO FACE SIDE.	3 3/4"	2 HR	U428	-	42	Yes	FIRE RATED WALLS BY STAIRCASE
I		3-5/8" METAL STUD WITH 3-5/8" BATT INSULATION AND 1 LAYER 5/8" GYPSUM BOARD AND 1 LAYER 5/8" CEMENT BOARD ON ONE SIDE AND 1 LAYER OF 5/8" GYPSUM BOARD ON NICHE SIDE.	5 1/2"	-	-	-	42	Yes	WALLS BY ENTRANCE
N		3-5/8" METAL STUD WITH 1/2" PLYWOOD EACH SIDE.	4 7/8"	-	-	-	36	-	BAR WALL
O		3-5/8" METAL STUD WITH 1/2" MDF AND WOOD VENEER ON ONE SIDE.	4 1/8"	-	-	-	36	-	WALL AT FIREPLACE
P		3-5/8" METAL STUD WITH 3-5/8" BATT INSULATION AND 2 LAYERS OF 5/8" GYPSUM BOARD ON ONE SIDE.	4 7/8"	-	-	-	42	Yes	
STONE									
K		2" THIN STONE VENEER.	2"	-	-	-	-	-	STONE VENEER ACCENT ON INT. WALLS

DOOR SCHEDULE															
TAG	ROOM	DOOR					PANEL		FRAME		DETAIL			HARDWARE GROUP	COMMENTS
		FUNCTION	TYPE	WIDTH	HEIGHT	THICKNESS	MATERIAL	FINISH	TYPE	MATERIAL	FINISH	HEAD	JAMB		
PATIO BAR FLOOR															
150A	PATIO BAR	SINGLE SWING	FP-1	3'-0"	6'-8"	1 3/4"	WD	PT	WD-1	WD	ST			1	
151	STORAGE	SINGLE SWING	FP-1	3'-0"	6'-8"	1 3/4"	WD	ST	WD-1	WD	ST			3	
FIRST FLOOR															
100	ENTRY	SINGLE SWING	FG-1	5'-9"	6'-8"	1 3/4"	WD	ST	WD-1	WD	ST			4	10" TEMPERED INSUL GLAZING
101	BAR	FRENCH	PD-1	11'-10 1/2"	6'-8"	1 3/4"	WD	ST	WD-1	WD	ST			5	1" TEMPERED INSUL GLAZING
103	OFFICE	SINGLE SWING	FP-1	2'-8"	6'-8"	1 1/2"	WD	ST	WD-1	WD	ST			3	
104	UTILITY	SINGLE SWING	LP-1	2'-8"	6'-8"	1 1/2"	WD	ST	WD-1	WD	ST			3	LOUVERED DOOR
105	WOMEN'S	SINGLE SWING	FP-1	3'-0"	6'-8"	1 1/2"	WD	ST	WD-1	WD	ST			2	
106	MEN'S	SINGLE SWING	FP-1	3'-0"	6'-8"	1 1/2"	WD	ST	WD-1	WD	ST			2	
107	PREP / STOR	SINGLE BI-DIRECTIONAL	FP-1	3'-0"	6'-8"	1 3/4"	WD	ST	WD-1	WD	ST			7	
200	STAIR	SINGLE SWING	FG-2	3'-0"	6'-8"	1 3/4"	WD	ST	WD-1	WD	ST			1	1" TEMPERED INSUL GLAZING



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CEDARBURG TASTING ROOM

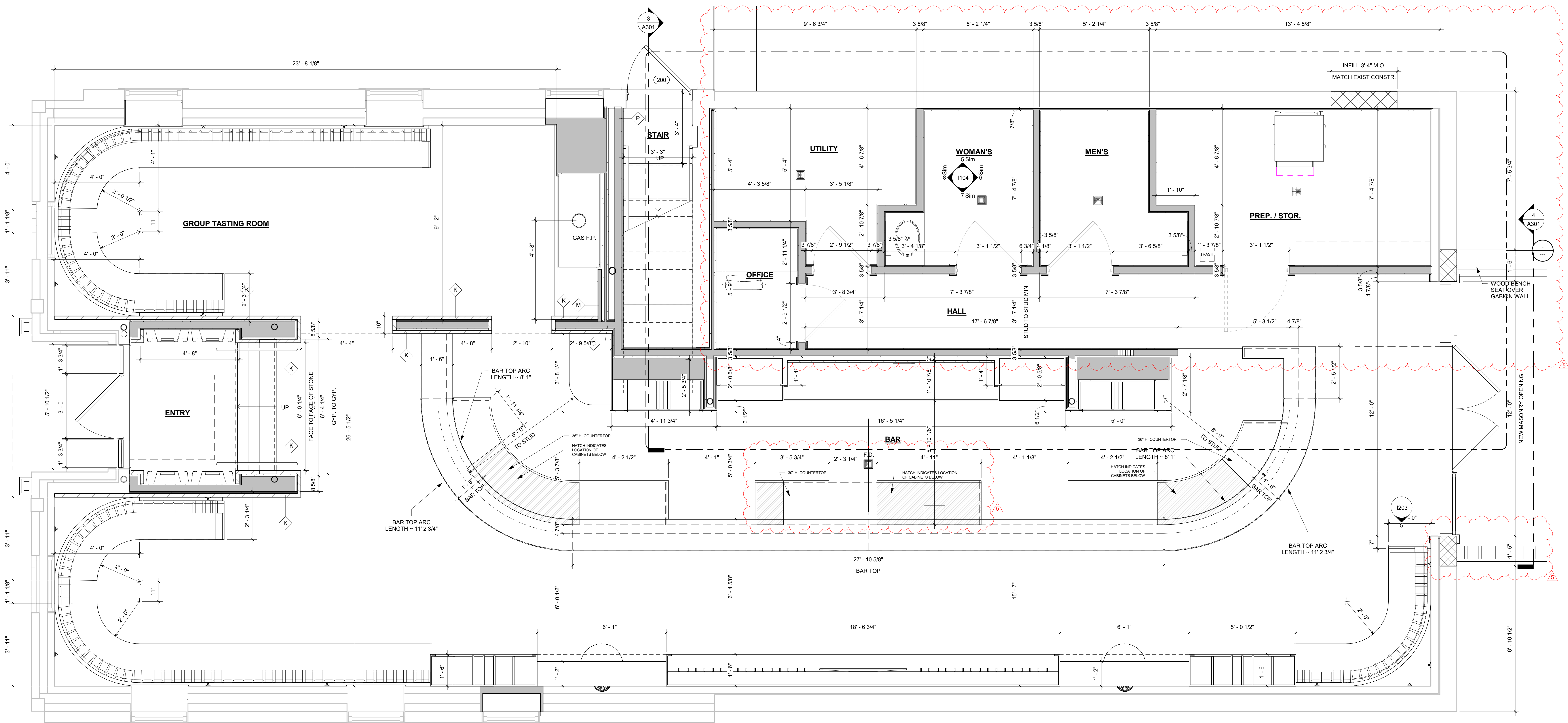
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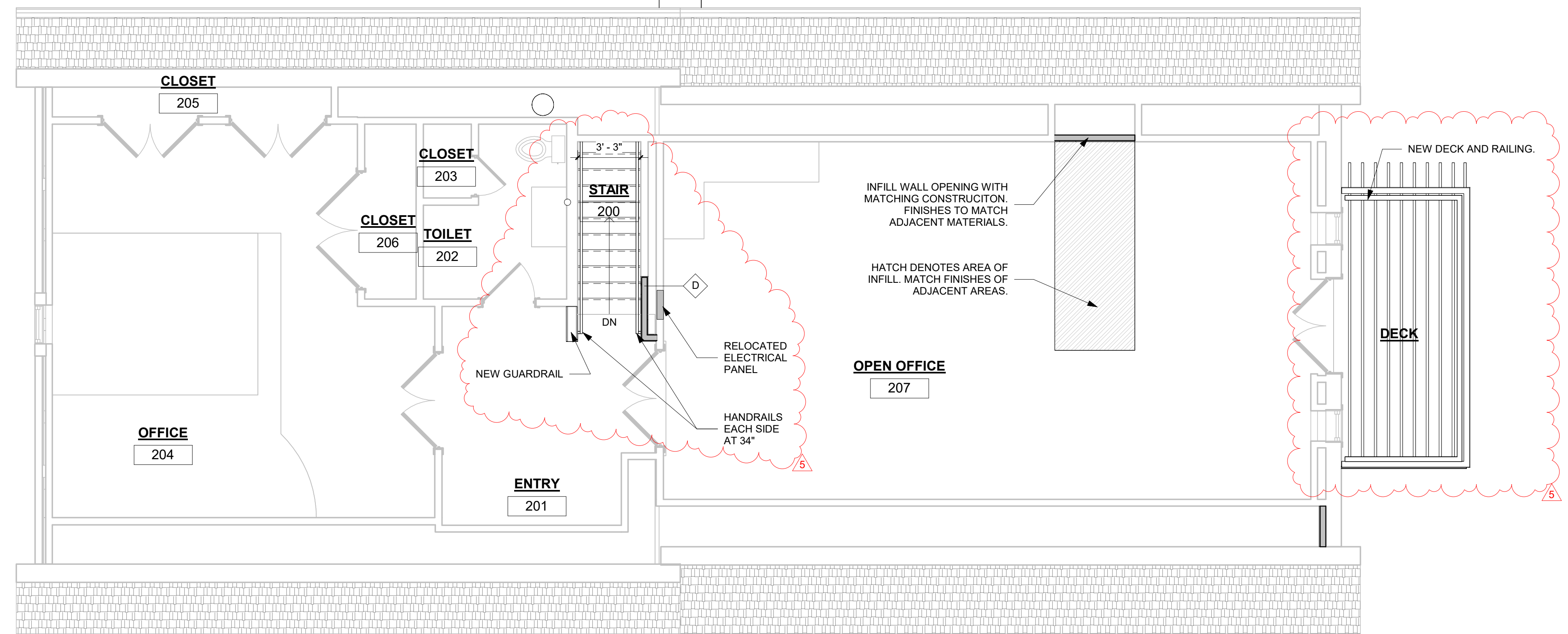
CONSTRUCTION DOCUMENTS

FIRST FLOOR PLAN & SCHEDULES

A101

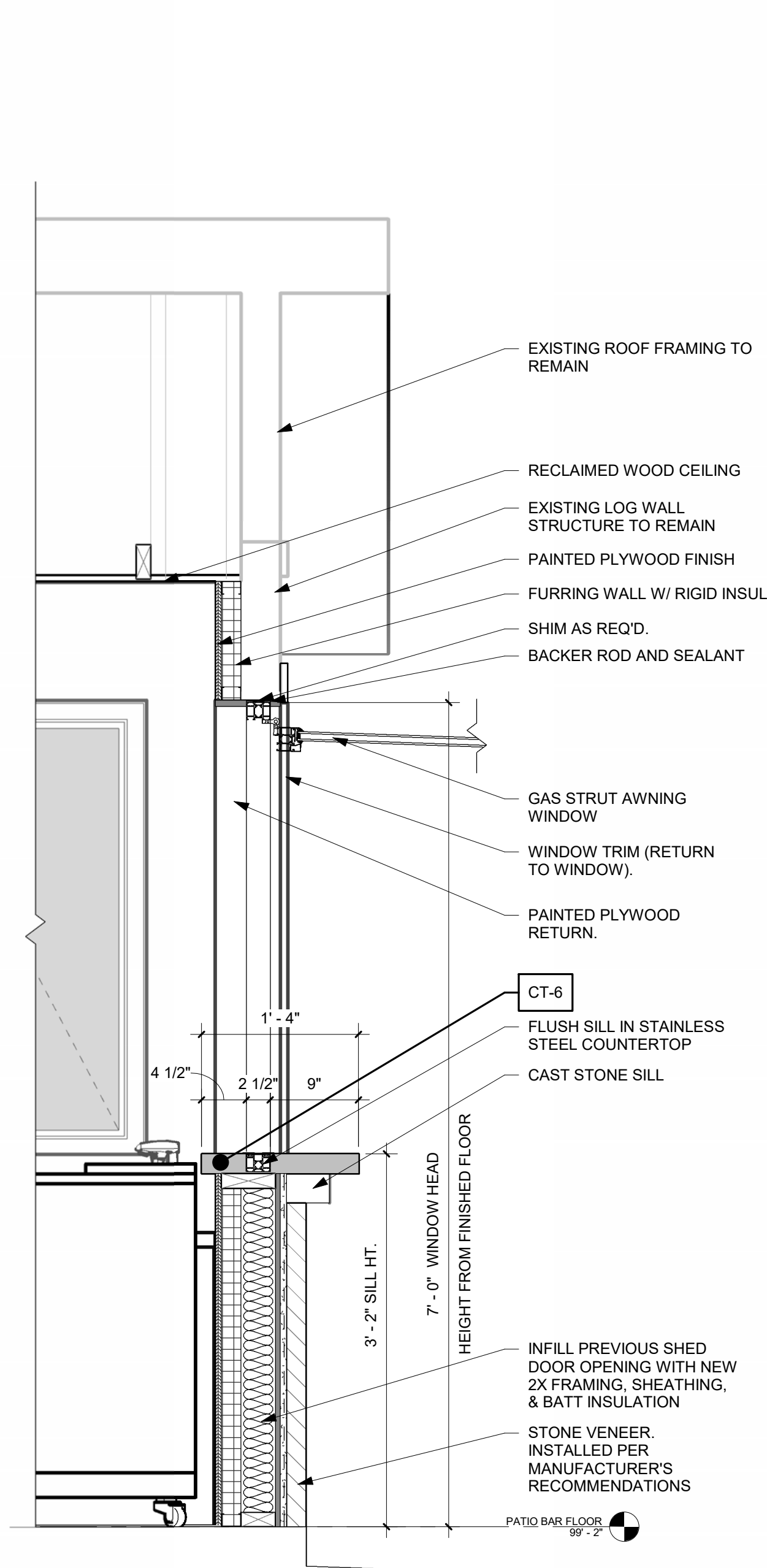


1 FLOOR PLAN - FIRST FLOOR - FRAMING
1/2" = 1'-0"

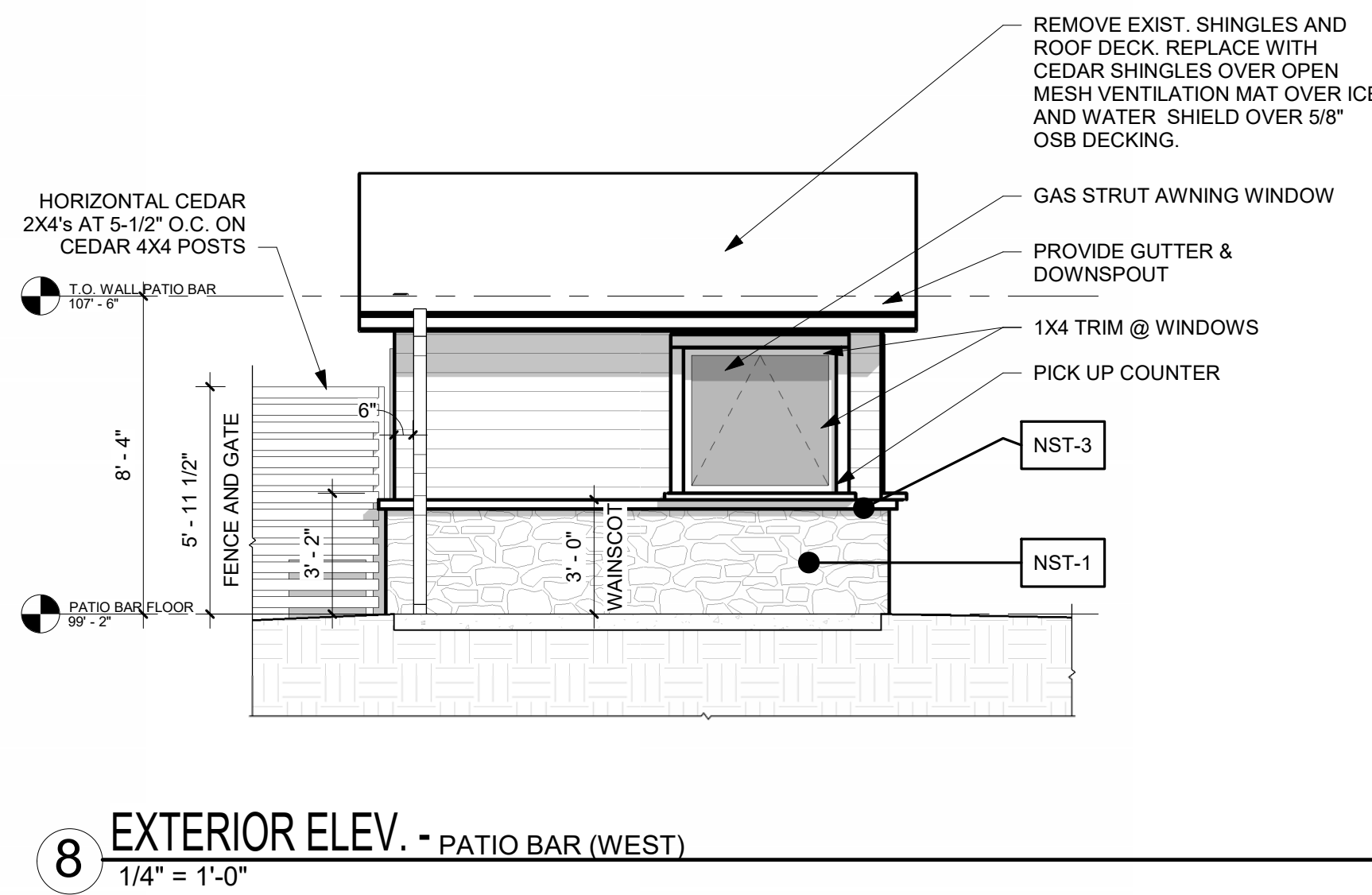


2 FLOOR PLAN - SECOND FLOOR
1/4" = 1'-0"

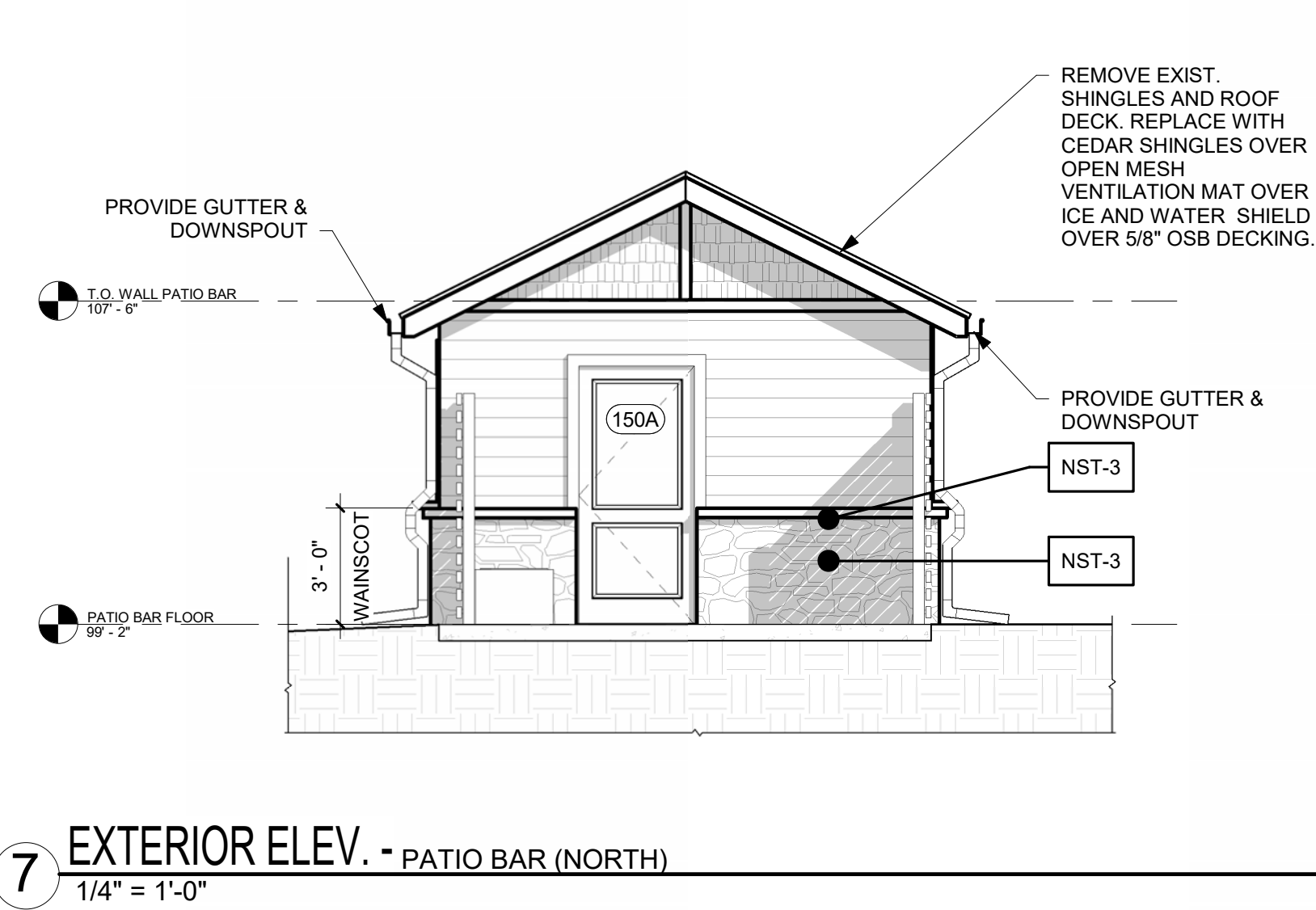
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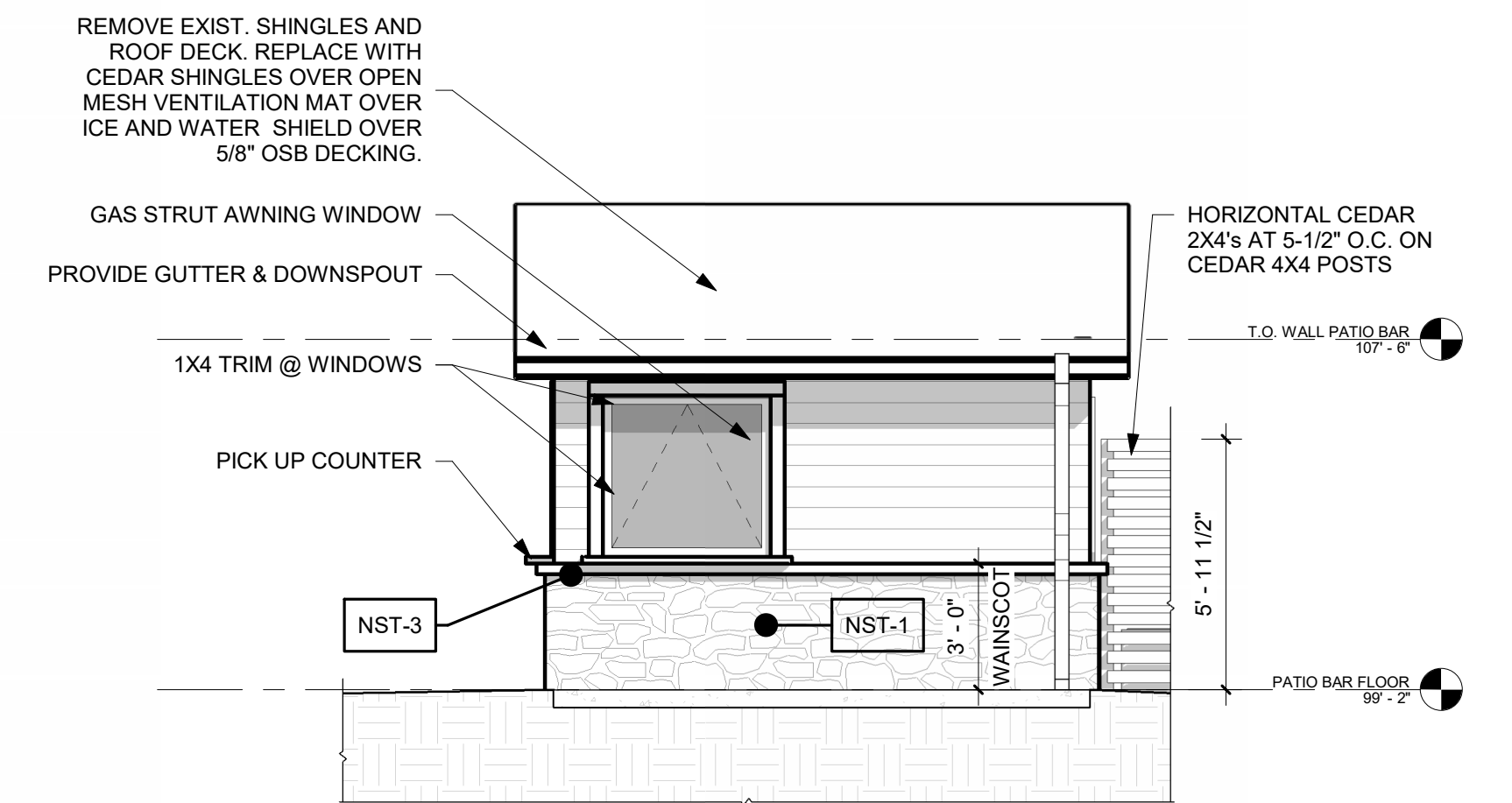
9 SECTION - PATIO BAR WALL SECTION
1/4" = 1'-0"



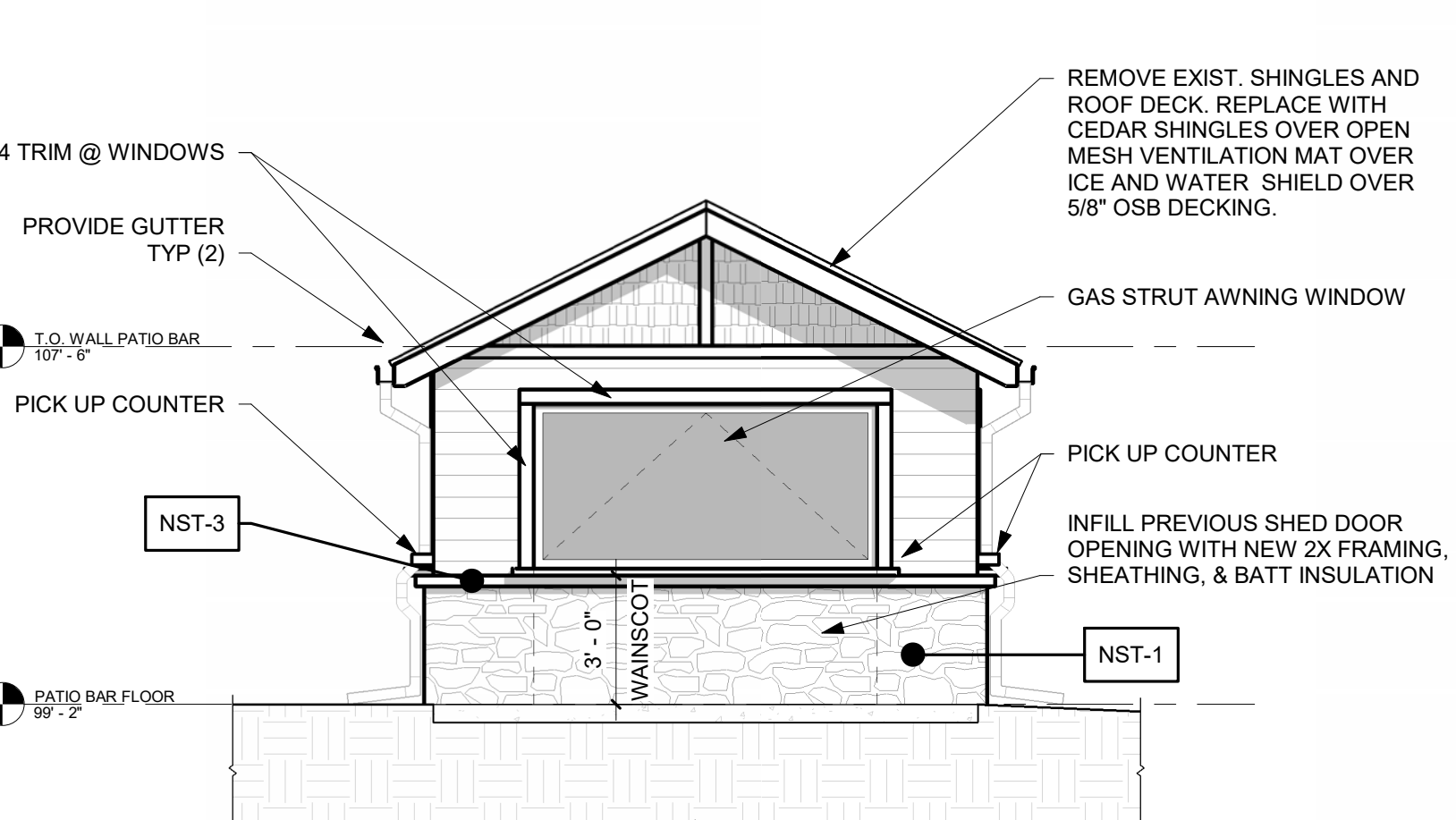
8 EXTERIOR ELEV. - PATIO BAR (WEST)
1/4" = 1'-0"



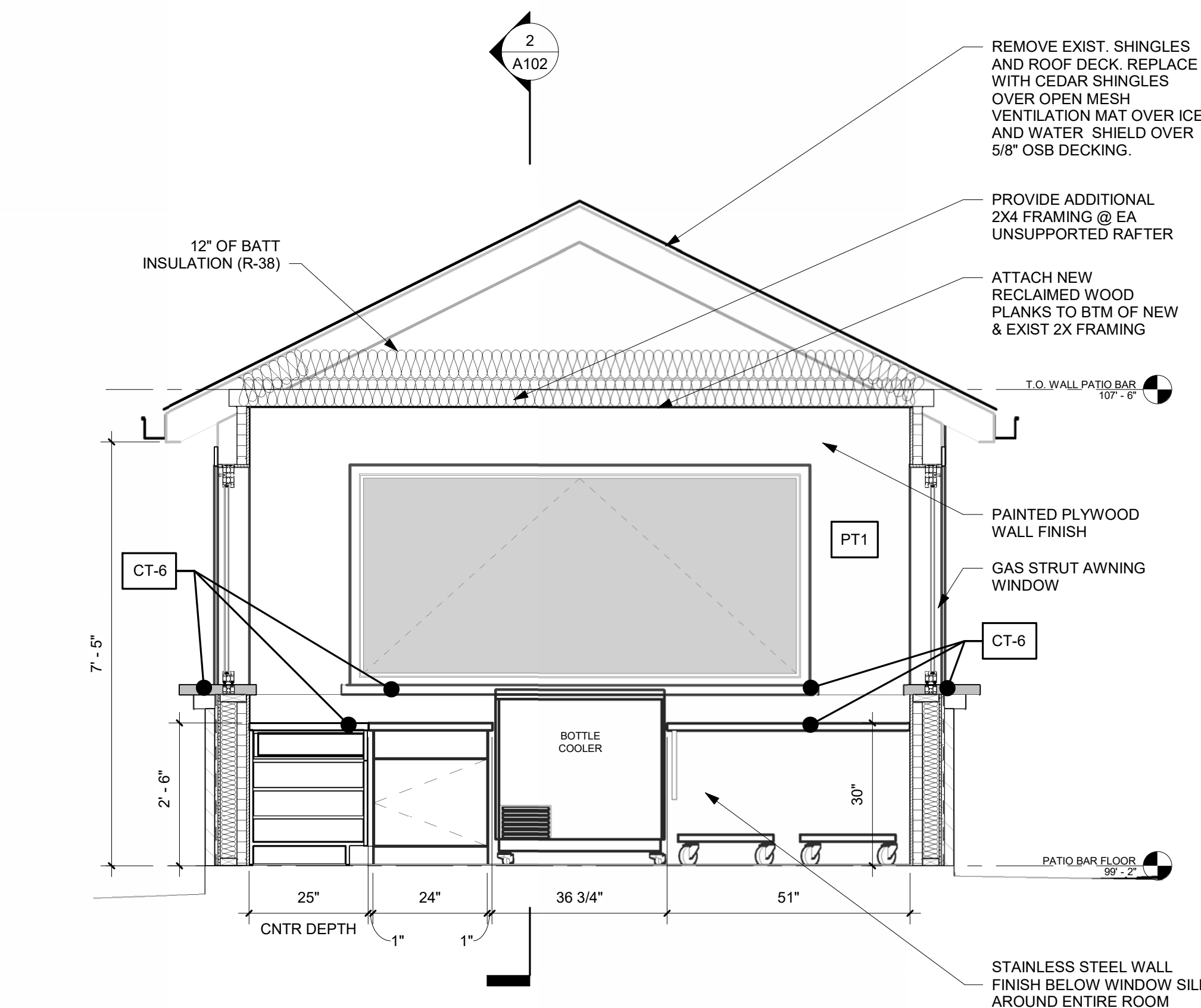
7 EXTERIOR ELEV. - PATIO BAR (NORTH)
1/4" = 1'-0"



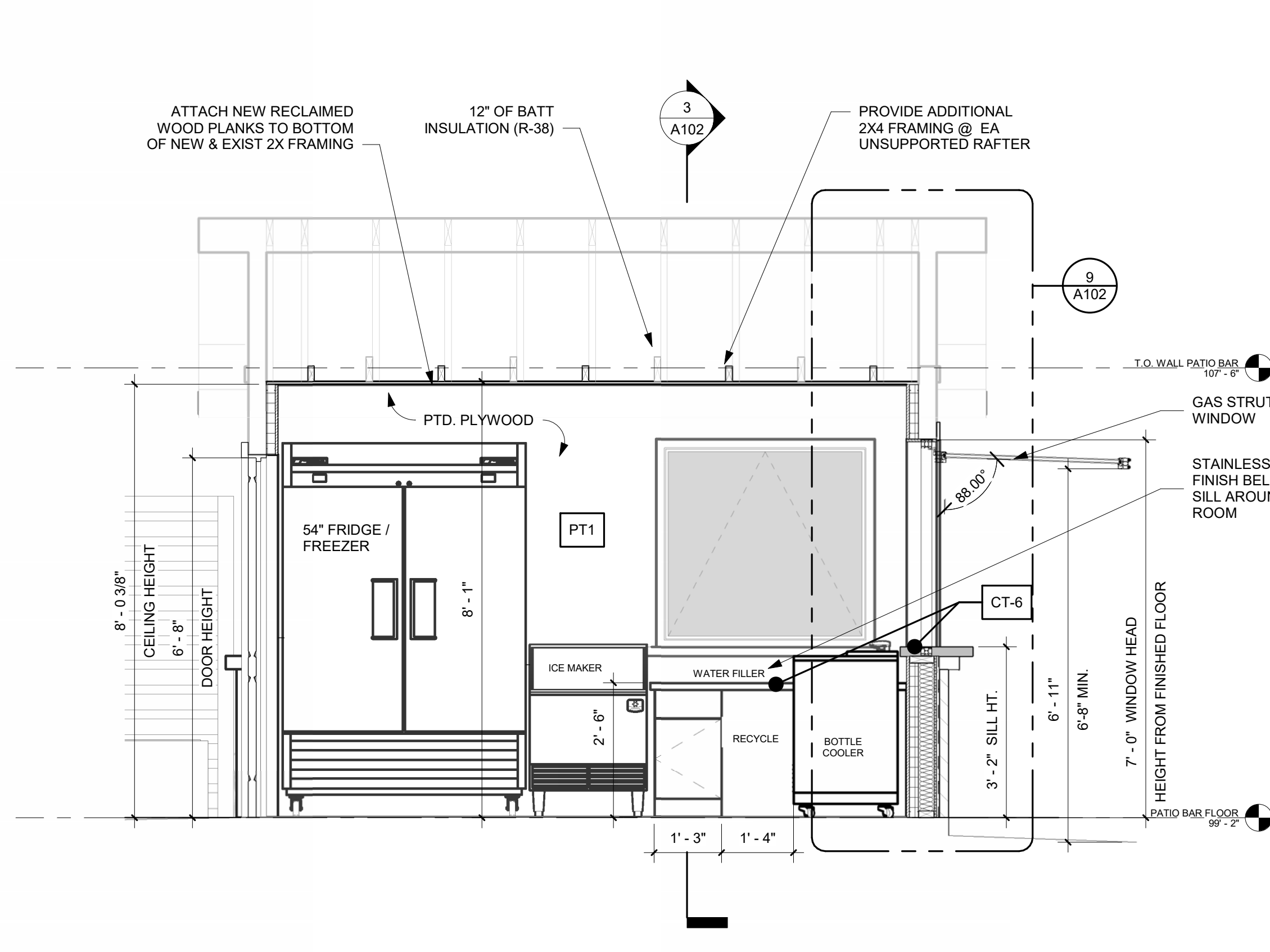
6 EXTERIOR ELEV. - PATIO BAR (EAST)
1/4" = 1'-0"



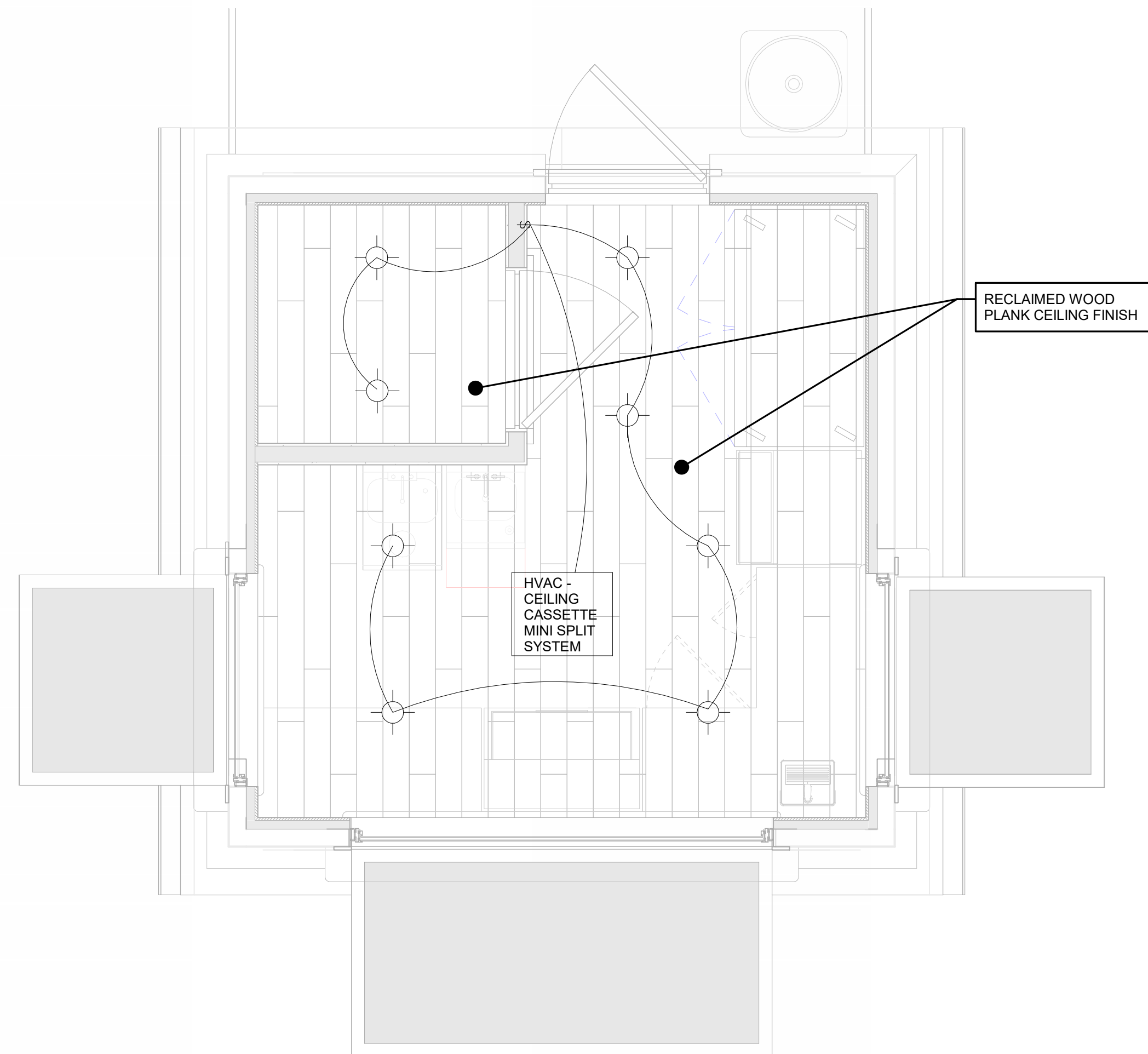
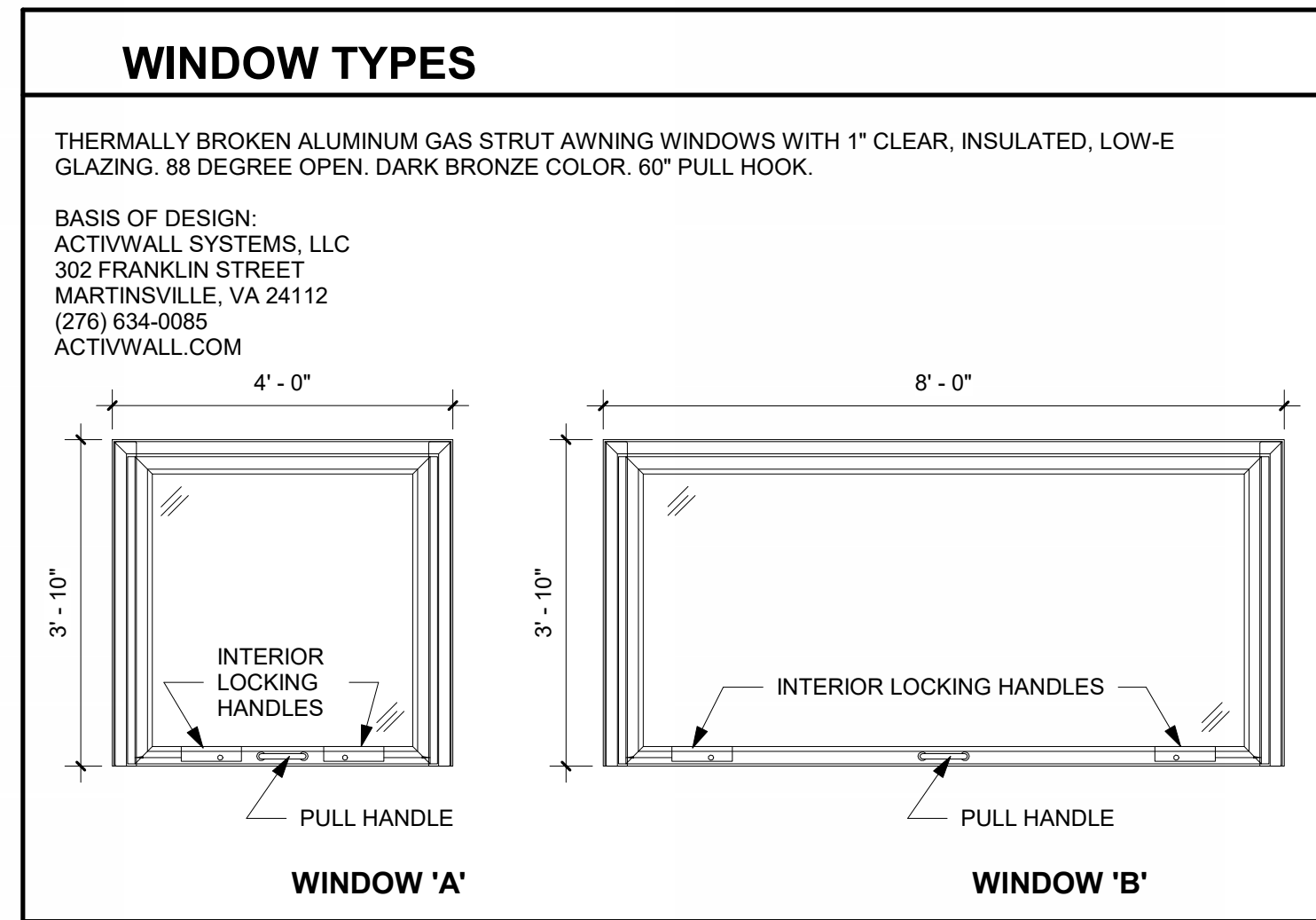
5 EXTERIOR ELEV. - PATIO BAR (SOUTH)
1/4" = 1'-0"



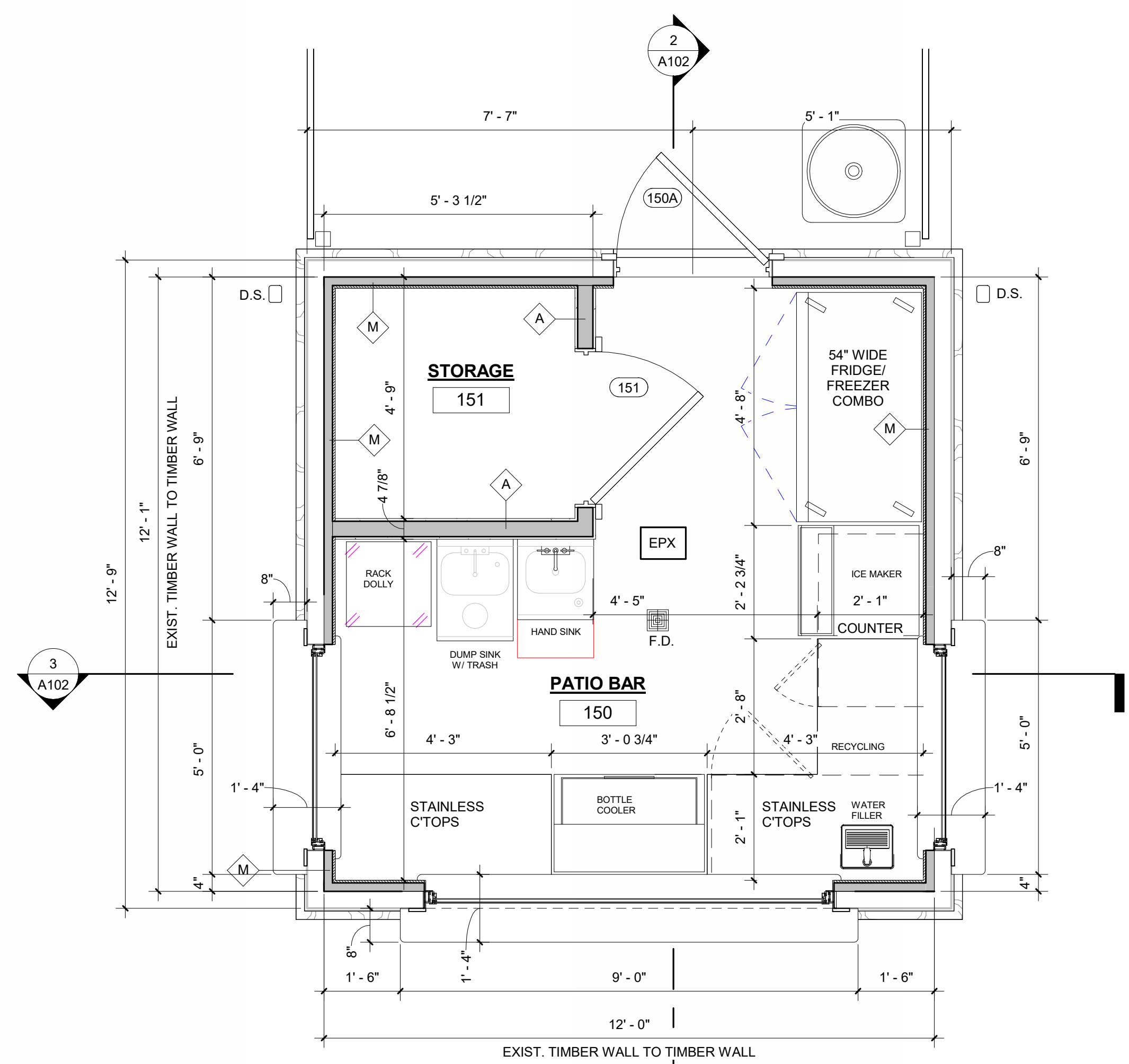
3 SECTION - PATIO BAR EAST/WEST
1/2" = 1'-0"



2 SECTION - PATIO BAR NORTH/SOUTH
1/2" = 1'-0"



4 REF. CEILING PLAN - PATIO BAR
1/2" = 1'-0"



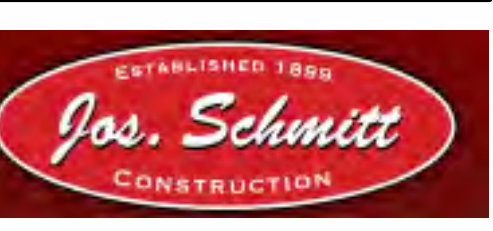
1 FLOOR PLAN - PATIO BAR
1/2" = 1'-0"



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PETER C. BARTNIK, P.E.
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Restoration
GARDENS

RESTORATION GARDENS
W4429 COUNTY ROAD JM
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WHEN PLANS ARE PRINTED ON 12 x 18 PAPER, DRAWINGS ARE REDUCED BY 50%.

#	DATE	DESCRIPTION
1	02/19/2024	CLIENT PRESENTATION
2	02/20/2024	PLAN REVIEW SET
3	03/29/2024	CONSTRUCTION DOCUMENTS
4	04/05/2024	CONSTRUCTION BULLETIN #1
5	05/24/2024	CONSTRUCTION BULLETIN #2

CEDARBURG TASTING ROOM

W63 N674 WASHINGTON AVE
CEDARBURG, WI 53012

PROJECT #: 24-002

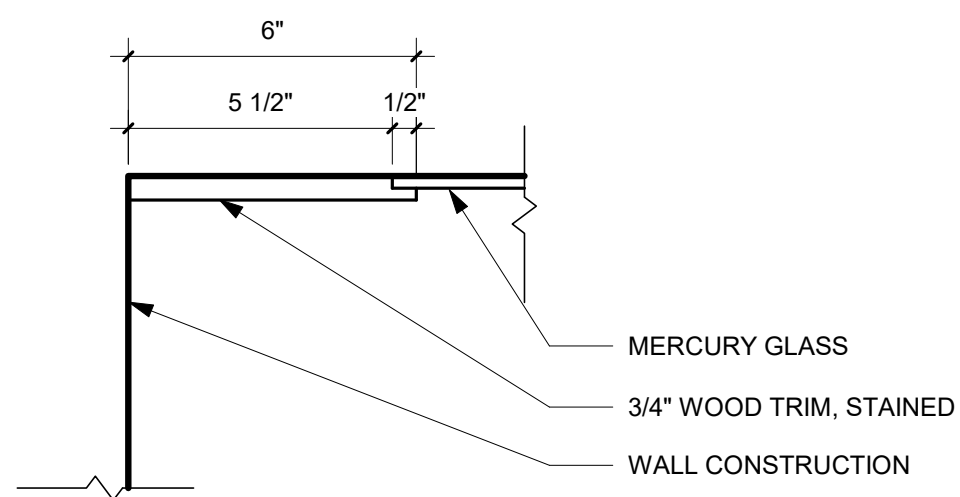
CONSTRUCTION DOCUMENTS

PATIO BAR PLANS

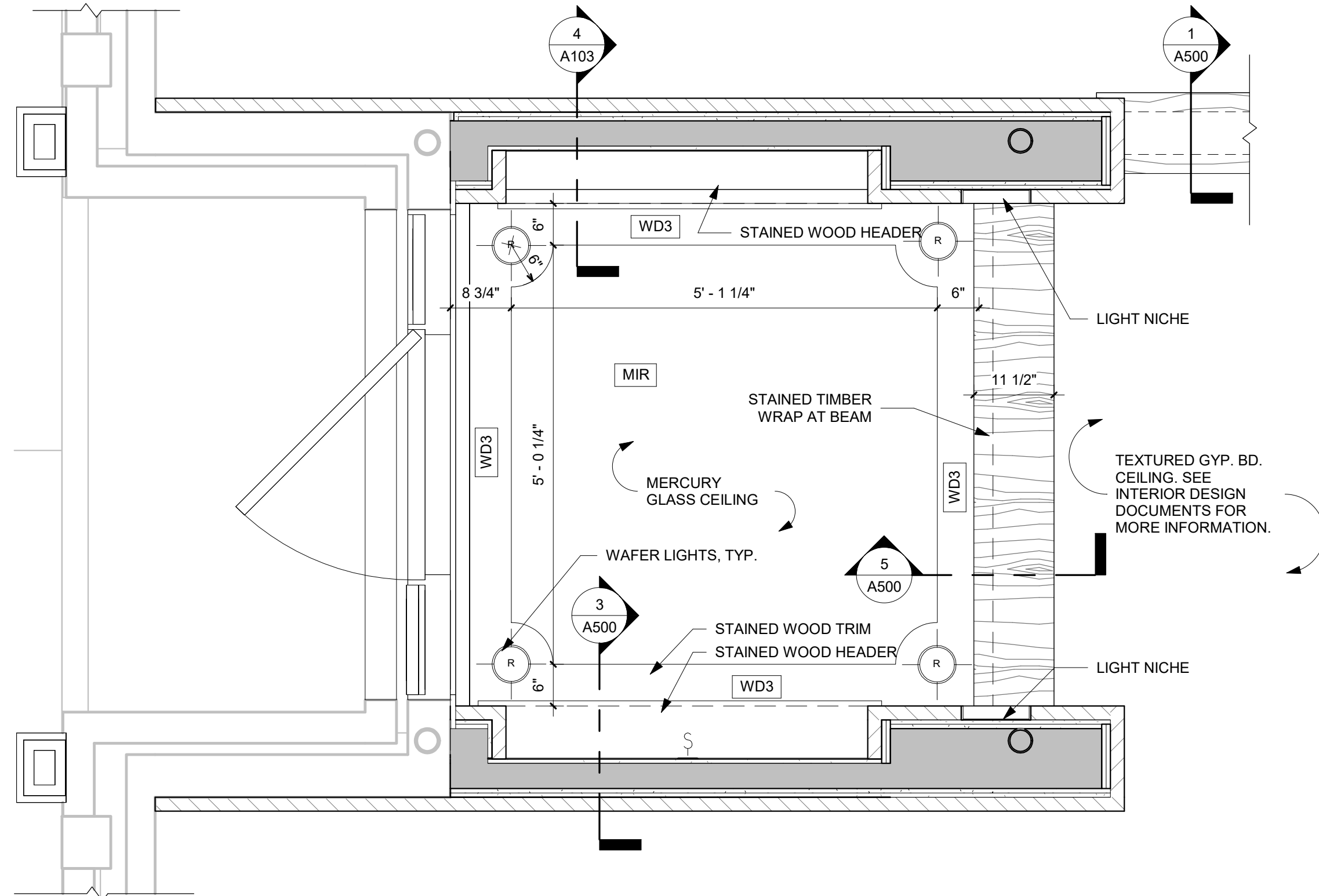
PLAN NORTH TRUE NORTH

A102

IF PRINTED ON 30" X 42" TOP SCALE BAR SHALL BE EXACTLY 1" = 30' X 42'
IF SCALE BAR IS NOT EXACTLY 1", DRAWING IS NOT TO SCALE



4 DETAIL - CEILING TRIM DETAIL
3" = 1'-0"



3 REF. CEILING PLAN - ENTRY
3/4" = 1'-0"

ELECTRICAL SYMBOLS AND ABBREVIATIONS

GENERAL NOTES:

- SYMBOLS INDICATED HERE AND NOT USED IN THE CONTRACT DOCUMENTS DO NOT APPLY TO THIS PROJECT. ADDITIONAL SYMBOLS MAY BE INDICATED IN THE CONTRACT DOCUMENTS.
- EXISTING TO REMAIN IS SHOWN WITH DASHED LIGHT LINES.
- NEW WORK IS SHOWN WITH SOLID HEAVY LINES.

COMMUNICATION

▼ WALL TELEPHONE OUTLET CONFIGURATION: 1 VOICE MOUNTING LOCATION: FLUSH WALL MOUNTING HEIGHT: 1'-4" AFF	SP SPEAKER MOUNTING LOCATION: CEILING MOUNTING HEIGHT: 5'-0" AFF
▽ ETHERNET OUTLET MOUNTING LOCATION: SURFACE WALL MOUNTING HEIGHT: 1'-4" AFF	TV TV OUTLET CONFIGURATION: 1 COAX & 1 ETHERNET MOUNTING LOCATION: WALL MOUNTING HEIGHT: 1'-4" AFF

LIGHTING AND FANS

⊕ WALL SCONCE	— LED RIBBON LIGHT OR BACKLIT PANEL
⊕ 4" LED SURFACE MOUNTED WAFFER LIGHT	— 6" SURFACE MOUNTED LED LIGHT FIXTURE
⊕ PENDANT LIGHT FIXTURE	◀ SURFACE MOUNTED ADJUSTABLE ACCENT LIGHT/WALL WASHER
⊕ EXHAUST FAN MOUNTING LOCATION: CEILING	

SWITCHES

§ SINGLE POLE SWITCH MOUNTING LOCATION: WALL MOUNTING HEIGHT: 3'-6"	§ ₃ THREE WAY SWITCH MOUNTING LOCATION: WALL MOUNTING HEIGHT: 3'-6"	§ _T SWITCH WITH TIMER MOUNTING LOCATION: WALL MOUNTING HEIGHT: 3'-6"
---	--	---

GENERAL ELECTRICAL NOTES

- LIGHT FIXTURES AND MECHANICAL GRILLS AND REGISTERS ARE SHOWN FOR GENERAL LOCATION ONLY. FOR ACTUAL TYPES AND SIZES, SEE ELECTRICAL AND MECHANICAL PLANS.
- ALL MECHANICAL EQUIPMENT AND APPLIANCES SHALL HAVE POWER AS REQUIRED.
- ALL OUTLETS TO BE PLACED PER CODE.
- USE GFCI OUTLETS WHERE REQUIRED PER CODE.
- REFER TO INTERIOR DESIGN ROOM FINISH SCHEDULE FOR CEILING INFORMATION NOT SHOWN HERE.
- CEILING HEIGHTS ARE MEASURED FROM TOP OF CONCRETE TOPPING, TYPICAL.
- CEILING HEIGHTS ARE 8'-0", PAINTED GYP. BD. CEILING, U.N.O.
- LIGHT FIXTURE LOCATIONS ARE APPROXIMATE. SEE INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION. FINALIZE LIGHT FIXTURE LOCATION IN FIELD DURING ELECTRICAL WALKTHROUGH WITH DESIGN TEAM.

LIGHTING GENERAL NOTES

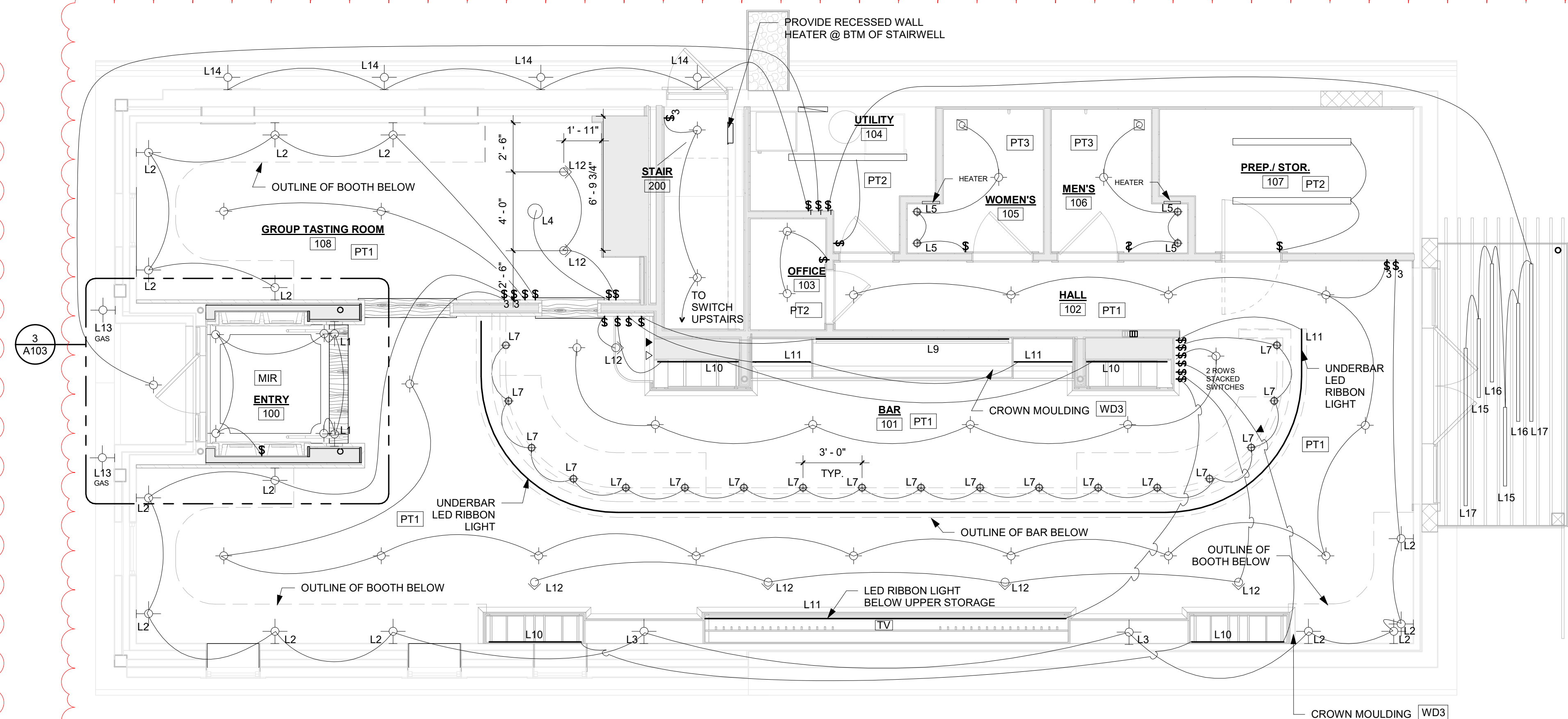
- ALL LIGHTING LOCATED IN BAR, ENTRY, GROUP TASTING ROOM, AND HALL SHALL BE DIMMABLE.
- 3 WAY SWITCHES AS NOTED
- EXTERIOR LIGHTS SHALL BE ON A SWITCH AND TIMER LOCATED IN THE UTILITY ROOM.

AUDIO/ VISUAL EQUIPMENT

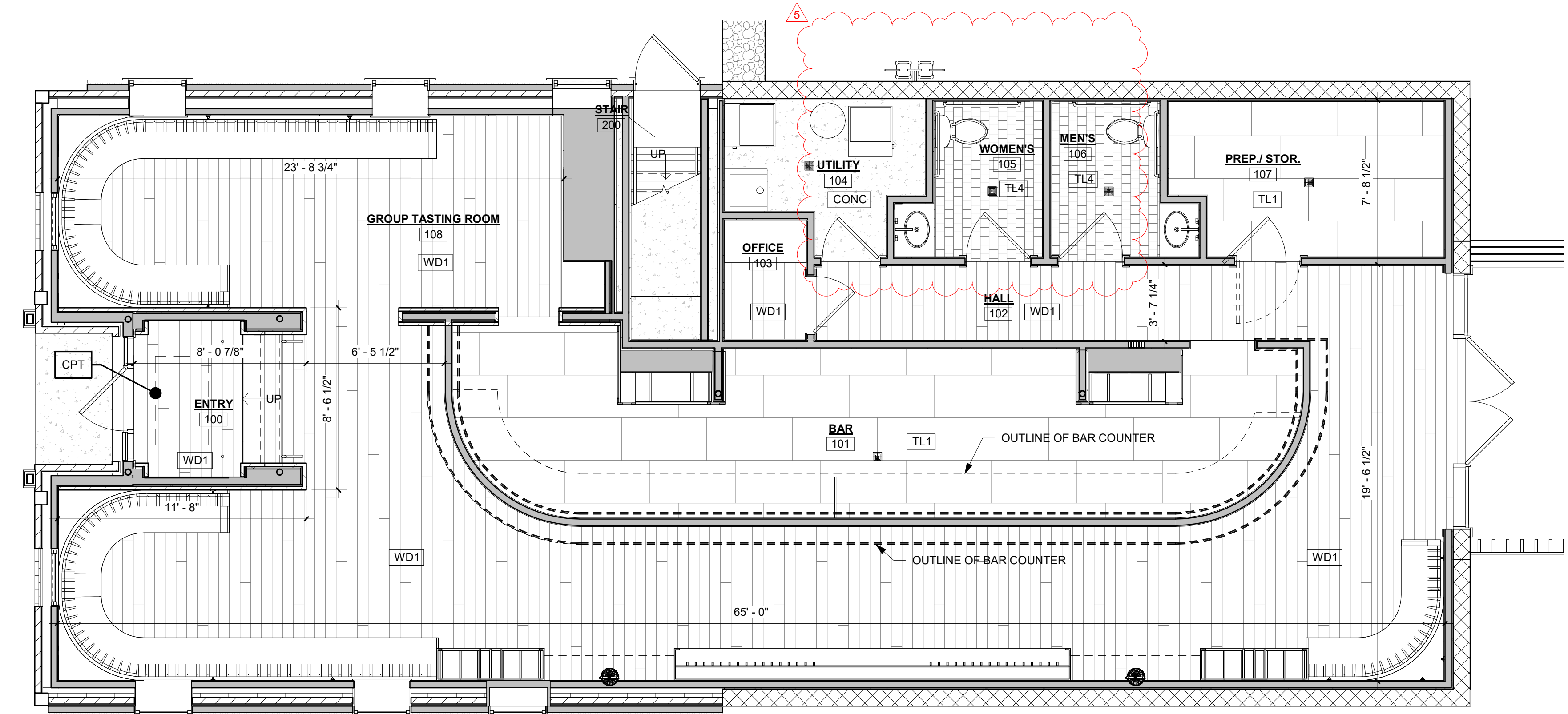
G.C. SHALL INSTALL ALL AUDIO/ VISUAL EQUIPMENT INCLUDING, BUT NOT LIMITED TO THE FOLLOWING:

- DATA/ INTERNET CONNECTIONS
- WIFI ROUTERS
- CABLE HOOKUPS
- SPEAKERS
- TELEVISIONS (WITH LIVE STREAM ABILITY)

VERIFY EQUIPMENT AND SPEAKER LOCATIONS (INTERIOR AND EXTERIOR) WITH OWNERS.



2 REF. CEILING PLAN - FIRST FLOOR ELECTRICAL PLAN
1/4" = 1'-0"



1 FLOOR PLAN - FIRST FLOOR FINISH PLAN
1/4" = 1'-0"

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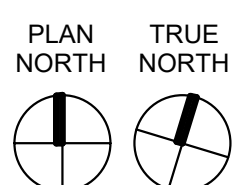
CEDARBURG TASTING ROOM

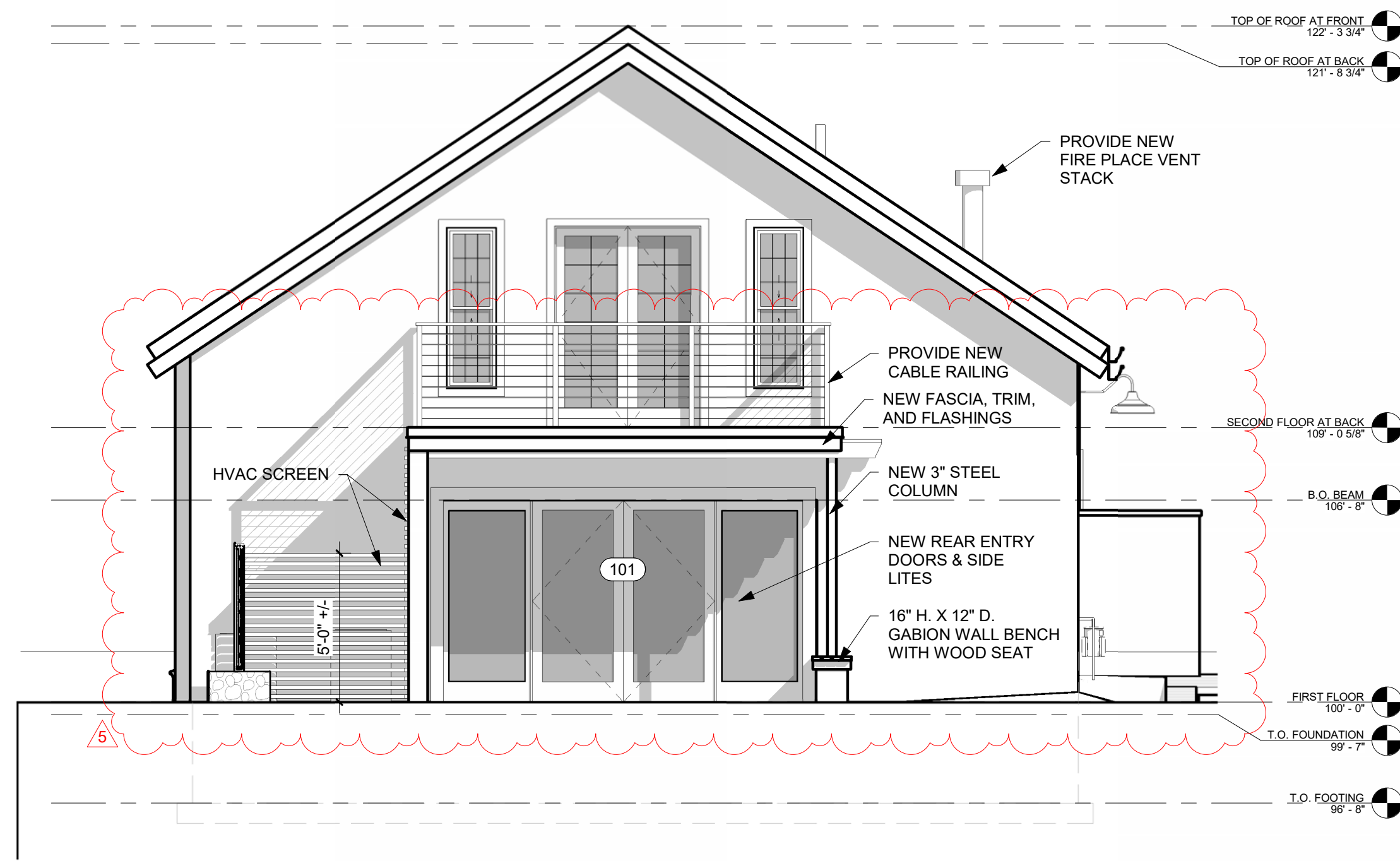
W63 N674 WASHINGTON AVE
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PROJECT #: 24-002

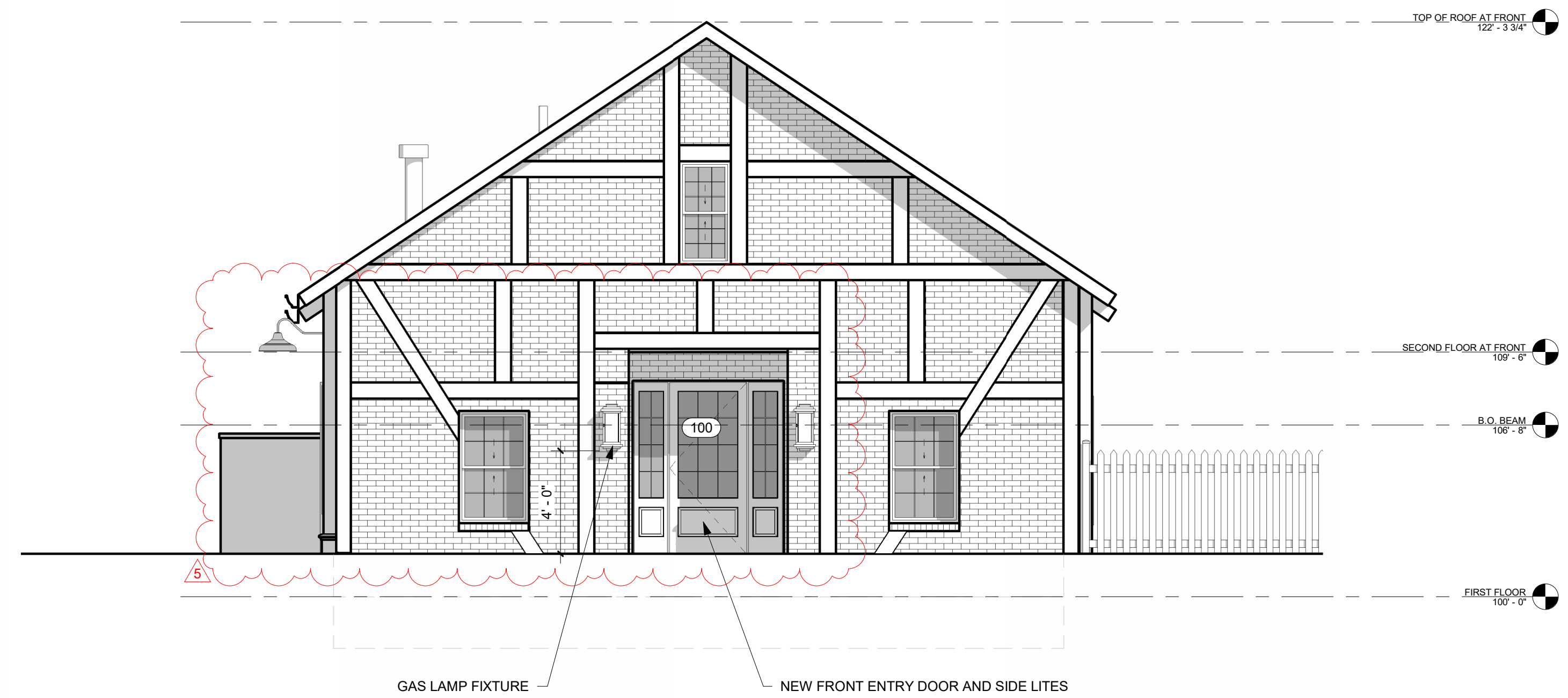
CONSTRUCTION DOCUMENTS

FINISH PLAN, REFLECTED CEILING PLAN, AND ELECTRICAL A103

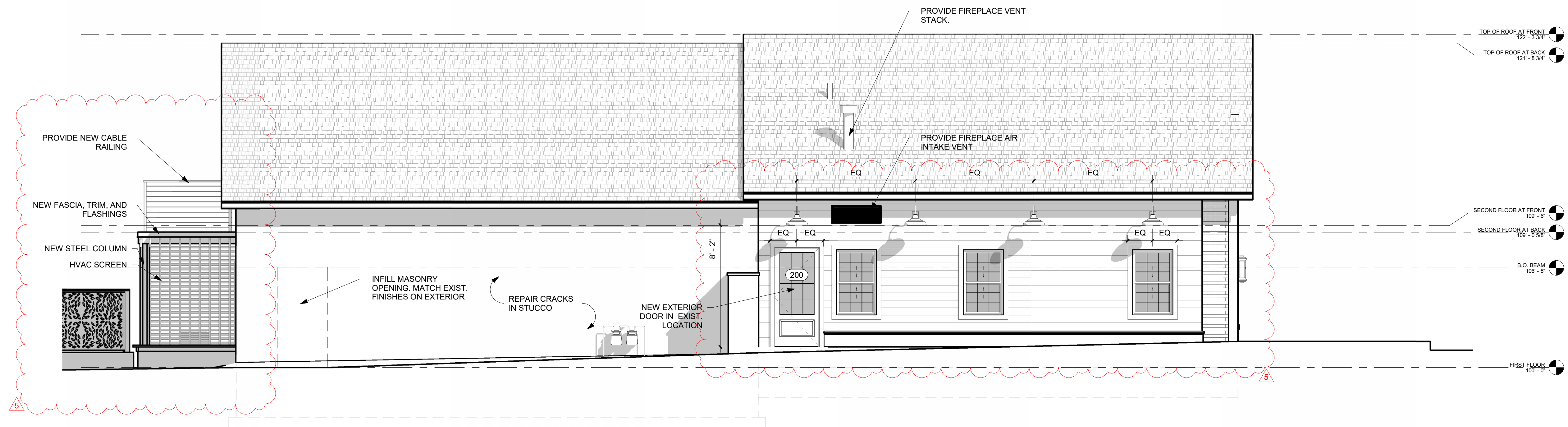




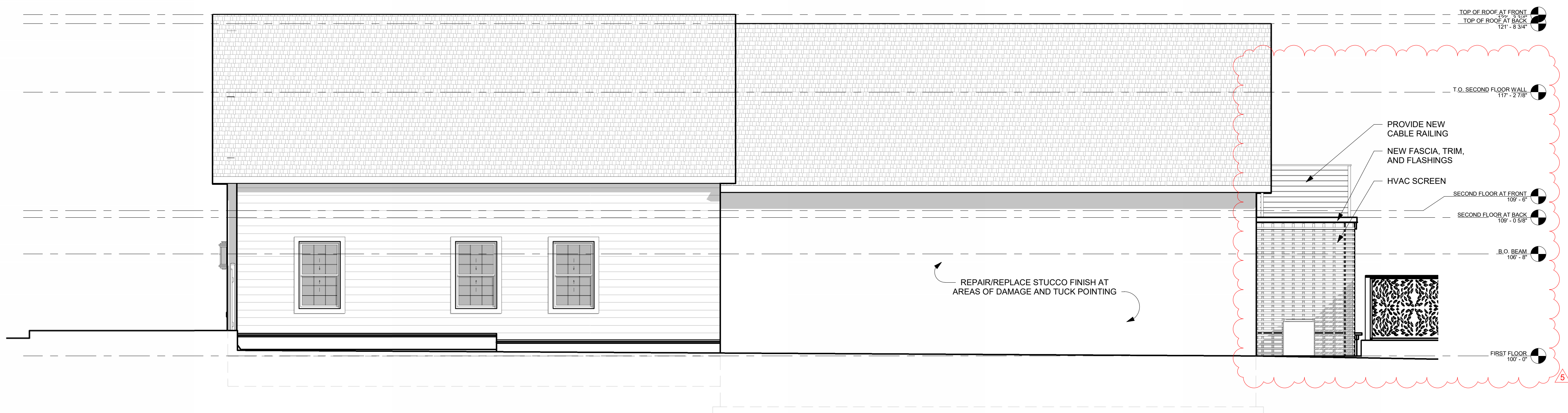
4 EXTERIOR ELEV. - EAST (REAR)
1/4" = 1'-0"



3 EXTERIOR ELEV. - WEST (STREETSIDE)
1/4" = 1'-0"



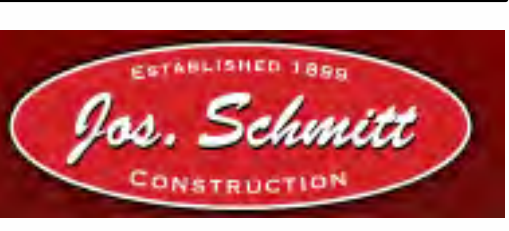
2 EXTERIOR ELEV. - NORTH
1/4" = 1'-0"



1 EXTERIOR ELEV. - SOUTH
1/4" = 1'-0"



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CEDARBURG TASTING ROOM

W63 N674 WASHINGTON AVE
 CEDARBURG, WI 53012
 PROJECT #: 24-002

CONSTRUCTION DOCUMENTS
EXTERIOR ELEVATIONS

A200

PLANNERS REPORT

To: City of Cedarburg Plan Commission

By: Mary Censky

Date Prepared: July 1, 2024

General Information:

Agenda Item: 8.B.

Applicant/Property Owner:

N.A./This item is City initiated

Requested Action:

Recommendation to the Common Council to adopt a Public Participation Plan (PPP).

Discussion:

[Section 66.1001\(4\)\(a\) of the Wis Stats](#) provides that:

“The governing body of a local governmental unit shall adopt written procedures that are designed to foster public participation, including open discussion, communication programs, information services, and public meetings for which advance notice has been provided, in every stage of the preparation of a comprehensive plan. The written procedures shall provide for wide distribution of proposed, alternative, or amended elements of a comprehensive plan and shall provide an opportunity for written comments on the plan to be submitted by members of the public to the governing body and for the governing body to respond to such written comments. The written procedures shall describe the methods the governing body of a local governmental unit will use to distribute proposed, alternative, or amended elements of a comprehensive plan to owners of property, or to persons who have a leasehold interest in property pursuant to which the persons may extract nonmetallic mineral resources in or on property, in which the allowable use or intensity of use of the property is changed by the comprehensive plan.”

On June 24, 2024, the Common Council was advised that the Planning Commission intends to begin the process of updating the City’s existing “[Smart Growth Comprehensive Land Use plan – 2025](#)”. They were informed that the required first step in this process is to adopt a Public Participation Plan (see DRAFT PPP Resolution attached) and advised that this would be the subject of consideration and possible action/recommendation at the Plan Commissions July 1, 2024, meeting.

Following adoption of the Public Participation Plan, the Plan Commission can start in earnest with the update effort.

Recommendation:

If Plan Commissioners feel the means/methods described in the attachment satisfactorily ensure public input and engagement opportunities as a part of this planned update, a favorable recommendation to the Common Council to approve/adopt the attached DRAFT Resolution would be in order.

Resolution #2024-_____

**RESOLUTION OF THE COMMON COUNCIL OF THE CITY OF CEDARBURG ESTABLISHING
PUBLIC PARTICIPATION PROCEDURES FOR A PLANNED UPDATE TO THE CITY'S
COMPREHENSIVE PLAN (i.e. CITY OF CEDARBURG SMART GROWTH COMPREHENSIVE
LAND USE PLAN – 2025)**

WHEREAS, pursuant to Section 66.1001 of the Wisconsin Statutes, any program or action of a local governmental unit that affects land use, including but not limited to zoning, subdivision regulation and official mapping, shall be consistent with that local governmental unit's adopted comprehensive plan beginning January 1, 2010, such plan being required to address the nine elements as required by Wisconsin Statutes Section 66.1001(2); and

WHEREAS, the City of Cedarburg City Planning Commission and Common Council did adopt the Smart Growth Comprehensive Land Use Plan for the City of Cedarburg in 2008, which plan has been amended from time to time since then and will now be wholly updated to comply with the procedures established by Section 66.1001 of the Wisconsin Statutes; and

WHEREAS, Section 66.1001(4)(a) of the Wisconsin Statutes requires that the City Common Council adopt written procedures designed to foster public participation at every stage of comprehensive plan preparation including open discussion, communication programs, information services and public meetings for which advance notice has been provided, and that such written procedures shall also provide for wide access to draft plan materials, an opportunity for the public to submit written comments on the plan materials, and a process for the governing body to respond to such comments; and

WHEREAS, the Common Council of the City of Cedarburg believes that regular, meaningful public involvement in the comprehensive planning process is important to ensure that the resulting comprehensive plan reflects the desires and expectations of the public to the maximum extent practicable; and

WHEREAS, the Plan Commission of the City of Cedarburg did, on July 1, 2024, review the Public Participation Plan attached hereto as Exhibit A, found that it includes written procedures designed to foster public participation, ensures wide distribution of draft plan materials, provides opportunities for open discussion and written comments on such materials, and provides mechanisms to respond to such comments, and did, therefore, recommend approval thereof to the Common Council; and

NOW, THEREFORE, BE IT RESOLVED that the Common Council of the City of Cedarburg hereby adopts the Public Participation Plan for the City of Cedarburg Comprehensive Plan adopted February 2008 as its public participation procedures to fulfill the requirements of Wis. Stats. Section 66.1001 (4)(a).

This resolution was adopted by the City of Cedarburg City Common Council on the ____ day of _____, 2024:

CITY COMMON COUNCIL OF THE CITY OF CEDARBURG, WISCONSIN

BY: _____

Pat Thome, Mayor

ATTEST: _____

Tracie Sette, City Clerk

Exhibit A to Resolution #2024-___

“PUBLIC PARTICIPATION PLAN” DEVELOPED FOR THE PLANNED UPDATE TO THE CITY OF CEDARBURG COMPREHENSIVE PLAN (i.e. SMART GROWTH COMPREHENSIVE LAND USE PLAN – 2025

Methods of Public Participation.

The City of Cedarburg may use several methods to encourage public input throughout the comprehensive planning update process and for any future updates or amendments as may be needed thereafter. Methods to be employed include the following:

Method 1: Plan Commission

The City of Cedarburg will utilize the Plan Commission as the main body responsible for development, updates, and ongoing maintenance of the Comprehensive Plan for the City of Cedarburg-2050. The Plan Commission will be responsible for reviewing data, prioritizing issues and land use alternatives, overseeing the organization of the Plan, and determining goals, objectives and policies based on, among other things, information gathered from the public.

Method 2: Public Meetings & Public Hearings

Public meetings provide opportunity for both education and input. All Plan Commission and Common Council meetings are open to the public. All meeting agendas are posted in advance on the City of Cedarburg website and published as required by State law. Approved minutes of previous meetings are also posted on the City’s website. Any time an amendment or an update to the Comprehensive Plan is contemplated, it will be referred to, and reviewed in detail, by the Plan Commission at a meeting that is open to the public. Time for public comments may be set aside at each such meeting.

Any amendment or update to the Comprehensive Plan that is recommended by the Plan Commission to the City Common Council by action/Resolution of the Planning Commission will be the subject of a public hearing duly noticed by Class 1 notice, published at least 30 days prior to such hearing. The public hearing will consist of a short presentation summarizing and highlighting the major parts of the proposed amendment and/or update. Participants will have the opportunity to provide comments about the draft plan amendment or update. An official public record of the presentation and all comments will be established. The draft plan amendment will be available for review prior to the public hearing. Interested citizens will also have the opportunity to provide written comments prior to the public hearing, which will be read into the hearing.

Method 3: News Releases and Website

News releases are an effective tool to keep both the public and the press informed about the planning process. The City of Cedarburg may utilize news releases to create public awareness about the comprehensive planning process at key times during the amendment and or update process. In addition, the City will utilize its website to keep citizens informed on the planning process, to encourage public involvement, and to permit input/comments to City staff at any time.

Method 4: Public Engagement Survey

The City may conduct community surveys to inform it’s priorities and objectives as a part of the Comprehensive Plan update. Pertinent survey data may be summarized for use by the Plan Commission during the development of a Plan update.

Other Methods

In order to further develop the community’s vision, the City may use such other methods to gain the public’s input as workshops, open houses, and/or informational meetings.

PLANNERS REPORT

To: City of Cedarburg Plan Commission

By: Mary Censky

Date Prepared: July 1, 2024

General Information:

Agenda Item: 8.D.

Applicant/Property Owner:

N.A./This item is City initiated

Requested Action:

Discussion, consideration and possible recommendation to the Common Council to amend the Code, making “Outdoor Dining/Seating/Gathering Space With or Without Alcohol Consumption” and “Outdoor Entertainment–Amplified or Not” conditional uses in the B-1, B-2, and B-3 Business Districts.

Discussion:

The Planner is aware that the City is facing citizen complaints with respect to noise overflow from approved outdoor entertainment venues on private properties in the City. One solution used in some communities to manage outdoor gathering, dining, consumption and entertainment spaces on privately owned business properties has been to include them as conditional uses in the zoning code.

A draft Code language solution to go this route is presented in the attached material. The Planner will hope to solicit discussion and feedback from the Commission as to the breadth and details of this language before any final action is taken.

ORDINANCE NO. 2024-__

ORDINANCE TO CREATE SECTIONS 13-1-53(e)(8)&(9), 13-1-54(d)(31)&(32), 13-1-55(62)&(63) listing “Outdoor Dining/Seating/Gathering Space With or Without Alcohol Consumption” and “Outdoor Entertainment–Amplified or Not”, respectively, as Conditional Uses in the B-1 Neighborhood Business, B-2 Community Business, and B-3 Central Business Zoning Districts as set forth in Title 13, Chapter 1, Article C of THE MUNICIPAL CODE OF THE CITY OF CEDARBURG.

WHEREAS, the City of Cedarburg supports the opportunity for business establishments to offer patrons both indoor and outdoor spaces for seating, gathering, dining, consumption of alcoholic and nonalcoholic beverages, and entertainment; and

WHEREAS, the City of Cedarburg believes that these outdoor spaces and uses have a relatively high potential to impart adverse impacts upon surrounding neighborhood or the City as a whole, such as with respect to sound/noise, litter/loitering, and/or crowds; and

WHEREAS, the City of Cedarburg does not view the provision of outdoor spaces for seating, gathering, dining, consumption of alcoholic and nonalcoholic beverages, and entertainment upon private properties as a use of right but rather a privilege and responsibility afforded to the applicants/property owners with a commitment to manage potential adverse impacts; and

WHEREAS, the City of Cedarburg does therefore conclude that these spaces and uses should properly be listed in the City Code as Conditional Uses (vs Permitted Uses of right); and

WHEREAS, the City of Cedarburg Plan Commission did, on July 1, 2024 review, discuss, and favorably recommend this Ordinance to the Common Council; and

WHEREAS, the City of Cedarburg Common Council did, on August 26, 2024 conduct a public hearing on this matter;

NOW, THEREFORE, the City Council of the City of Cedarburg, Ozaukee County, Wisconsin does ordain as follows:

SECTION I

SECTIONS 13-1-53(e)(8)&(9), 13-1-54(d)(31)&(32), 13-1-55(62)&(63) of the City Code are hereby created, listing “Outdoor Dining/Seating/Gathering Space With or Without Alcohol Consumption” and “Outdoor Entertainment–Amplified or Not”, respectively, as Conditional Uses in the B-1 Neighborhood Business, B-2 Community Business, and B-3 Central Business Zoning Districts as set forth in Title 13, Chapter 1, Article C of THE MUNICIPAL CODE OF THE CITY OF CEDARBURG.

SECTION II

All Ordinances or parts of Ordinances contravening the terms and conditions of this Ordinance are hereby to that extent repealed;

SECTION III

The several sections of this Ordinance shall be considered severable. If any section shall be considered by a court of competent jurisdiction to be invalid, such decision shall not affect the validity of the other portions of the Ordinance.

SECTION IV

This Ordinance shall take effect upon passage and publication as approved by law, and the City Clerk shall so amend the Code of Ordinances of the City of Cedarburg and shall indicate the date and number of this amending Ordinance therein.

Passed and adopted this _____ day of _____, 2024 by the City of Cedarburg Common Council.

APPROVED:

City of Cedarburg Mayor, Patricia Thome

COUNTERSIGNED:

City Clerk, Tracie Sette

EXHIBIT “A” TO CITY OF CEDARBURG ORDINANCE 2024-____

Sec. 7-2-17 - Outdoor alcohol beverage licenses required for outdoor consumption at Class "B" premises.

(a) *Required for outdoor consumption.* No licensee shall permit the consumption of alcohol beverages on any part of the licensed premises not enclosed within the building, except under license granted by the common council. The licenses are a privilege in which no rights vest and, therefore, may be revoked by the Common Council at its pleasure at any time. No person shall consume or have in his or her possession alcohol beverages on any unenclosed part of the licensed premises which is not described in a valid outdoor alcohol beverage license.

(b) Outdoor Alcohol Consumption Spaces. On properties zoned or used for business, office, or manufacturing purposes, no person shall permit the outdoor service or consumption of alcohol beverages without prior approval and issuance of the proper alcohol beverage service licensure granted by the City of Cedarburg and/or the State of Wisconsin. No such license shall be issued before a Conditional Use Permit (CUP) for “Outdoor Dining/Seating/Gathering Space With or Without Alcohol Consumption” has been approved by the City of Cedarburg Plan Commission and duly recorded in the Ozaukee County Register of Deeds Office. If the premises is within the Historic Preservation Overlay District, the Plan Commission shall take into consideration the recommendation of the Landmarks Commission prior to approving a CUP. The CUP shall set forth, at a minimum, the location, dimensions, and manner of containment surrounding the outdoor consumption space. It shall depict all routes of ingress/egress to/from the space, which routes must pass through the principal building unless, based upon evidence of bona fide extenuating circumstances, the Planning Commission shall have determined this is not feasible. It shall list the permitted days, hours, weeks and months that the space will be open/available for use for alcohol service and consumption.

(c) *Limitations on issuance of outdoor alcohol beverage license.* In making their determination on whether or not to approve an outdoor alcohol beverage license, the common council shall, on a case-by-case basis, take into consideration the size of the outdoor seating area and its location with respect to adjacent residential uses. ~~Each applicant for an outdoor alcohol beverage license shall accurately describe the outdoor seating area and shall indicate the nature of fencing or other measures intended to provide control over the operation of the outdoor seating area. The plan commission shall review all proposed outdoor alcohol beverage licenses to determine if they are harmful, offensive or~~

~~otherwise adverse to the surrounding neighborhood and shall recommend that the license be granted as requested, modified or denied. If the premises is within the Historic District, the plan commission shall take into consideration the recommendation of the landmarks commission.~~

The building inspector shall verify that criteria established the ~~P~~plan ~~C~~commission and the ~~l~~Landmarks ~~e~~Commission, as set forth in the CUP, are met prior to issuance of an outdoor alcohol beverage license.

No amplified sound or music is permitted outside of the enclosed (building) premises without prior review, approval and recording of a CUP for "Outdoor Entertainment-Amplified or Not". Amplified sound or music is not permitted in the outdoor seating area, ~~subject to subsection (e) herein unless/until the Building Inspector has confirmed that all criteria set forth in the CUP have been met and CUP has been recorded.~~

There shall be a licensed operator present within the outdoor seating area at all times while in operation.

There shall be a \$50.00 fee for an outdoor alcohol beverage license.

~~(c) Adjoining property owners to be notified of pendency of applications. All property owners within 150 feet of the outdoor seating area shall be notified by first class mail of the pendency of application for an outdoor alcohol beverage permit with or without amplified music by the city clerk's office.~~

(d) *State statutes enforced within outdoor seating area.* Every licensee under this ~~S~~section shall comply with and enforce all provisions of Wis. Stats. ch. 125, applicable to Class "B" licensed premises, except insofar as such provisions are clearly inapplicable. Violation of the provisions of Wis. Stats. ch. 125, shall be grounds for immediate revocation of the outdoor alcoholic beverage license by the ~~C~~common ~~e~~Council.

~~(e) Outdoor amplified sound or music permit. As an exception to the amplified sound and music prohibition of subsection (b) herein, outdoor alcohol beverage license holders may apply for a permit allowing outdoor amplified sound and music subject to the following limitations:~~

~~(1) Amplified sound or music may only be generated in the outdoor seating area for which the outdoor alcohol beverage license was issued.~~

~~(2) Any amplified music or sound exceeding 80 decibels requires a permit under this subsection.~~

~~(3) An annual permit fee of \$250.00 shall be required prior to issuance of any outdoor amplified sound or music permit.~~

~~(4) Amplified music or sound shall not exceed 90 decibels, regardless of whether a permit has been issued. Exceptions to this are events held at Cedar Creek Park Bandshell which shall not exceed 110 decibels.~~

~~(5) Pedal tavern music shall be played at 65 decibels or less.~~

~~(6) Methods of measuring decibels.~~

~~a. Equipment. Decibel measurement shall be made with a decibel meter.~~

~~b. Location of measurement. Decibel measurement shall be made at the nearest lot line of the premises from which a noise complaint is received. The noise meter shall be placed at a height of at least three (3) feet above the ground and at least three (3) feet away from walls, barriers, obstructions, and all other sound reflective surfaces.~~

~~c. The equipment necessary to measure sound shall reside within the City of Cedarburg Police Department and must be calibrated every nine months.~~

~~d. A police officer, or other designated enforcement official of the city, may, if he or she has reasonable suspicion to believe a violation of this ordinance, is or has been committed, request the volume to be lowered or issue a citation. Permit will be revoked upon receiving three citations.~~

~~e. A noise that exceeds the decibel rating allowed must exceed the decibels permitted for more than five seconds within a one minute period to be in violation of this ordinance.~~

~~(7) Amplified music exceeding 80 decibels shall not be allowed during Summer Sounds dates.~~

~~(8) Each organization or business is allowed a maximum of three days per week for amplified music or sound, limited to four hours per day. This excludes acoustic, mic only, tv sound bar, or one speaker amplification that is under 80 decibels.~~

~~(9) Amplified sound and music shall be allowed between the hours of 11:00 a.m. and 9:00 p.m.~~

~~(10) On Friday and Saturday nights amplified music shall be allowed until 10:00 p.m. from Memorial Day until Labor Day.~~

~~(11) All other restrictions and limitations of section 7-2-17 remain in full force and effect.~~